

THE CORPORATION OF THE
CITY OF WHITE ROCK



DEVELOPMENT PERMIT NO. 400

1. This Development Permit No. 400 is issued to **IOM Nautilus Views Ltd., Inc. No. BC1288361** as the owner and shall apply only to ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description:

Lot A Section 10 Township 1 New Westminster District Plan EPP63510
PID: 031-395-805

Civic Address:

1454 Oxford Street

The property subject to this Development Permit No. 400, described legally above, is indicated on Schedule A (“the Lands”).

2. This Development Permit No. 400 is issued pursuant to the authority of Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, the “White Rock Official Community Plan Bylaw, 2017, No. 2220” as amended, and in conformity with the procedures prescribed by “City of White Rock Planning Procedures Bylaw, 2017, No. 2234” as amended.
3. The terms, conditions and guidelines as set out in “White Rock Official Community Plan Bylaw, 2017, No. 2220” as amended, that relate to the “Multi-family Development Permit Area” and the “Environmental (Ravine Lands and Significant Trees) Development Permit Area” shall apply to the Lands.

4. Permitted Uses of Land, Buildings and Structures

Land, buildings, and structures on the Lands shall only be used in accordance with the provisions of the “CD-46 Comprehensive Development Zone” as established in Schedule “B” to “City of White Rock Zoning Bylaw, 2012, No. 2000” as amended.

5. Terms and Conditions:

- a) All buildings, structures, and landscape features to be constructed, repaired, renovated, or sited on the Lands, in addition to pedestrian connections and a Public Access Pathway, shall be in substantial compliance with the architectural designs prepared by Chris Dikeakos Architects, dated June 9, 2021, attached hereto as Schedule B, in accordance with the provisions of Section 491 of the *Local Government Act*.

- b) All site landscaping on the Lands, including hard and soft landscape features, irrigation controls, site furnishing and other materials shall be in substantial compliance with the landscape designs prepared by ETA Landscape Architecture, dated September 14, 2015 (Issue No. "S", dated June 8, 2021), attached hereto as Schedule C in accordance with the provisions of Section 491 of the *Local Government Act*.
 - a. The permittee must submit to the City a cost estimate and related securities for the above-described landscape works prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of landscaping works was \$1,053,147.38, being 150 percent of the cost of landscaping works.
 - b. The release of all or a portion of these securities can be requested no sooner than 12 months following the receipt of a letter from the landscape architect or other qualified person confirming that the landscaping works tied to the securities have been installed in accordance with the landscape designs included as Schedule C.
- c) Sediment and erosion controls within the Lands shall be implemented and maintained throughout construction in substantial compliance with the Erosion and Sediment Control Plan prepared by GeoPacific, dated March 12, 2021, attached hereto as Schedule D in accordance with the provisions of Section 491 of the *Local Government Act*.
 - a. The permittee must submit to the City a cost estimate and related securities for the above-described controls prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of these controls was \$173,250, being 150 percent of the cost of landscaping works.
 - b. The release of all or a portion of these securities can be requested following the receipt of final building permit approval.
- d) Rooftop mechanical equipment shall be screened from view to the acceptance of the Director of Planning and Development Services;
- e) The hydro kiosk is to be located on site to the acceptance of the Director of Planning and Development Services;
- f) The owner is advised that in 2012 nine vacant Great Blue Heron ('heron') nests were observed within the wooded area immediately east of the Lands. These nests are protected under Section 34 of the *BC Wildlife Act*. Any activities that have the potential to disturb active heron nesting sites, shall be evaluated alongside the implementation of mitigative controls as recommended by a Qualified Environmental Professional (QEP).
- g) The applicant shall provide an updated Arborist Report and obtain a Tree Management Permit from the City as required by the "White Rock Tree Management Bylaw, 2008, No. 1831," as amended.
- h) The applicant will be required to provide a detailed geotechnical assessment, prepared by a Registered Geotechnical Engineer, in support of a building permit application tied to the architectural designs included as Schedule B to this permit. Note that the City may require the registration of a covenant, pursuant to Section 219 of the Land Titles Act, as a means of implementing the recommendations of the assessment.

6. In the interpretation of the Development Permit all definitions of words and phrases contained in Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, and the "White Rock Official Community Plan Bylaw, 2017, No. 2220", as amended, shall apply to this Development Permit and attachments.
7. Where the holder of this Permit does not obtain the required building permits and commence construction of the development as outlined in this Development Permit within two years after the date this Permit was authorized by Council, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized further time extension of the Permit.
8. This permit does not constitute a subdivision approval, a tree management permit, a demolition permit, or a building permit.

Authorizing Resolution passed by the Council for the City of White Rock on the 27th day of July, 2021

This development permit has been executed at White Rock, British Columbia on the 3rd day of August 2021.

The Corporate Seal of THE CORPORATION
OF THE CITY OF WHITE ROCK was hereunto
affixed in the presence of:



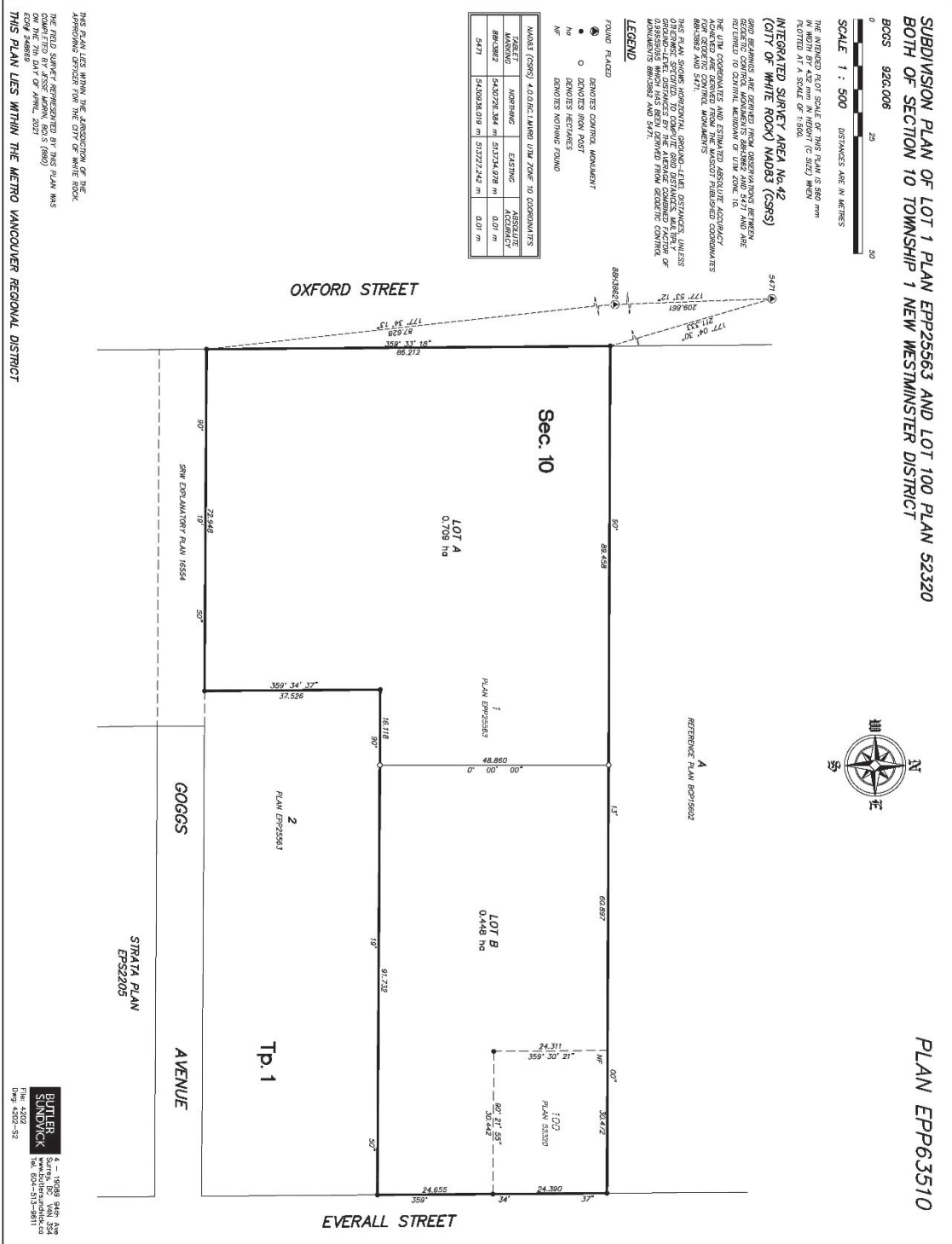
Mayor - Authorized Signatory



Director of Corporate Administration - Authorized Signatory

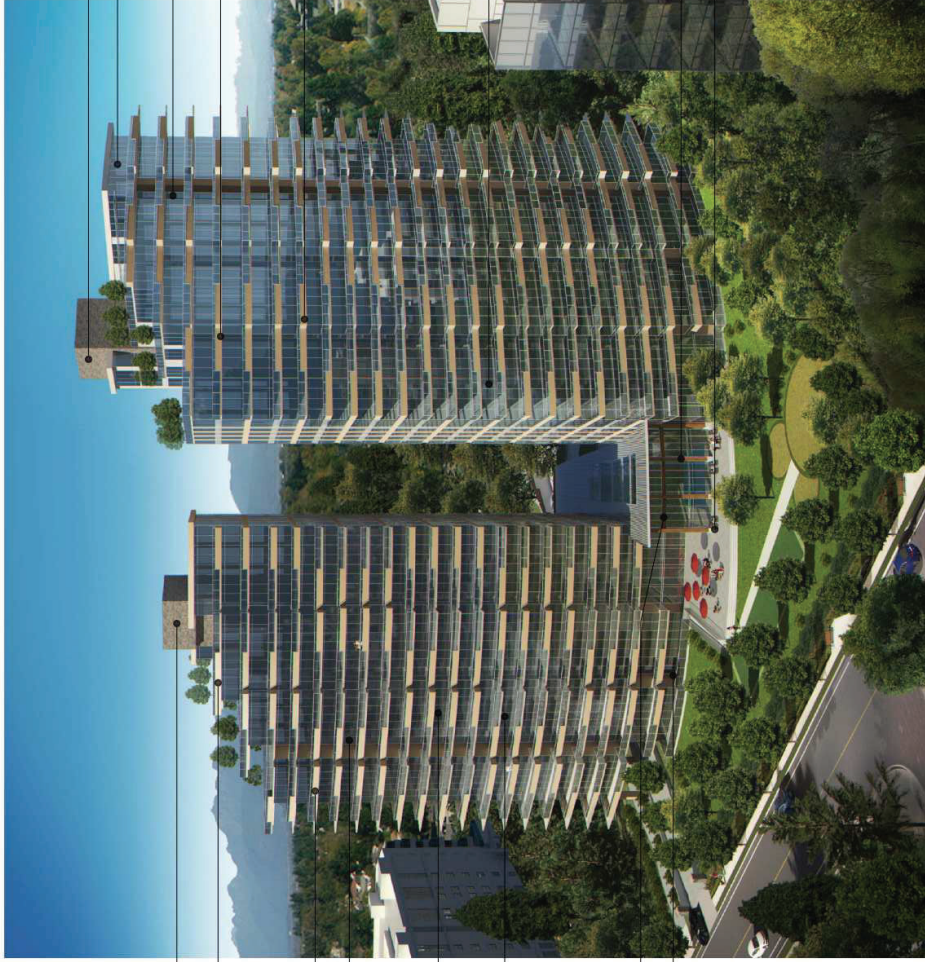
Schedule A – Subject Property

Filed NW EPP63510 EPP63510 161-799-5561 RCVD:2021-05-10 RQST:2021-05-21 03:06 White Rock, The Corporation of the City of



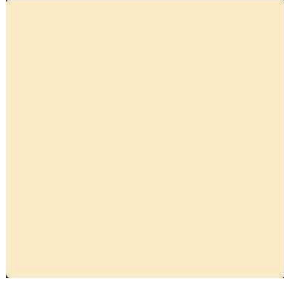
Schedule B – Architectural Designs

[attached separately]



MATERIAL LEGEND:

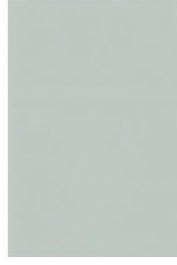
- 1 ARCHITECTURAL PAINTED CONCRETE
BENJAMIN MOORE - CREAM YELLOW 2155-60
- 2 GLUE-LAMINATED WOOD
- 3 GLASS WINDOW WALL
CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE
- 4 GLASS WINDOW WALL
SPANDREL GLASS - #3-1373 BLACKTHORN
OPACI-COAT ON 6MM FILKINGTON CLEAR
- 5 PAINTED MULLION
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER
- 6 GREY STONE VENEER



