



To City of White Rock:

15322 Buena Vista Ave,  
White Rock, BC V4B 1Y6

**15661 Roper Ave – PID: 010-308-628**

**RS-1 ZONING**

We are proposing to reduce the exterior side lot line setback, where the rear lot line of the lot abuts the interior side lot line of an adjacent lot. We would like to apply for Variance to reduce the exterior side setback from 7.5m to 3.8m along Maple St.

The 15661 subject property currently abuts the interior side lot line of the 1320 Maple St neighboring property.

With the current allowable 7.5m setback it will not be feasible to construct a new single family dwelling. There will only be a very narrow building area remaining. The current BP drawing package had been already been previously approved by City of White Rock in the past few years. Since then new owners have taken over the project & would like to maintain the City approved design. Arborist Report has also been enclosed with the application confirming no harm to any of the trees on site. The proposed new construction will allow for a beautiful new home on the corner of Roper Ave & Maple St, improving the existing streetscape.

If you have any concerns, you can reach out to me directly, at [info.a2hdesignstudio@gmail.com](mailto:info.a2hdesignstudio@gmail.com)

Thank you,

Alexandra A. Hristova



**GENERAL NOTES**

1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON PLANS AND THE JOB SITE AND REPORT ANY DISCREPANCIES TO THE OWNER. THE OWNER SHALL REPORT DISCREPANCIES TO THE DESIGNER.
2. WINDOW SIZES SHOWN ARE APPROXIMATE ACTUAL. ROUGH OPENINGS SHOULD BE CONFIRMED BY THE WINDOW MANUFACTURER.
3. FIGURED DIMENSIONS PRECEDED SCALE DRAWINGS.
4. TOPOGRAPHIC SURVEY AND GEOTECHNICAL INFORMATION IS FOR CONVENIENCE ONLY AND MUST BE VERIFIED.
5. ALL SERVICES AND CONSTRUCTION MUST CONFORM MUNICIPAL AND PROVINCIAL REGULATIONS.
6. ALL ELECTRICAL INSTALLATIONS MUST CONFORM WITH THE CURRENT EDITIONS OF THE CANADIAN ELECTRICAL CODE AND B.C. BUILDING CODE.
7. ALL PLUMBING INSTALLATIONS MUST CONFORM WITH THE CURRENT EDITIONS OF THE B.C. PLUMBING CODE AND THE B.C. BUILDING CODE.
8. ALL DESIGN MATERIALS AND CONSTRUCTION MUST CONFORM WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE.
9. /IN VANCOUVER USE THE CURRENT EDITION OF THE VANCOUVER BUILDING BY-LAW/
10. ALL WINDOW FRAMES AND SKYLIGHTS TO BE FLASHED CAULKED TO PREVENT MOISTURE PENETRATION.
11. EXPANSION JOINTS ARE TO BE PROVIDED IN STUCCO FINISHES AT EACH FLOOR AS REQUIRED TO PREVENT CRACKING IN STUCCO. CAULK OR FLASH AS REQUIRED TO PREVENT MOISTURE PENETRATION.
12. PROVIDE APPROVED EXHAUST FANS IN ALL BATHROOMS OR POWDER ROOMS AND OVER COOK TOP OR RANGE.
13. PROVIDE APPROVED INTERCONNECTED SMOKE ALARMS TO ALL FLOORS.
14. WATERPROOF FINISHES ON WALLS OVER APPROVED MOISTURE RESISTANT BACKING IN ALL SHOWERS AND BATH ENCLOSURES.
15. FACTORY MANUFACTURED FIREPLACES AND CHIMNEY FLUES MUST CONFORM TO SECT. 9.22.8 B.C. BUILDING CODE, CURRENT EDITION AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURERS SPECIFICATIONS AND U.L.C. REQUIREMENTS.