1 ARCHITECTURAL PAINTED CONCRETE
BENJAMIN MOORE - CREAM YELLOW 2155-60



4 GLASS WINDOW WALL
SPANDREL GLASS - #3-1373 BLACKTHORN
OPACI-COAT ON 6MM FILKINGTON CLEAR



5 PAINTED MULLION
AKZO NOBEL INTERPON POWDER COATING
- STANDARD SILVER

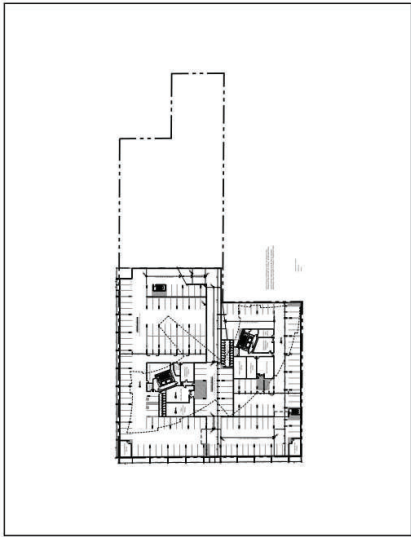


2 GLUE-LAMINATED WOOD



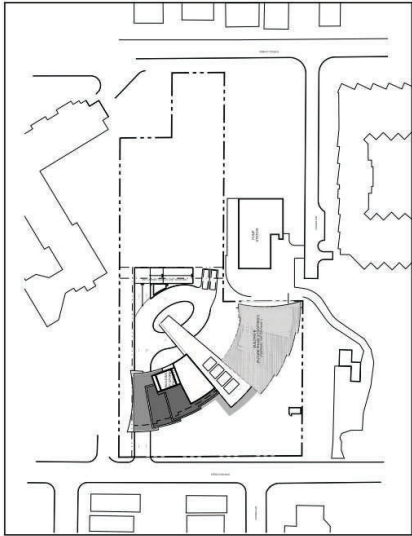
6 GREY STONE VENEER

PHASE 1



PHASE 1: BELOW GRADE

DURING THE CONSTRUCTION OF PHASE 1, THE CORE AND STRUCTURE FOR BOTH BUILDINGS WILL BE BUILT UP TO GRADE. THIS INCLUDES THE FOUNDATION AND STRUCTURE FOR BUILDING B. BUILDING B WILL ALSO BE BUILT UP TO GRADE AND WILL BE COVERED AND TEMPORARILY TURFED UNTIL THE CONSTRUCTION OF PHASE 2 COMMENCES.



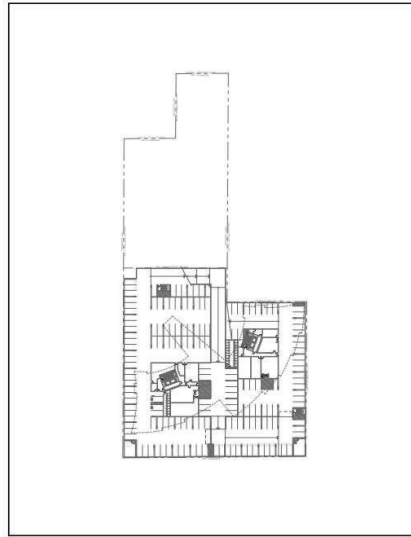
PHASE 1: ABOVE GRADE

THE ENTIRE BUILDING A WILL BE BUILT DURING PHASE ONE INCLUDING THE SURROUNDING LANDSCAPE. THE BUILDING FOOTPRINT OF BUILDING B WILL BE TEMPORARILY TURFED UNTIL THE COMPLETION OF THE CONSTRUCTION OF PHASE 2.



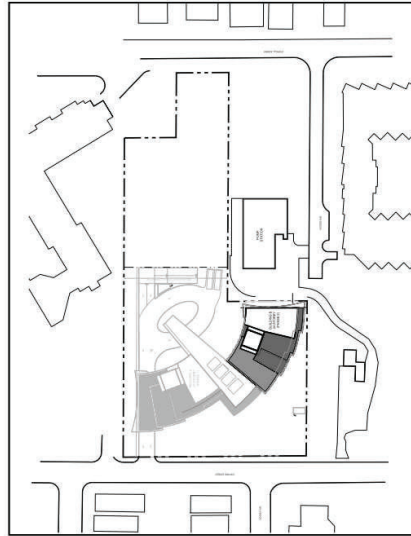
FUTURE PHASE 2 - BUILDING B

PHASE 2



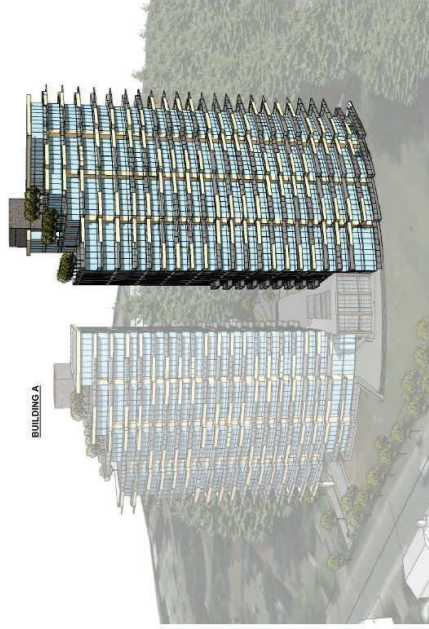
PHASE 2: BELOW GRADE

THERE WILL BE NO PORTION OF BELOW GRADE ASSOCIATED WITH PHASE 2. ALL BELOW-GRADE CONSTRUCTION WILL OCCUR WITH PHASE 1.



PHASE 2: ABOVE GRADE

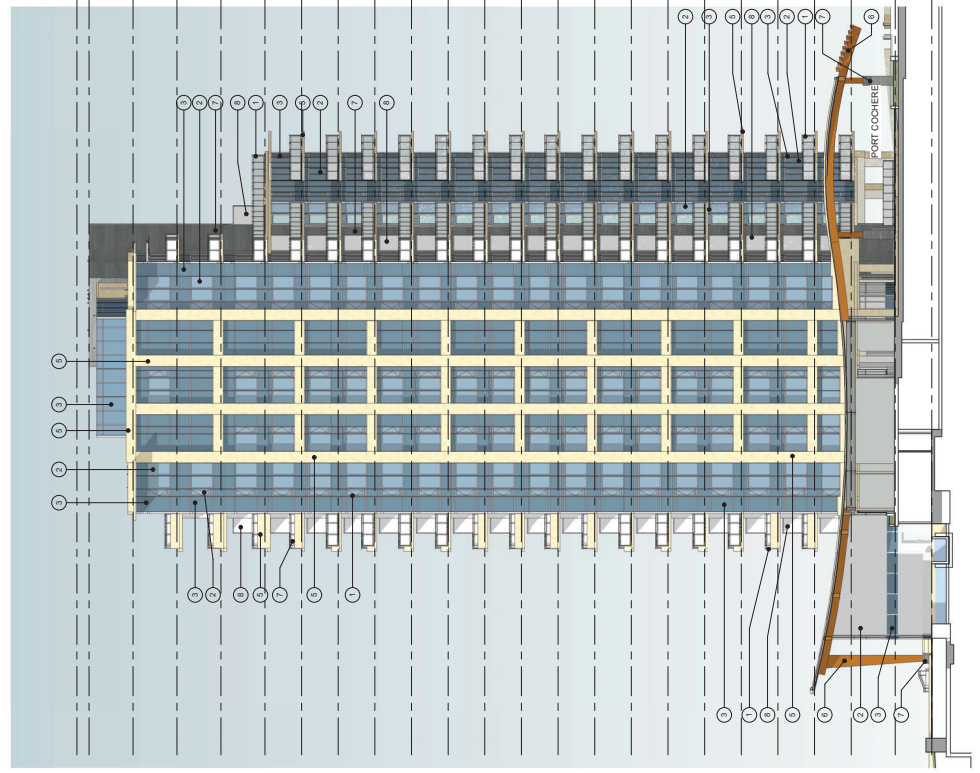
THE CONSTRUCTION OF PHASE 2 WILL ONLY INVOLVE THE CONSTRUCTION OF BUILDING B AND THE LANDSCAPE. THE TURF THAT WAS IN THIS LOCATION WILL BE REMOVED.



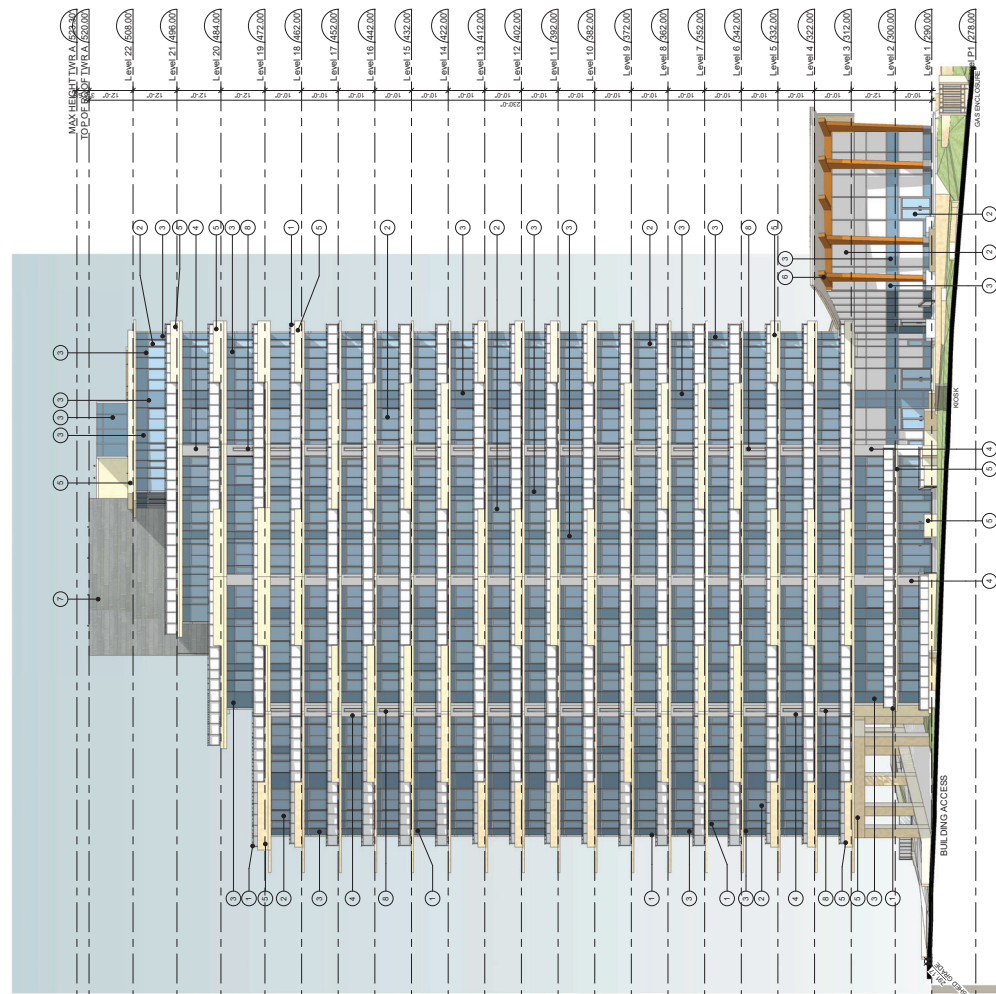
BUILDING A

MATERIAL LEGEND

1	ALUMINUM WINDOW WALL FRAME GUARDRAIL AND NOBLE INTERIOR POWDER COATING STAINLESS STEEL	6	ARCH PAINTED CONCRETE - BENJAMINE MAJORE - CREAM YELLOW T186-60
2	GLASS	7	GLUE LAMINATED WOOD
3	SPANDREL GLASS - SPANACOON TRIMMER - ESTERBLAU THORN SPANACOON TRIMMER	8	GREY STONE VENEER
4	SPANDREL GLASS - SPANACOON TRIMMER - ESTERBLAU THORN SPANACOON TRIMMER	9	PRIVATE SCREEN
5	SPANDREL GLASS - SPANACOON TRIMMER - ESTERBLAU THORN SPANACOON TRIMMER		



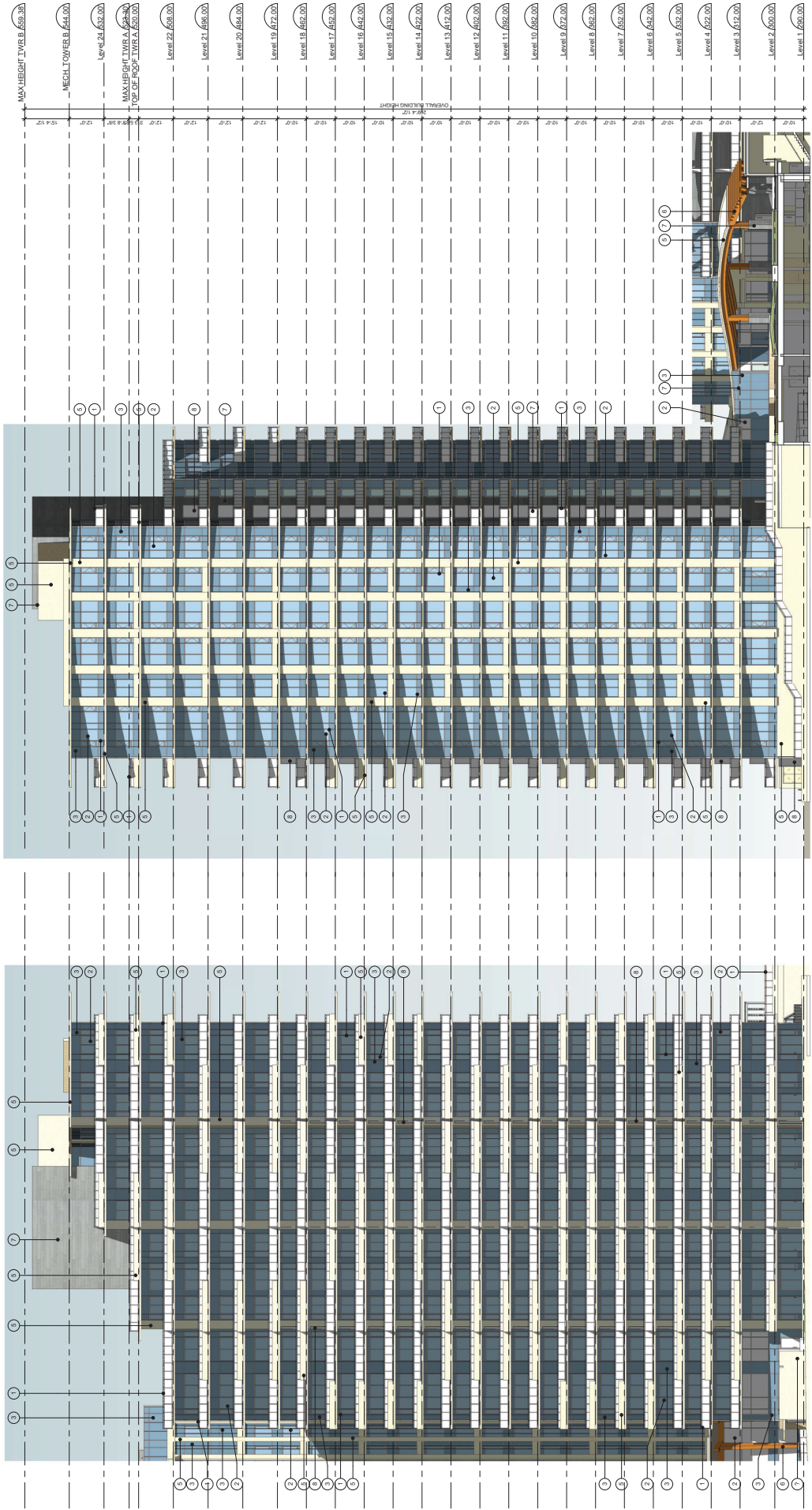
1 TOWER A SOUTH EAST ELEVATION
1/16" = 1'-0"



2 TOWER A SOUTH WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

1	ALUMINUM WINDOW WALL FRAME GUARDRAIL AND NOBLE INTERIOR POWER COATING STAINLESS STEEL	6	ARCH PAINTED CONCRETE
2	ALUMINUM WINDOW WALL FRAME GUARDRAIL AND NOBLE INTERIOR POWER COATING STAINLESS STEEL	7	BENJAMINE MOORE - CREAM YELLOW 718-60
3	SPANNERS GLASS - COPALCOAT TRIMMER-EST-BLACK-THORN COPALCOAT TRIMMER	8	QUE LAMINATED WOOD
4	SPANNERS GLASS - COPALCOAT TRIMMER-EST-BLACK-THORN COPALCOAT TRIMMER	9	GREY STONE VENEER
5	SPANNERS GLASS - COPALCOAT TRIMMER-EST-BLACK-THORN COPALCOAT TRIMMER	10	PRIVATE SCREEN
6	BENJAMINE MOORE - CREAM YELLOW 718-60		





NAUTILUS
1454 Oxford Street, White Rock, BC

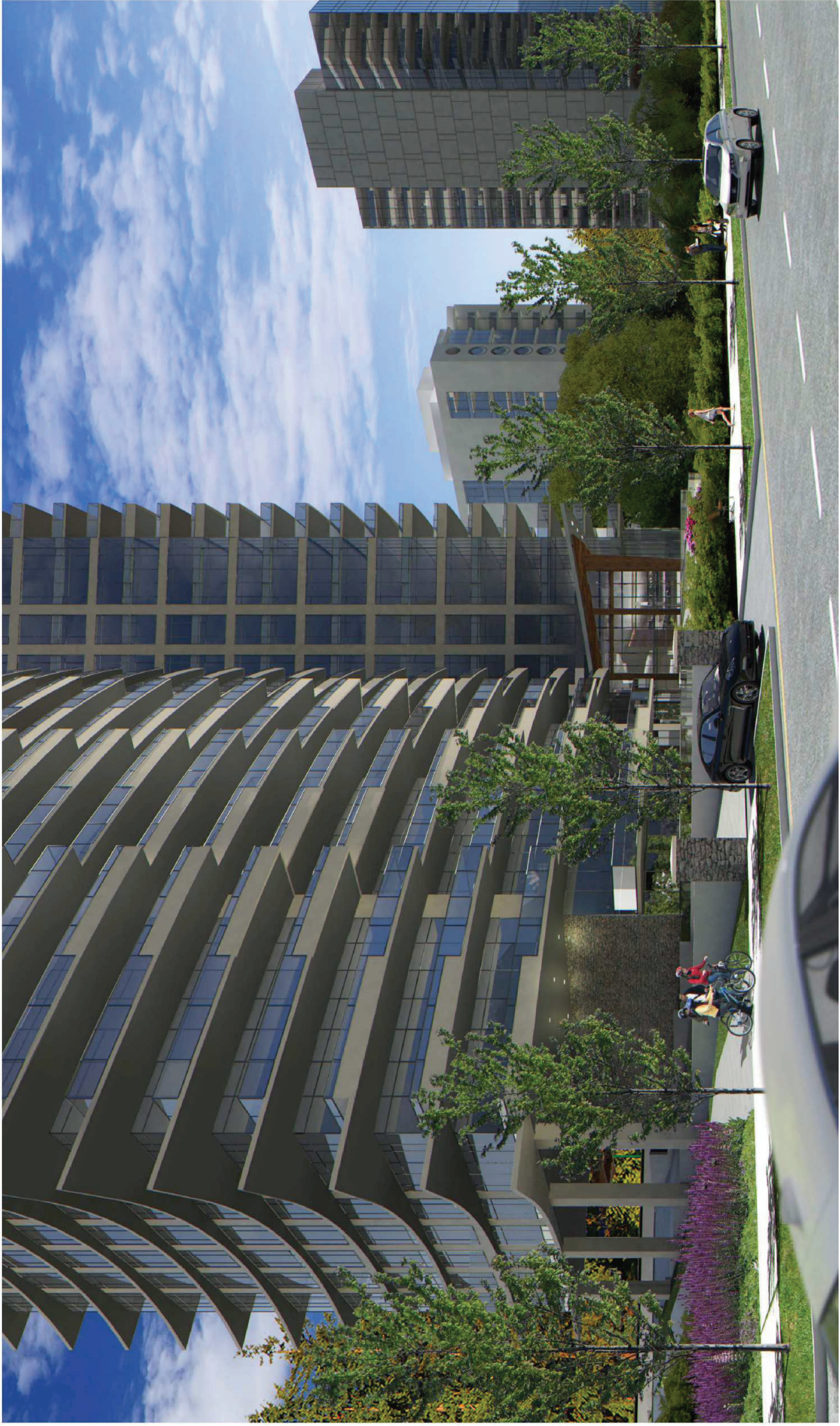
RENDERINGS
SCALE:

RE-ISSUED FOR D.P.
JUNE 09, 2021

A-500

CDN
CHRIS DIKEAKOS
ARCHITECTS INC.





Schedule C – Landscape Plans

[attached separately]

Revision No.	Date	Revision Notes
R	2021-10-09	Re-banded DP
S	2021-10-09	Re-banded DP

Sheet No.	Date	Issue Notes
R	2021-10-09	Re-banded DP
S	2021-10-09	Re-banded DP

Professional Seal



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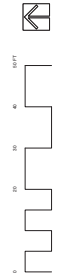
Project
**OXFORD STREET
 RESIDENTIAL**
 1500 OXFORD STREET
 White Rock, BC

Drawing Title
Landscape Plan

Scale
 1" = 10'-0" (Reference Plan 13022)
 Lot 4 Excise Plan Subdivided By
 Plan 65582 (Section 13) November 11

Project Number	Project Name	Client
2021-001	OXFORD STREET	AS SHOWN
Designer	Checker	Project No.
GE/KB	GE	2021-001-14
2021-001-14	14	08

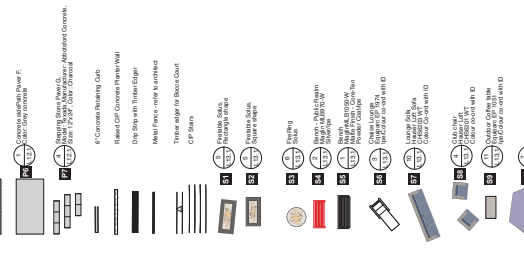
File Name
 2021-001-14-14-08.rvt



Revision No.	Date	Revision Notes
R		



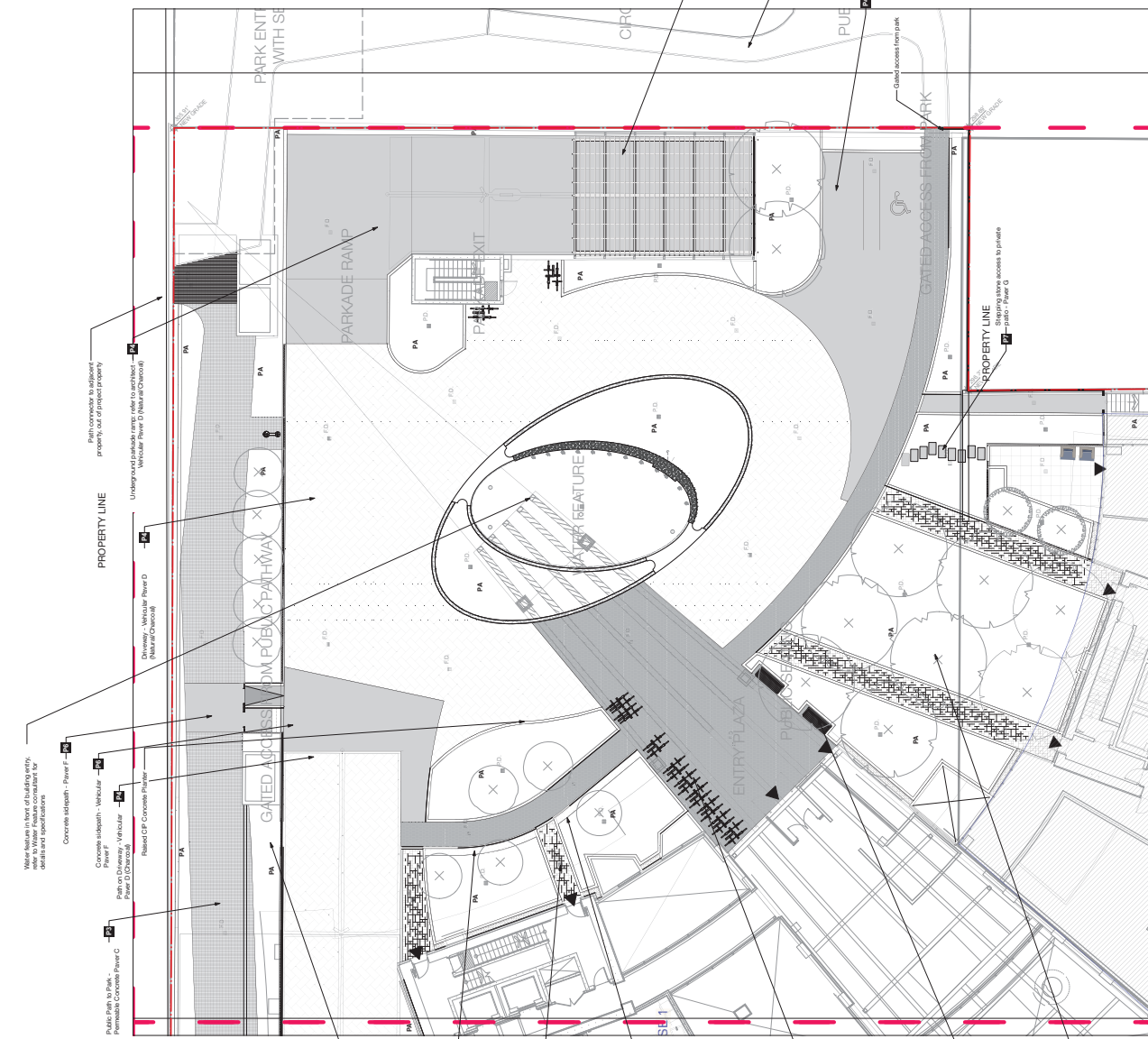
No.	Date	Issue Note
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issued for ODP Amendment & LOD-RZ
F	2015-10-27	Re-issued for ODP Amendment & LOD-RZ
H	2015-10-27	Re-issued for ODP Amendment & LOD-RZ
I	2015-10-27	Revised for RECORDING
J	2015-09-11	Revised for RECORDING
K	2015-09-11	Revised for ODP
L	2015-03-02	Re-issued for ODP
N	2015-03-02	Re-issued for RP
O	2015-03-02	Re-issued for RP
S	2012-10-09	Re-issued for ODP

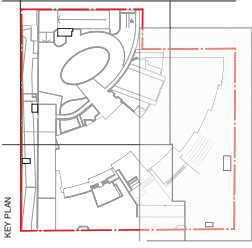


Project
OXFORD STREET RESIDENTIAL
1500 OXFORD STREET
White Rock, BC

Drawing Title
Materials - AREA 2

Client	Parade 12 (Reference No. 10042)
Lot	Lot 4, Except Part Backed by Plan ES33, Section 10, November 1
Drawn By	AS SKOWM
Checked By	CE
Date	2012-09-14
Scale	L3.2
Sheet No.	06





Revision No.	Date	Revision Notes
D	2015-10-27	Revised for ADP
E	2015-10-27	Revised for ADP
F	2015-10-27	Revised for ADP
H	2015-10-27	Revised for ADP
I	3/15/14	Revised for ADP
J	2015-05-11	Revised for ADP
K	2015-05-11	Revised for ADP
L	2015-05-11	Revised for ADP
T	2017-05-15	Phase 2 - Revised for ADP

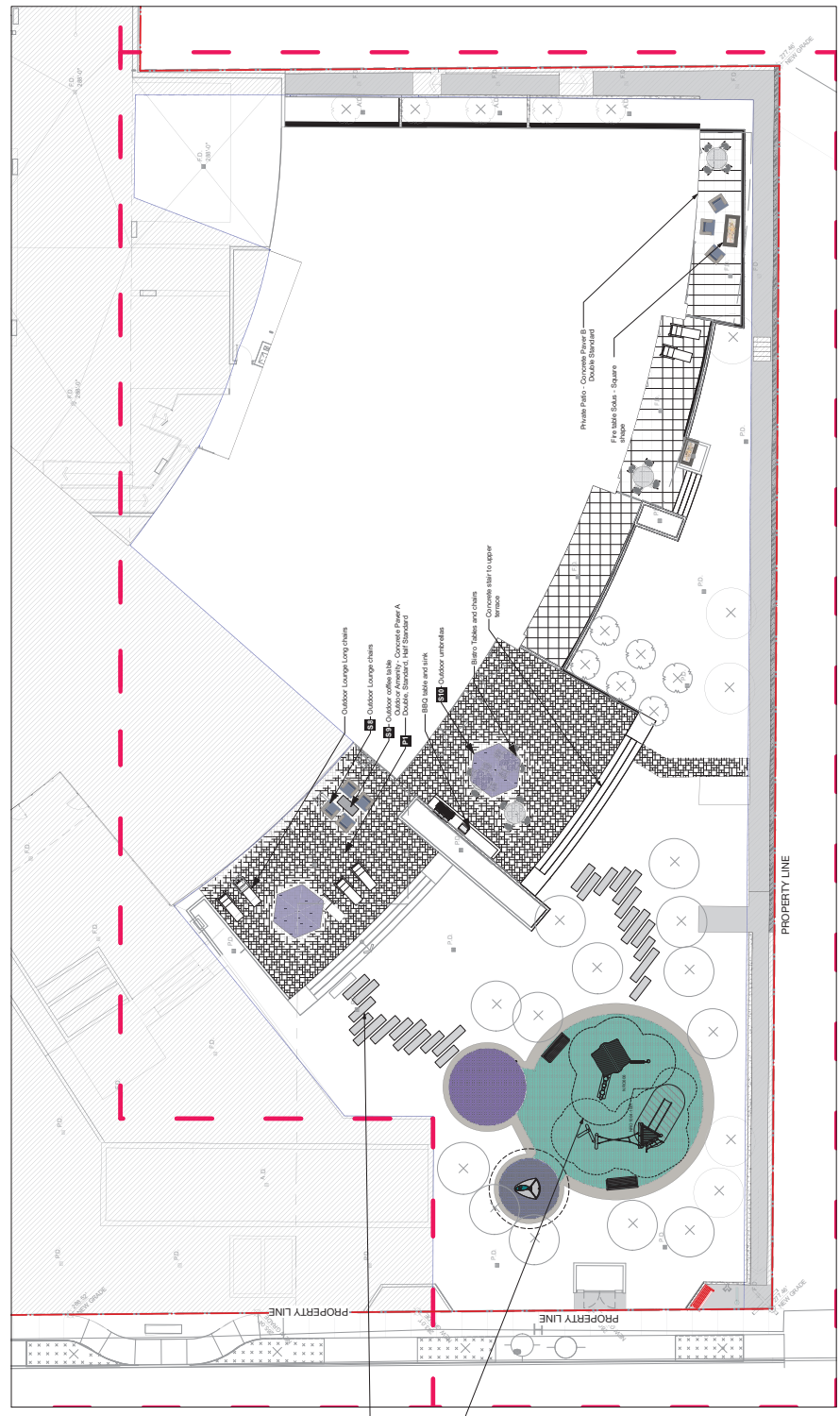
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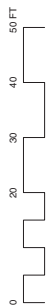
Project
OXFORD STREET
RESIDENTIAL
 1500 OXFORD STREET
 White Rock, BC

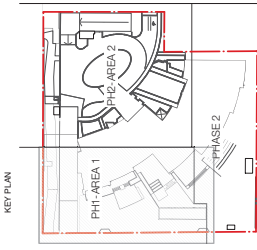
Client
 [Redacted]
Architect
 [Redacted]
Interior Designer
 [Redacted]
Phase
 PH 2 - L3.1

Scale
 1/8" = 1'-0"



1/8" = 1'-0"





Revision No.	Date	Revision Notes
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No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issued for ODP Amendment & LOD BC
F	2015-10-27	Re-issued for ODP Amendment & LOD BC
H	2015-11-11	Re-issued for ODP Amendment & LOD BC
I	2015-11-11	Re-issued for ODP Amendment & LOD BC
J	2015-11-11	Re-issued for ODP Amendment & LOD BC
K	2015-11-11	Re-issued for ODP Amendment & LOD BC
L	2015-11-11	Re-issued for ODP Amendment & LOD BC
M	2015-11-11	Re-issued for ODP Amendment & LOD BC
N	2015-11-11	Re-issued for ODP Amendment & LOD BC
O	2015-11-11	Re-issued for ODP Amendment & LOD BC
P	2015-11-11	Re-issued for ODP Amendment & LOD BC
Q	2015-11-11	Re-issued for ODP Amendment & LOD BC
R	2015-11-11	Re-issued for ODP Amendment & LOD BC
S	2015-11-11	Re-issued for ODP Amendment & LOD BC

Professional Seal

eta landscape architecture

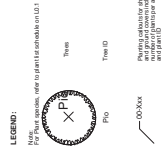
1600 West 2nd Avenue
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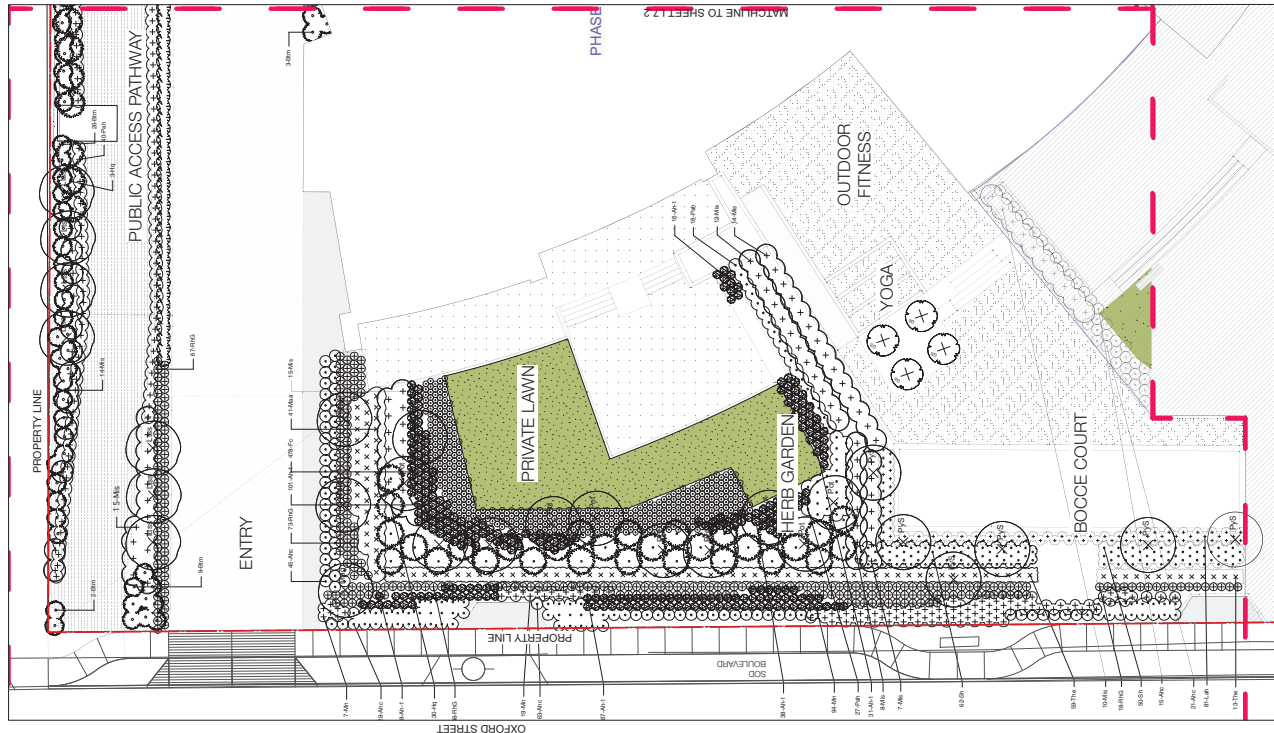
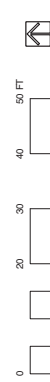
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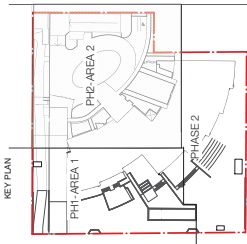
PROJECT
**OXFORD STREET
RESIDENTIAL**
1500 OXFORD STREET
White Rock, BC

Drawing Title
Planting Area 1



Plant Name	Plant ID
Tree	T1
Shrub	S1
Groundcover	G1
Planting Note	AS SHOWN
Scale	1:1
Date	2015-09-14
Drawn by	L7.2
Checked by	06





Rev. No.	Date	Issue Notice
D	2018-10-27	Revised for ADP
E	2018-10-27	Revised for ADP Amendments & CD/L2
F	2019-01-04	Revised for CD/L2
G	2019-01-04	Revised for public recreation
H	2019-01-04	Revised for ADP
I	2019-03-14	Revised for ADP
J	2019-03-14	Revised for ADP
K	2020-03-11	Revised for ADP
L	2020-03-11	Revised for ADP
M	2020-03-11	Revised for ADP
N	2020-03-11	Revised for ADP
O	2020-03-11	Revised for ADP
P	2020-03-11	Revised for ADP
Q	2020-03-11	Revised for ADP

Prepared for Client

eta
integrated architecture

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**OXFORD STREET
RESIDENTIAL**

1500 OXFORD STREET
White Rock, BC

Project Title
Planting Plan Area 2

Client Name
eta integrated architecture

Drawn By
AS SLOWIN

Checked By
GE

Date
2020-03-14

Scale
L7.2

Legend

Plant 10' (Plants to be installed in 10' x 10' grid)

Plant 20' (Plants to be installed in 20' x 20' grid)

Plant 30' (Plants to be installed in 30' x 30' grid)

Plant 40' (Plants to be installed in 40' x 40' grid)

Plant 50' (Plants to be installed in 50' x 50' grid)

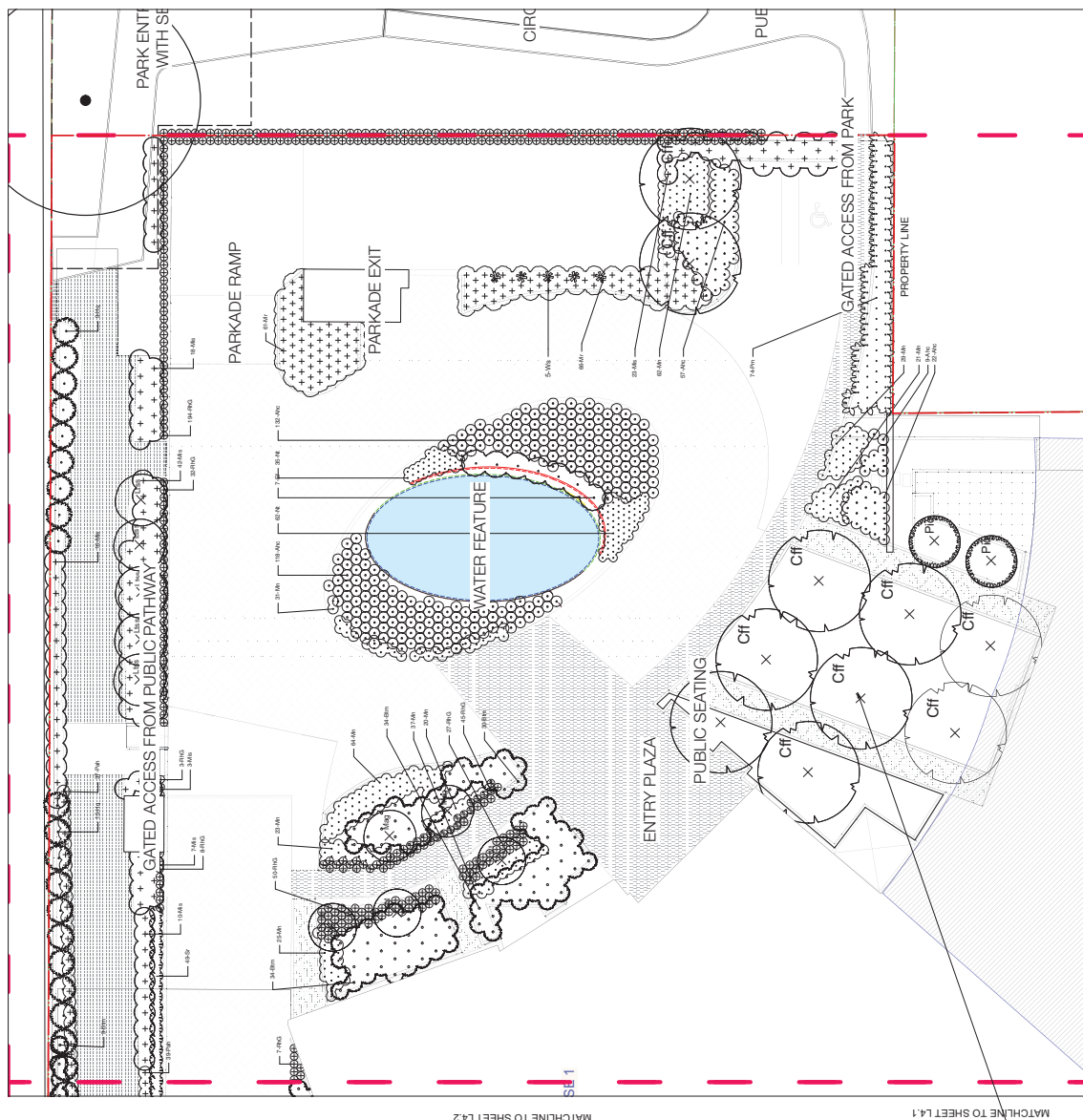
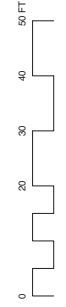
Plant 60' (Plants to be installed in 60' x 60' grid)

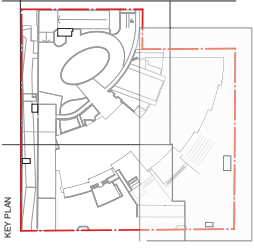
Plant 70' (Plants to be installed in 70' x 70' grid)

Plant 80' (Plants to be installed in 80' x 80' grid)

Plant 90' (Plants to be installed in 90' x 90' grid)

Plant 100' (Plants to be installed in 100' x 100' grid)





Revision No.	Date	Revision Notes
D	2015-10-27	Revised for ADP
E	2015-10-27	Revised for ADP Amendments & CDZ
F	2015-10-27	Revised for ADP Amendments & CDZ
H	2015-10-27	Revised for ADP Amendments & CDZ
I	3/15/14	Revised for zoning
J	2015-05-11	Revised for ADP
K	2015-05-11	Revised for ADP
L	2015-05-11	Revised for ADP
T	2011-05-15	Phase 2 - Revised for ADP

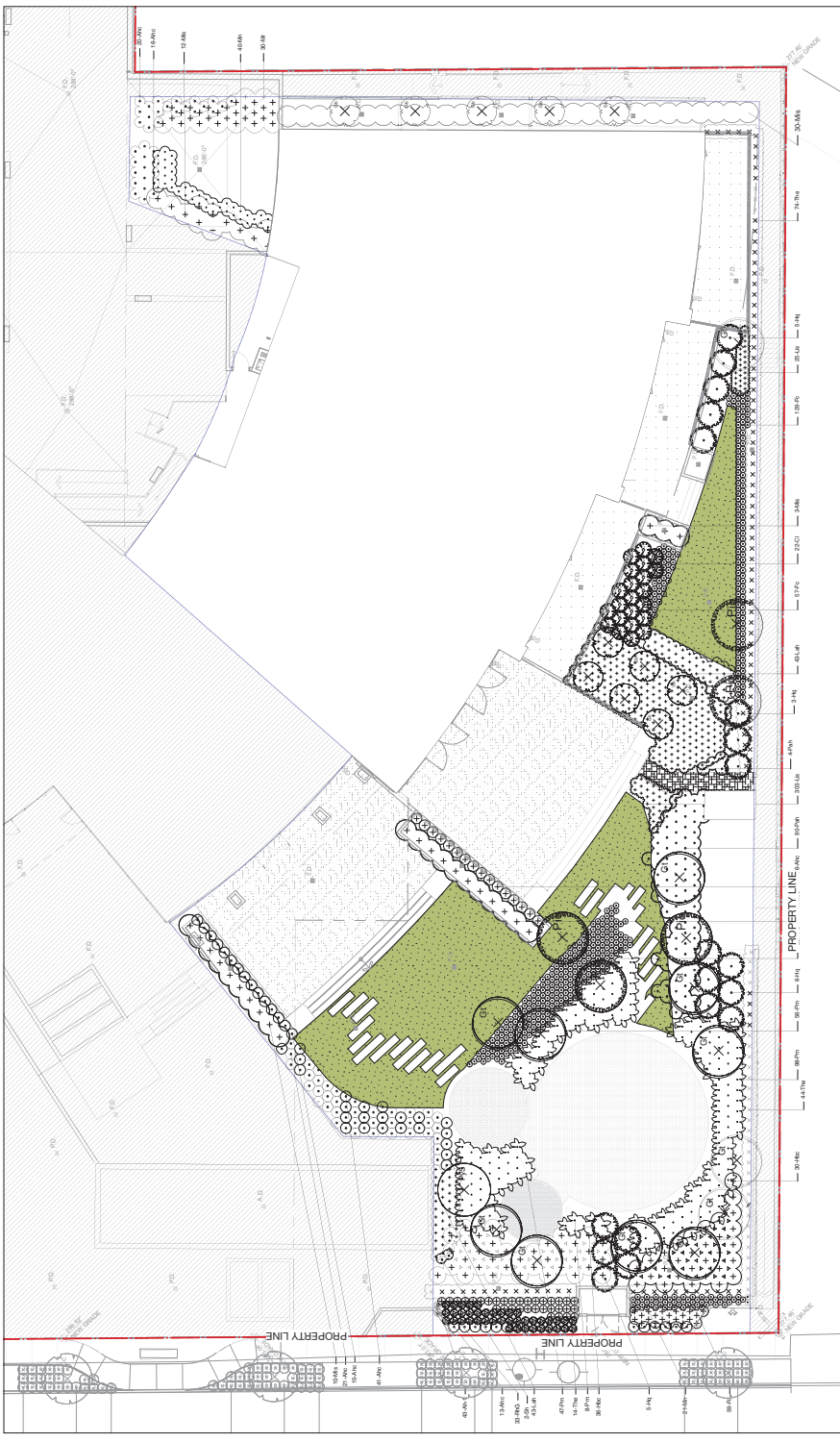
Professional Stamp

Professional No.

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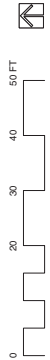
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Project	OXFORD STREET RESIDENTIAL 1500 OXFORD STREET WHITE ROCK, BC
Client	AS SHOWN
Architect	eta interiors architecture
Scale	1" = 10'-0"
Date	2015-05-11
Sheet	PH 2 - L7.1
Page	18

Legend:
Panel "C" (Reference Plan 12042)
Lot E-Except Part Subdivided By
Plan 12050, Section 10 Township 11



Revision No.	Date	Revision Notes
D	2015-10-27	Rf. based on ADP
E	2015-10-27	Rf. based on ADP Amendment A, C & D
F	2015-10-27	Rf. based on ADP Amendment A, C & D
H	2015-11-14	Revised for ADP Amendment A, C & D
I	2015-11-14	Revised for ADP Amendment A, C & D
J	2015-11-14	Revised for ADP Amendment A, C & D
K	2015-11-14	Revised for ADP Amendment A, C & D
L	2015-11-14	Revised for ADP Amendment A, C & D
N	2015-11-14	Revised for ADP Amendment A, C & D
S	2015-11-14	Revised for ADP Amendment A, C & D

Rev. No.	Date	Issue Notes
D	2015-10-27	Rf. based on ADP
E	2015-10-27	Rf. based on ADP Amendment A, C & D
F	2015-10-27	Rf. based on ADP Amendment A, C & D
H	2015-11-14	Revised for ADP Amendment A, C & D
I	2015-11-14	Revised for ADP Amendment A, C & D
J	2015-11-14	Revised for ADP Amendment A, C & D
K	2015-11-14	Revised for ADP Amendment A, C & D
L	2015-11-14	Revised for ADP Amendment A, C & D
N	2015-11-14	Revised for ADP Amendment A, C & D
S	2015-11-14	Revised for ADP Amendment A, C & D

Revised and all

eta interior architecture

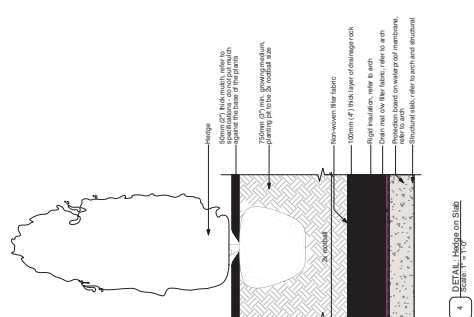
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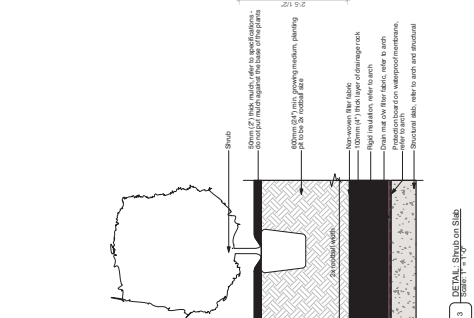
Project
**OXFORD STREET
 RESIDENTIAL**
 1500 OXFORD STREET
 White Rock, BC

Drawing Title
Landscape Details - Soft

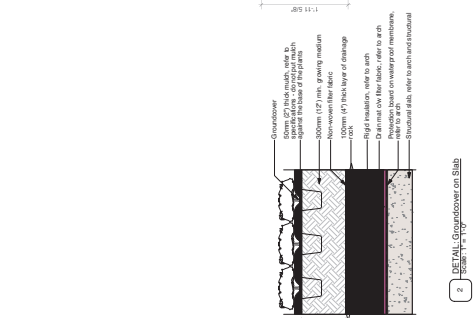
Client/Owner	21722
Drawn By	AS SKOVIN
Checked By	CE
Date	2015-09-14
Scale	L 1:1.0
Sheet No.	06



1 DETAIL Hedge on Sub.
Scale: 1" = 1'-0"



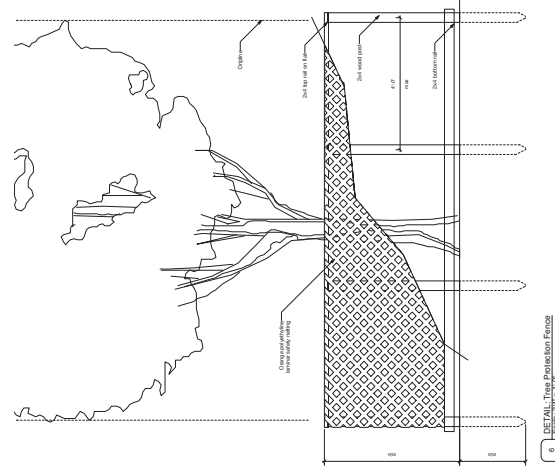
3 DETAIL Strub on Sub.
Scale: 1" = 1'-0"



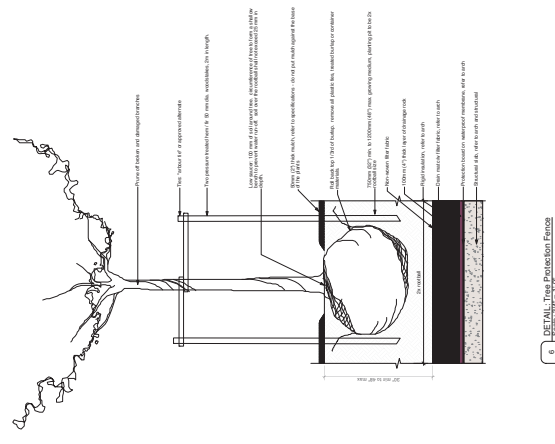
2 DETAIL Groundcover on Sub.
Scale: 1" = 1'-0"



4 DETAIL Hedge on Sub.
Scale: 1" = 1'-0"



6 DETAIL Tree Protection Fence
Scale: 1" = 1'-0"



6 DETAIL Tree Protection Fence
Scale: 1" = 1'-0"

Revision No.	Date	Revision Notes
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No.	Date	Issue Notes
D	2015-10-27	Revised for ADP
E	2015-10-27	Revised for ODP Amendment 4 (CDI)Z
F	2016-01-29	Revised for ODP Amendment 4 (CDI)Z
H	2022/14	Revised for ODP Amendment 4 (CDI)Z
I	2/28/14	Revised for ODP Amendment 4 (CDI)Z
J	2/28/14	Revised for ODP Amendment 4 (CDI)Z
K	2016-05-11	Revised for ODP Amendment 4 (CDI)Z
L	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
M	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
N	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
O	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
P	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
Q	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
R	2022/03/02	Revised for ODP Amendment 4 (CDI)Z
S	2022/03/02	Revised for ODP Amendment 4 (CDI)Z

Professional Seal

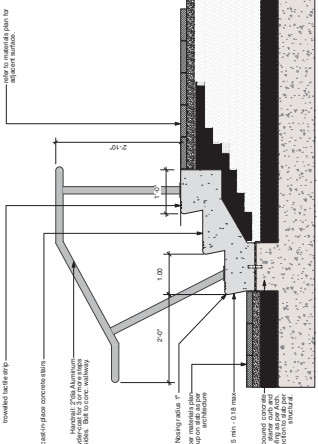
1690 West 2nd Avenue
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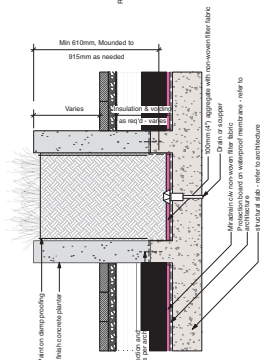
Project
OXFORD STREET
RESIDENTIAL
1500 OXFORD STREET
White Rock, BC

Drawing Title
Landscape Details - Hard

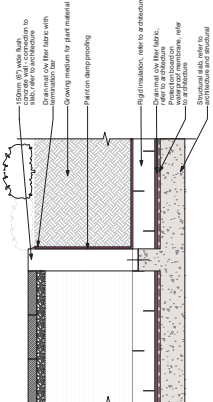
Client	Project	Phase	Sheet
Project "C" (Reference Num 10042)	1500 Oxford Street	Site	L122
Lot 4 (Except: Part Subdivided By Plan 05880, Section 10 Township 11		Scale	1:20
		Date	2015-09-14
Drawn By	Checked By	Designed By	Reviewed By
GEFK	AS SHAWA		
0E			
2015-09-14			
1 of 38			



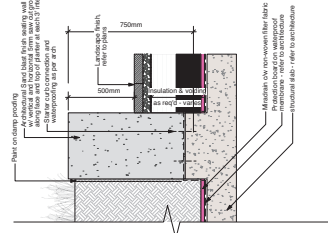
3 **DETAIL - Concrete Unit Pavers with Rough Curb Plaster**



2 **DETAIL - Concrete Stage**



3 **DETAIL - Concrete Wall with Rough Curb Plaster**



4 **DETAIL - Concrete Walling w/RF**

Note:
For all Landscape site furnitures, refer to manufacturer / supplier's recommendations for installation process and item details, cut sheets and construction details.
Coordinate with Structure and Architecture Engineers for fixation &

Revision No.	Date	Revision Notes
D	2018-10-27	Release for ADP
E	2018-10-27	Release for ADP, Amendments & CDRLZ
F	2020-11-4	Release for ADP, Amendments & CDRLZ
G	2020-11-4	Issued for public information
H	2020-11-4	Issued for ADP
I	2020-11-4	Issued for ADP
J	2020-11-4	Issued for ADP
K	2020-11-4	Issued for ADP
L	2020-11-4	Issued for ADP
M	2020-11-4	Issued for ADP
N	2020-11-4	Issued for ADP
O	2020-11-4	Issued for ADP
P	2020-11-4	Issued for ADP

Rev	Date	Issue Notice
D	2018-10-27	Release for ADP
E	2018-10-27	Release for ADP, Amendments & CDRLZ
F	2020-11-4	Release for ADP, Amendments & CDRLZ
G	2020-11-4	Issued for public information
H	2020-11-4	Issued for ADP
I	2020-11-4	Issued for ADP
J	2020-11-4	Issued for ADP
K	2020-11-4	Issued for ADP
L	2020-11-4	Issued for ADP
M	2020-11-4	Issued for ADP
N	2020-11-4	Issued for ADP
O	2020-11-4	Issued for ADP
P	2020-11-4	Issued for ADP

Produced on: 2020-11-04



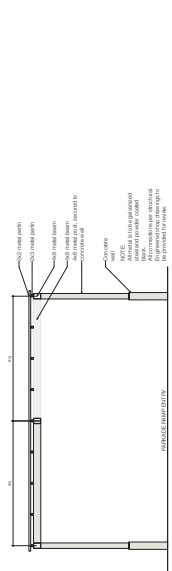
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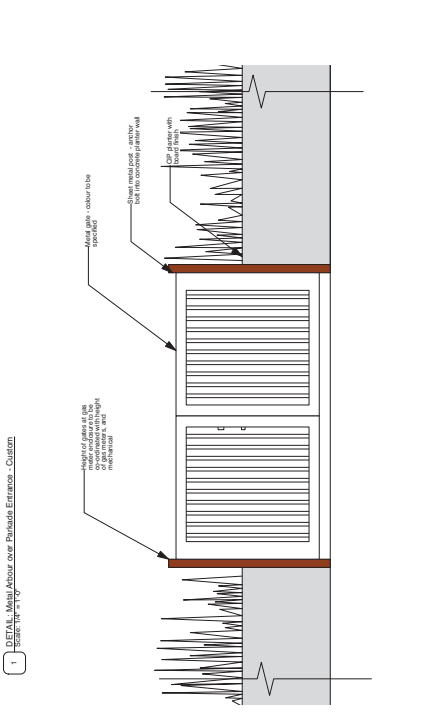
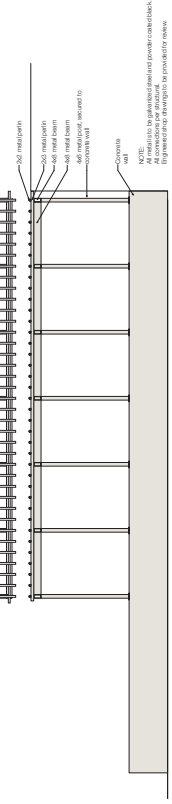
Project
**OXFORD STREET
RESIDENTIAL**
1500 OXFORD STREET
White Rock, BC

Drawing Title
**Landscape Details
- Site Furnishings**

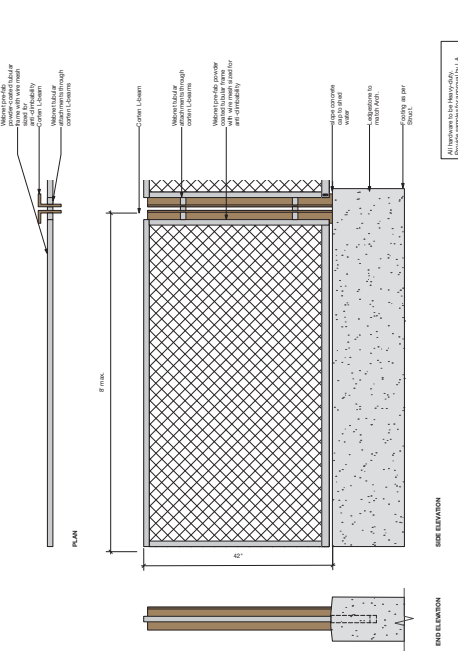
Client	1500 Oxford Street
Project No.	1500 Oxford Street
Site No.	1500 Oxford Street
Drawn By	AS SCHOON
Checked By	AS SCHOON
Scale	1:1
Date	2020-11-04
Sheet No.	L13.2
Total Sheets	35



8 PERSPECTIVE - Corten Steel Mesh Fence - Custom



9 PERSPECTIVE - Corten Steel Mesh Fence - Custom



10 PERSPECTIVE - Corten Steel Mesh Fence - Custom

MAGLIN
Bistro Table
ANTHROPOMORPHIC TABLE

ANTHROPOMORPHIC TABLE - Custom
This table is a modern, minimalist design with a round top and a central pedestal base. It is made of powder-coated steel and is available in various finishes and colors. The table is designed for outdoor use and is easy to clean and maintain.

ANTHROPOMORPHIC TABLE - Custom
This table is a modern, minimalist design with a round top and a central pedestal base. It is made of powder-coated steel and is available in various finishes and colors. The table is designed for outdoor use and is easy to clean and maintain.

MAGLIN
Outdoor Chair
ANTHROPOMORPHIC CHAIR

ANTHROPOMORPHIC CHAIR - Custom
This chair is a modern, minimalist design with a high back and a central pedestal base. It is made of powder-coated steel and is available in various finishes and colors. The chair is designed for outdoor use and is easy to clean and maintain.

ANTHROPOMORPHIC CHAIR - Custom
This chair is a modern, minimalist design with a high back and a central pedestal base. It is made of powder-coated steel and is available in various finishes and colors. The chair is designed for outdoor use and is easy to clean and maintain.

CONTINUOUS LINE	CONTINUOUS LINE
<p>CONTINUOUS LINE</p> <p>1.5m x 150mm x 100mm</p> <p>1.5m x 150mm x 100mm</p>	<p>CONTINUOUS LINE</p> <p>1.5m x 150mm x 100mm</p> <p>1.5m x 150mm x 100mm</p>

SPOT	SPOT
<p>SPOT</p> <p>1.5m x 150mm x 100mm</p> <p>1.5m x 150mm x 100mm</p>	<p>SPOT</p> <p>1.5m x 150mm x 100mm</p> <p>1.5m x 150mm x 100mm</p>

2 SPEC SHEET Strip Light - Systemlux

2 SPEC SHEET Strip Light - Systemlux

Note:
 -For all Landscape site furniture, refer to manufacturer / process and item details, cut sheets & specifications.
 -For Lighting fixtures, base, cut sheets & specifications, refer to Electrical Drawings and specifications.

No.	Date	Issue Notes
D	2018-05-27	Revised for ADP
E	2018-05-27	Revised for ODP, Amendment & CD 1&2
F	2018-05-27	Revised for ODP, Amendment & CD 1&2
H	2017-14	Issued for public information
I	2017-14	Issued for marketing
J	2018-09-11	Revised for ODP
K	2018-09-11	Revised for ODP
L	2018-09-11	Revised for ODP
M	2018-09-11	Revised for ODP
N	2018-09-11	Revised for ODP
O	2018-09-11	Revised for ODP
P	2018-09-11	Revised for ODP

Professional Seal

eta *integrated architecture*

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OXFORD STREET RESIDENTIAL
 1500 OXFORD STREET
 White Rock, BC

Project
 Drawing Title
Landscaping Details - Site Furnishings

Client: [REDACTED]
 Designer: [REDACTED]
 Date: 2018-09-14
 Scale: L14.0
 Sheet: 06

DETAIL Spot Light - Systemlux
<p>DETAIL Spot Light - Systemlux</p> <p>1.5m x 150mm x 100mm</p>

4 DETAIL Spot Light - Systemlux

DETAIL Spot Light - Systemlux
<p>DETAIL Spot Light - Systemlux</p> <p>1.5m x 150mm x 100mm</p>

4 DETAIL Spot Light - Systemlux

AMB - 1500mm x 150mm x 100mm
<p>AMB - 1500mm x 150mm x 100mm</p> <p>1.5m x 150mm x 100mm</p>

5 SPEC SHEET Ambient Light - Amb Lighting

AMB - 1500mm x 150mm x 100mm
<p>AMB - 1500mm x 150mm x 100mm</p> <p>1.5m x 150mm x 100mm</p>

5 SPEC SHEET Ambient Light - Amb Lighting

Schedule D – Erosion and Sediment Control (ESC) Plans

[attached separately]

- NOTES:**
1. WATER TREATMENT SYSTEM, CATCH BASIN PROTECTION, ACCESS STABILIZATION, AND OTHER ESC MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF BULK EXCAVATION.
 2. GEOPACIFIC SHALL BE CONTACTED BY THE CONTRACTOR TO INSPECT THE INSTALLATION OF THE ESC SYSTEM PRIOR TO THE COMMENCEMENT OF ANY STOPPING, EXCAVATION OR OTHER CONSTRUCTION.
 3. MONITORING OF THE ESC SYSTEM AND DISCHARGE WATER TO OCCUR AS PER MUNICIPAL MONITORING AND REPORTING REQUIREMENTS. MONITORING MUST BE PERFORMED BY A QUALIFIED PERSON AS DEFINED IN THE MUNICIPAL BYLAWS.
 4. NO WATER MAY BE DISCHARGED FROM THE SITE THAT EXCEEDS THE SEDIMENT CONTROL SYSTEM.
 5. ALL CONCRETE TRUCKS SHALL UTILIZE A SELF-CONTAINED WASH SYSTEM. ALL WATER TO BE COLLECTED IN A SELF-CONTAINED WASH SYSTEM. NO WASH WATER TO BE ENTERED INTO STORM DRAINS.
 6. ALL CONCRETE TRUCKS SHALL UTILIZE LEAK-PROOF CONTAINMENT BENS TO ENSURE NO CONCRETE OR WASH WATER IS DEPOSITED ON ROADWAYS OR ENTERS THE STORM DRAINS. PLACEMENT OF PLANKS UNDER CONCRETE PUMPS AND BUCKETS IS NOT AN ADEQUATE METHOD OF SOIL PROTECTION.
 7. NO EXCESS CONCRETE SHALL BE DUMPED ON SITE, EXCEPT IN DESIGNATED CONCRETE WASTE BINS. CONCRETE WASTE BINS MUST BE LINED WITH POLY SHEETING AND SECURED TO PREVENT CONCRETE LEAKAGE ONTO ROADWAYS.
 8. ALL WASHOUT ACTIVITIES MUST BE PERFORMED OFF-SITE OR IN DESIGNATED AREAS ONLY. LOCATE DESIGNATED WASHOUT AREAS AS FAR AWAY FROM STORM DRAINS AS POSSIBLE.
 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL SYSTEM.
 10. ALL BEST MANAGEMENT PRACTICES ARE DESIGNED WITH REFERENCE TO THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON" VOLUME II. BELOW IS THE GENERAL EXPECTED ON-SITE SOIL STRATIGRAPHY FOR DETAILED SOIL DESCRIPTIONS, REFER TO GEOPACIFIC'S GEOTECHNICAL REPORT DATED FEBRUARY 8, 2018.
 11. REFER TO THE GENERAL EXPECTED ON-SITE SOIL STRATIGRAPHY FOR DETAILED SOIL DESCRIPTIONS, REFER TO GEOPACIFIC'S GEOTECHNICAL REPORT DATED FEBRUARY 8, 2018.

FILL	GLACIAL TILL
SANDY TO CLAYEY SILT	

ONSITE SOIL STRATIGRAPHY
M.T.S.

STORM WATER TREATMENT SYSTEM
SYSTEM TO BE SIZED BASED ON THE FOLLOWING FLOW RATE:
RATIONAL METHOD: $Q = CA$
WHERE:
 Q = PEAK DISCHARGE FLOW RATE
 C = RUNOFF COEFFICIENT $C = 0.75$
 I = RAINFALL INTENSITY $I = 17mm/hr$
 A = SITE CATCHMENT AREA $A = 6941.2m^2$

DESIGN PERIOD: 2-YEAR STORM EVENT
 $Q = 24.6 L/SEC$ PEAK DISCHARGE FLOW RATE @ $t_c = 30 MIN$
 $Q = 3.0 L/SEC$ 2HR DISCHARGE RATE
OF CURVE FOR WHITE ROCK (ENVIRONMENT CANADA)

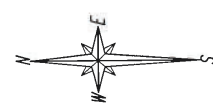
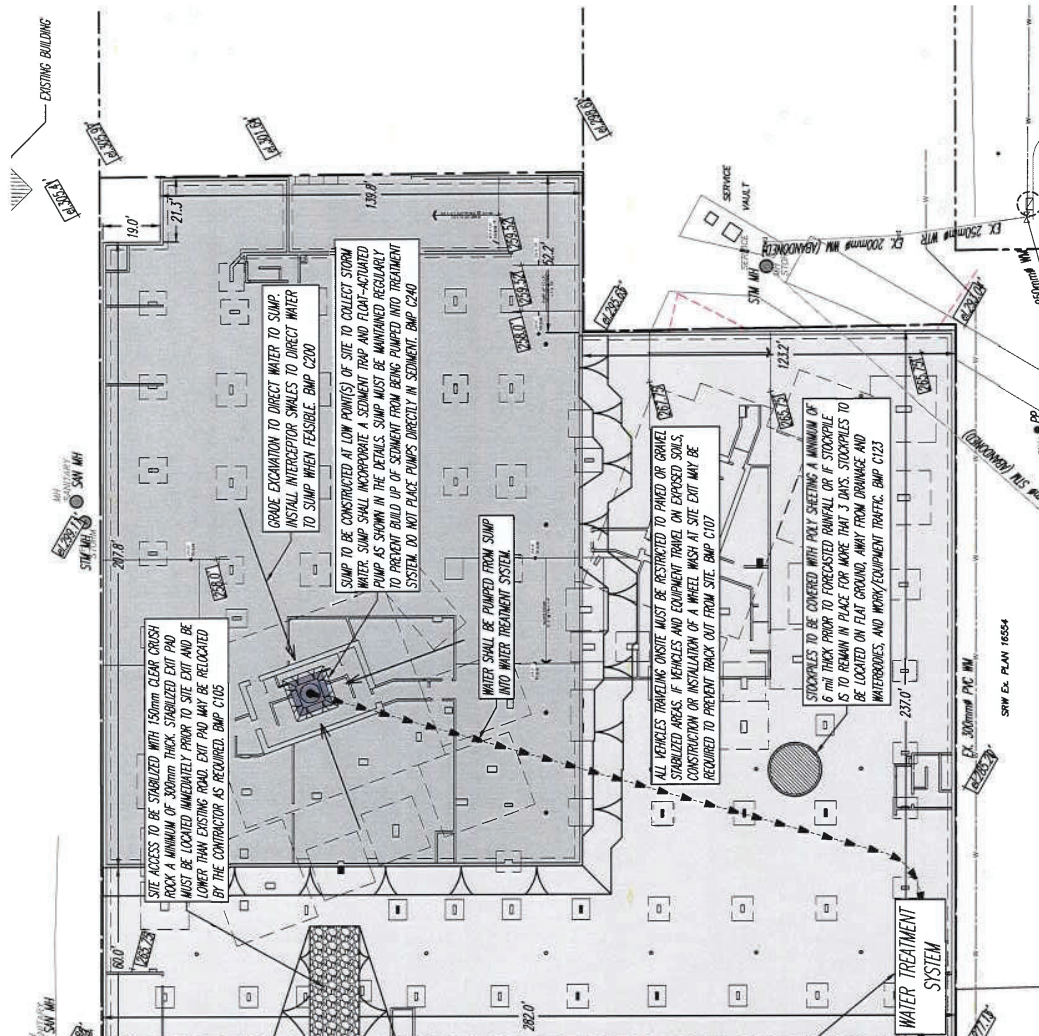
ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE SHALL BE PROTECTED TO PREVENT ENTRY OF SEDIMENT INTO THE STORM SEWER. BMP C220

WATER TREATMENT SYSTEM SHALL INCLUDE:

- 1200 MM DIAMETER - BMP C252
- SETTLING TANKS - BAMP C260
- MECHANICAL FLOTTATION - BAMP C261

SYSTEM MAY BE RELOCATED AS REQUIRED. WATER TREATMENT SYSTEM TO BE ASSIGNED AND SIZED BY SUPPLIER TO STORE AND TREAT STORM WATER FROM A 2-YEAR STORM EVENT TO THE DISCHARGE REQUIREMENTS OF $< 20mg/L$ AND pH BETWEEN 6 AND 9. MONITORING OF DISCHARGE WATER SHALL OCCUR MONTHLY AND FOLLOWING A MAJOR STORM EVENT ($> 25 mm$ IN 24 HOURS).

DISCHARGE TO STORM SEWER WITH MONITORING OF T.S.S., TOXICITY, AND pH.



SITE PLAN
1:100

FILE NO: 15792
DRAWING NO: G-ESC1
DATE: MARCH 12, 2021
SCALE: AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT
1500 OXFORD STREET, WHITE ROCK, B.C.
EROSION & SEDIMENT CONTROL PLAN

DESIGNED BY: A.C. CHAN
DRAWN BY: H.K.
APPROVED BY: P.A.
REVIEWED BY: M.T.L.
SCALE: AS SHOWN

GEOPACIFIC
GEOTECHNICAL CONSULTING ENGINEERS
1150 W. 26th Avenue
Vancouver, B.C. V6M 2K5
P 604.438.9900
F 604.438.9909

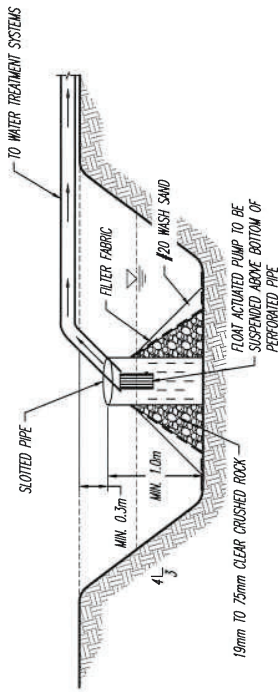
PROPOSED RESIDENTIAL DEVELOPMENT
1500 OXFORD STREET, WHITE ROCK, B.C.
EROSION & SEDIMENT CONTROL PLAN

LEGEND:

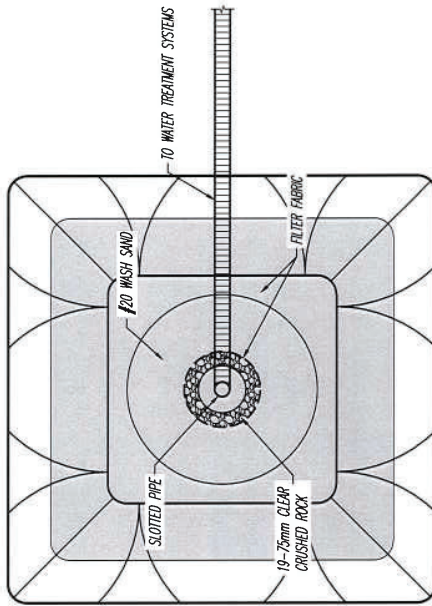
- GRADE DIRECTION
- CATCH BASIN PROTECTION
- STOCKPILE
- SWAMP

NO.	DATE	BY	REVISION





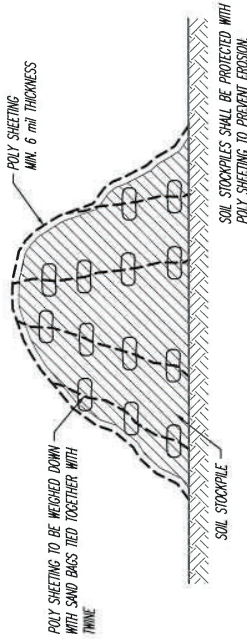
TYPICAL CROSS SECTION



TYPICAL PLAN VIEW

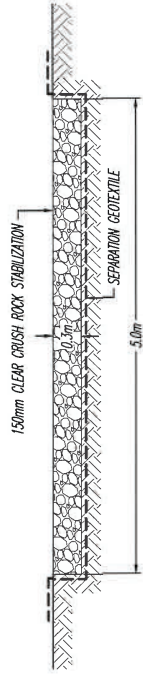
SUMP WITH SEDIMENT TRAP DETAIL - BMP C240

1:50



PLASTIC SHEETING - BMP C123

N.T.S.



GEOTEXTILE SEPARATION SPECS.

OS&B TENSILE STRENGTH (ASTM D4751)	200psi MIN.
OS&B TENSILE ELONGATION (ASTM D4632)	30% MAX.
MULLER BURST STRENGTH (ASTM D3786 - 80A)	400psi MIN.
AVERAGE OPENING SIZE (ASTM D4751)	20 - 45 (U.S. STANDARD SIZE)

STABILIZED CONSTRUCTION ACCESS DETAIL - BMP C105

1:50

LEGEND:

NO. DATE BY REVISION

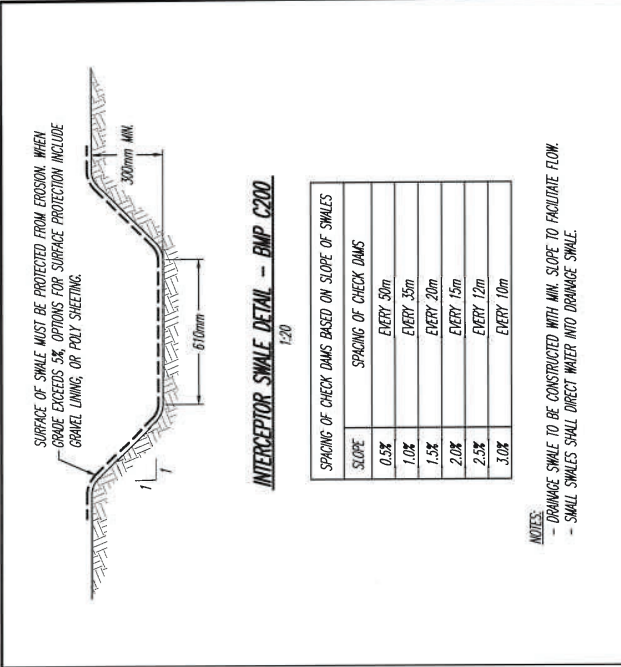


DESIGNED BY: ALG
 DRAWN BY: M.K.
 APPROVED BY: R.A.
 REVIEWED BY: M.L.L.
 SCALE: AS SHOWN

FILE NO: 15792
 DRAWING NO: G-ESC2A
 DATE: MARCH 12, 2021

PROPOSED RESIDENTIAL DEVELOPMENT
 1500 OXFORD STREET, WHITE ROCK, B.C.
 EROSION & SEDIMENT CONTROL DETAILS (1 OF 2)





INTERCEPTOR SWALE DETAIL – BMP C200
1:20

SPACING OF CHECK DAMS BASED ON SLOPE OF SWALES	
SLOPE	SPACING OF CHECK DAMS
0.5%	EVERY 50m
1.0%	EVERY 35m
1.5%	EVERY 20m
2.0%	EVERY 15m
2.5%	EVERY 12m
3.0%	EVERY 10m

- NOTES:**
- DRAINAGE SWALE TO BE CONSTRUCTED WITH MIN. SLOPE TO FACILITATE FLOW.
 - SMALL SWALES SHALL DIRECT WATER INTO DRAINAGE SWALE.

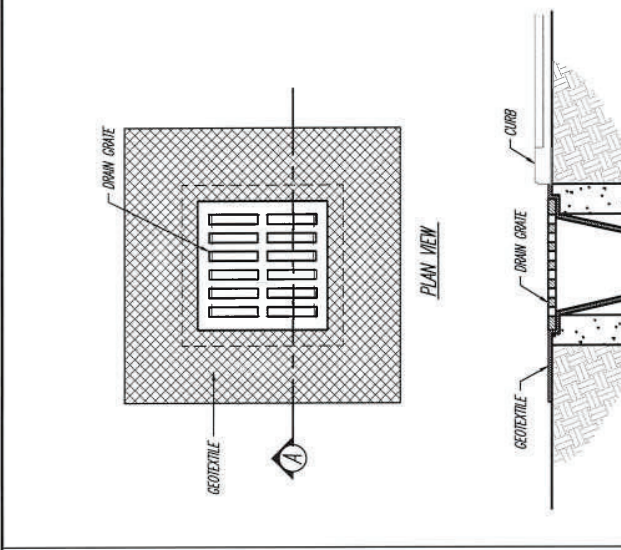
- DURING HIGH PERIODS OR DURING TIMES OF HIGH TRAFFIC OVER EXPOSED SOILS USE NATURAL OR ARTIFICIAL WIND BREAKS OR SCREEN.
- SPRINKLE WATER ON SITE UNTIL SURFACE SOILS ARE WETTED.
- SPRAY EXPOSED SOIL WITH DUST PALLIATIVE FOLLOWING MANUFACTURER'S INSTRUCTION.

DUST CONTROL – BMP C140



FILE NO: 15792
DRAWING NO: G-ESC2B
DATE: MARCH 12, 2021

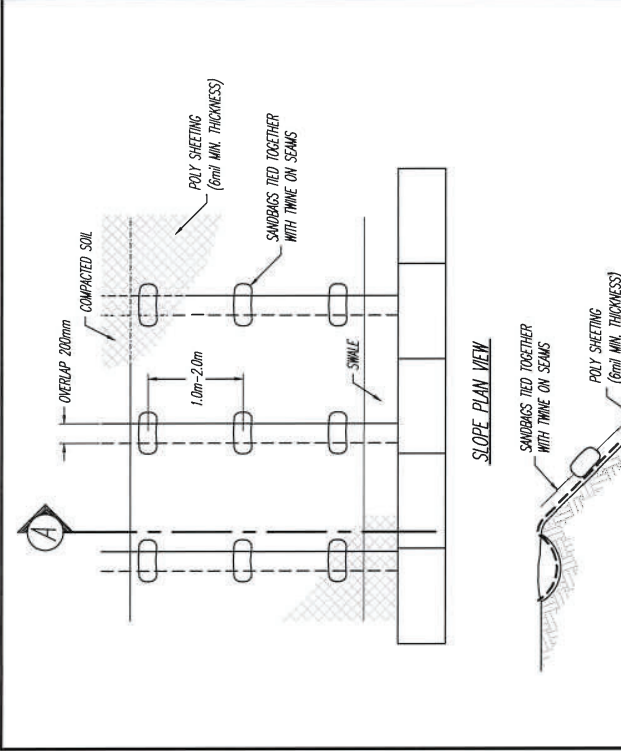
PROPOSED RESIDENTIAL DEVELOPMENT
1500 OXFORD STREET, WHITE ROCK, B.C.
EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)



- SECTION A**
- STORE SPARE CATCH BASIN PROTECTION ON-SITE AT ALL TIMES.
 - INSPECT CATCH BASIN PROTECTION WEEKLY, AND DAILY DURING STORM EVENTS.
 - CLEAN OR REPLACE WHEN 1/3 FULL, CLOGGED, OR SIGNS OF WEAR OCCUR.
 - CATCH BASIN PROTECTION TO BE USED ON ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE.

CATCH BASIN SEDIMENT SACK DETAIL – BMP C220
N.T.S.

DESIGNED BY: A.G.
DRAWN BY: M.K.
APPROVED BY: R.A.
REVIEWED BY: M.L.L.
SCALE: AS SHOWN



- PLASTIC COVERING – BMP C123**
N.T.S.
- NOTE:**
- POLYETHYLENE SHEETING WITH A MINIMUM THICKNESS OF 6mil TO BE USED.
 - SHEETING TO BE PLACED PARALLEL TO THE SLOPE WITH A MINIMUM 200mm OVERLAP BETWEEN SHEETS.
 - TRENCH TO BE EXCAVATED AT THE HEAD OF THE SLOPE TO ALLOW SHEETING TO BE SECURED UNDER COMPACTED SOIL.
 - TRENCH TO BE EXCAVATED AT THE TOE OF THE SLOPE, TO A DEPTH OF 300mm, WHICH WILL ACT AS A SWALE.
 - BURLAP OR GEOTEXTILE BAGS FILLED WITH SAND TO BE PLACED AT 1.0m TO 2.0m INTERVALS ALONG SEAMS. BAGS TO BE TIED TOGETHER WITH TWINE TO HOLD IN PLACE.
 - REGULAR INSPECTION OF THE SHEETING IS REQUIRED. TORN SHEETS MUST BE REPLACED AND OPEN SEAMS MUST BE SEALED.

LEGEND:

NO.	DATE	BY	REVISION

GENERAL NOTES:

- UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, ESC MONITOR, CIVIL CONTRACTOR, CIVIL SUBCONTRACTOR, BUILDER AND BUILDING SUB-TRADES, ENGAGED ON-SITE SHALL COMPLY WITH THE REQUIREMENTS OF ALL REGULATORY AUTHORITIES, FEDERAL, PROVINCIAL AND MUNICIPAL GOVERNMENT DEPARTMENTS PERTAINING TO ON-SITE MANAGEMENT AND DISCHARGE ASSOCIATED WITH EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE DEVELOPER/PERSONS RESPONSIBLE SHALL ENSURE THAT CONSTRUCTION ACTIVITIES ARE UNDERTAKEN IN A MANNER THAT ENSURES BEST MANAGEMENT PRACTICES ARE IMPLEMENTED TO CONTAIN ON-SITE, SILT LAKEN RUNOFF THAT EXCEEDS FEDERAL, PROVINCIAL, AND MUNICIPAL REQUIREMENTS, AND PREVENT ITS ENTERING DOWNSTREAM DRAINAGE INFRASTRUCTURE AND AQUATIC SYSTEMS.
- THE DEVELOPER/OWNER/PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTIONS ISSUED BY THE ESC MONITOR TO RECTIFY DEFICIENCIES THAT RESULT IN NON-COMPLIANCE.
- NO PERSON SHALL OBSTRUCT OR IMPEDE THE FLOW OF THE DRAINAGE SYSTEM. NO PERSON SHALL STORE, TRANSPORT OR DISPOSE OF ANY WASTE OR DELETERIOUS SUBSTANCES IN SUCH A MANNER SO AS TO PERMIT THE LIKELY ESCAPE OF THE MATERIALS INTO THE DRAINAGE SYSTEM, OR RELEASE DIRECTLY OR INDIRECTLY DELETERIOUS SUBSTANCES INTO THE DRAINAGE SYSTEM.
- NO PERSON SHALL CAUSE OR PERMIT TO BE RELEASED INTO THE DRAINAGE SYSTEM, DIRECTLY OR INDIRECTLY ANY SEDIMENT, EARTH, CONSTRUCTION OR EXCAVATION WASTES, CEMENT, CONCRETE OR OTHER SUBSTANCES WHICH WHEN MIXED WITH WATER WILL RESULT IN A PH AND/OR TURBIDITY VALUE OUTSIDE OF FEDERAL, PROVINCIAL, AND MUNICIPAL DISCHARGE REQUIREMENTS.
- THE EROSION AND SEDIMENT CONTROL WORKS SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED UNTIL THE SITE NO LONGER POSSES A THREAT TO THE DRAINAGE SYSTEM AND APPROVAL TO REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES HAS BEEN OBTAINED FROM THE ESC MONITOR.

MAINTENANCE:

- UPON INSTRUCTION/NOTIFICATION BY ENGINEER OF RECORD OR ESC MONITOR, PERSONS RESPONSIBLE ARE REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES TO MODIFY OR MAINTAIN ESC FACILITIES.
- SHOULD ANY PART OF THE SEDIMENT CONTROL FACILITIES BECOME DAMAGED, BLOCKED OR IN ANY WAY NOT FUNCTION PROPERLY THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO REPAIR AND/OR REMOVE SUCH DAMAGE, BLOCKAGE OR CAUSE OF MALFUNCTION.
- ACCUMULATED SEDIMENT REMOVED DURING MAINTENANCE OF THE SEDIMENT CONTROL FACILITIES SHALL BE DISPOSED OF IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO THE SITE DRAINAGE SYSTEM, AND/OR INTO ANY STORM SEWER OR WATERCOURSE.
- STREETS ARE TO BE INSPECTED DAILY AT MINIMUM AND SWEEP TO ENSURE THAT NO SEDIMENT OR DEBRIS ENTERS THE STORM SYSTEM. FLUSHING IS NOT PERMITTED.
- PAVED ROAD SURFACES ARE TO BE CLEARED OF ANY ACCUMULATED SEDIMENT AT THE END OF EACH DAY AS REQUIRED. NO MATERIAL WITH HIGH SEDIMENT CONTENT IS TO BE DEPOSITED OR PILED NEAR CATCH BASINS, LAWN BASINS OR OUTSIDE OF PROPERTY BOUNDARIES.

DECOMMISSIONING:

- BUILDING CONSTRUCTION MUST BE AT STREET LEVEL OR HIGHER WITH ALL EXPOSED SURFACES STABILIZED PRIOR TO BEGINNING THE PROCESS OF DECOMMISSIONING ANY ESC FACILITIES.
- APPROVAL TO ALTER AND/OR REMOVE ANY COMPONENT OF THE WATER TREATMENT SYSTEM MUST BE OBTAINED FROM THE ESC MONITOR.
- PRIOR TO RECEIVING FOR APPROVAL TO REMOVE COMPONENTS OF THE WATER TREATMENT SYSTEM, WATER QUALITY TESTING OF THE UNTREATED WATER IN THE BUILDING SUMP WILL BE CONDUCTED TO ENSURE ALLOWABLE TURBIDITY AND/OR PH LEVELS CAN BE MAINTAINED WITHOUT ADDITIONAL TREATMENT. THE PH TREATMENT COMPONENT OF THE SYSTEM MUST REMAIN ON-SITE UNTIL ALL MAJOR CONCRETE POURS HAVE BEEN COMPLETED AT MINIMUM.
- THE DECOMMISSIONING OF ANY ESC FACILITIES WITHOUT PRIOR APPROVAL MAY RESULT IN FINES AND/OR A STOP WORK ORDER.

ENFORCEMENT:

- FAILURE TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR TO COMPLY WITH MUNICIPAL REGULATIONS MAY RESULT IN FINES AND/OR A STOP WORK ORDER.
- FEDERAL ENVIRONMENTAL OFFENCES ARE STRICT LIABILITY OFFENCES AND CAN RESULT IN FINES AND/OR INCARCERATION.

MONITORING, SAMPLING AND TESTING PROGRAM:

- ALL DISCHARGE TO MUST MEET THE PH RANGE REQUIREMENT OF 6.0-9.0.
- THE TOTAL SUSPENDED SOLIDS OF ALL DISCHARGE MUST NOT EXCEED 75 mg/L.
- WHERE ANY WASTE, DELETERIOUS SUBSTANCE, OR WATER RELEASED DIRECTLY OR INDIRECTLY INTO THE DRAINAGE SYSTEM EXCEEDS THE ALLOWABLE PH, TURBIDITY AND/OR TOTAL SUSPENDED SOLIDS LEVELS, ALL DISCHARGE IS TO BE CEASED AND CORRECTIVE MEASURES ARE TO BE IMPLEMENTED IMMEDIATELY.
- A LOGBOOK OF ALL INSPECTIONS SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE CITY UPON REQUEST.
- WATER QUALITY MONITORING AND ESC FACILITIES INSPECTIONS BY THE ESC MONITOR SHOULD BE CONDUCTED AT THE MIN. FREQUENCY NOTED BELOW.

YEAR ROUND	MIN. MONITORING FREQUENCY:	MONTHLY
	MIN. REPORTING FREQUENCY:	WITHIN 7 DAYS OF INSPECTION
- INSPECTION REPORTS SHALL BE SUBMITTED TO THE DEVELOPER AND CONTRACTORS.

LEGEND:

NO.	DATE	BY	REASON



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DESIGNED BY: ALG	DRAWN BY: MLC	APPROVED BY: RA	REVIEWED BY: M.L.L.	SCALE: AS SHOWN	
<p>PROPOSED RESIDENTIAL DEVELOPMENT</p> <p>1500 OXFORD STREET, WHITE ROCK, B.C.</p> <p>EROSION & SEDIMENT CONTROL SPECIFICATIONS</p>					
FILE NO:	15792	DRAWING NO:	6-ESC.3	DATE:	MARCH 12, 2021