16. USE 1/4" ASBESTOS CEMENT BOARD UNDER NON-COMBUSTIBLE HEART WHERE FACTORY BUILT FIREPLACES ARE USED.
17. USE INSULATION BAFFLES IN ATTICS TO MAINTAIN AIR CIRCULATION FROM SOFFITS.
18. ALL CONCRETE FOR SLABS FOUNDATION WALLS AND FOOTINGS TO BE 35mpa AT 28 DAYS.
19. ALL FOOTINGS TO EXTEND A MINIMUM OF 24" BELOW FINISHED GRADE TO FIRM BEARING. REFER TO LOCAL AUTHORITY FOR LOCAL SOIL CONDITIONS.
20. APPLY 2 COATS OF AN APPROVED WATERPROOFING TO THE EXTERIOR SIDE OF ALL FOUNDATION WALLS AND WRAP WALLS WITH 6 mil POLY. WHERE THE INTERIOR SIDE IS TO BASEMENT.
21. USE 1/2" DIA. ANCHOR BOLTS IN SILL PLATES AT MAX. 4'-0" O.C.
22. USE 50 lb D.P.C. FELT OR APPROVED SILL GASKET BETWEEN SILL PLATES AND CONCRETE FOUNDATIONS.
23. ALL WOOD SHOULD BE SEPARATE FROM CONCRETE BY AN APPROVED MOISTURE PROOF MATERIAL.
24. ALL FRAME LUMBER TO BE #2 DOUGLAS FIR OR BETTER, UNLESS NOTED OTHERWISE.
25. ALL LINTELS TO BE 2-2X10" UNLESS NOTED OTHERWISE.
26. ALL COLUMNS OR POSTS TO BE ANCHORED TO A CONCRETE FOOTING WITH A GALV. METAL SADDLE UNLESS NOTED OTHERWISE.
27. ALL GLUE-LAM, MICRO-LAM PARALLAM BEAMS AND ROOF TRUSSES TO BE DESIGNED BY A STRUCTURAL ENGINEER AND CERTIFIED BY SAME.
28. ALL ABOVE-GRADE MASONRY TO SECT. 9.20.
29. ALL FIREPLACES TO SECT. 9.21.
30. ALL FIREPLACES TO SECT. 9.22.
31. COMBUSTION AIR IS REQUIRED TO ALL SOLID FUEL BURNING APPLIANCES OR FIREPLACES, SECT. 9.34.9.32.27.9.33.1-2.
32. PROVIDE COMBUSTION AIR TO FURNACE ROOM.
33. HALF AN AIR CHANGE PER HOUR IS REQUIRED FOR THE TOTAL VOLUME OF AIR WITHIN THE RESIDENCE. THIS MAY BE ACCOMPLISHED BY THE USE OF EXHAUST FANS IN BATHROOMS AND/OR AN AIR EXCHANGE SYSTEM. CONSULT LOCAL BUILDING DEPARTMENTS FOR AN APPROVED METHOD.
34. ALL STAIR DESIGN IS TO CONFORM WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE.
35. TEMPERED SAFETY GLASS IS REQUIRED IN WINDOWS ADJACENT TO ENTRANCES OR WITHIN BATHUB OR SHOWER ENCLOSURES. IT IS ALSO REQUIRED IN SKYLIGHTS, SLIDING GLASS DOORS, AND WINDOW WHICH COULD BE MISTAKEN FOR A DOOR, OR GLASS GLASS TUB OR SHOWER ENCLOSURES.
36. WINDOWS IN TUB OR SHOWER ENCLOSURES SHOULD BE ABOVE THE WATERPROOF FINISH HEIGHT.
37. THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWING FOR ANY PURPOSE CONSTITUTES ACCEPTANCE OF THE DRAWING BY THE OWNER. IT IS FURTHER AGREED THAT ACCEPTANCE OF THESE DRAWING BY THE OWNER THE OWNER AGREES THAT ANY LIABILITY OF THE DESIGNER TO THE OWNER FOR ANY CAUSE SHALL BE LIMITED TO THE AMOUNT OF THE FEES PAID TO THE DESIGNER BY THE OWNER. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN ISSUED.
38. ALL DESIGNS AND IDEAS EXPRESSED BY THESE DRAWING ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED OR USED ON PROJECTS OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED WITHOUT THE DESIGNER'S WRITTEN PERMISSION.
39. ALL GLASS IN WINDOWS AND DOORS DOUBLE GLAZED IN THERMALLY BROKEN FRAME.

**SITE AREA:**  
7,263.9 sqft = 674.9 m2

**ZONING:** RS-1

**FLOOR AREA RATIO:**  
ACTUAL: 3,622.0 SQFT (49.0%)  
PERMITTED: 3,631.9 SQFT (50.0%)

**SITE COVERAGE:**  
ACTUAL: 2,605.0 SQFT (37.4% 100.0+2505.0)  
PERMITTED: 3,268.75 SQFT (45%)

**SETBACKS:**  
PERMITTED:  
FRONT: 7.50m=24.61 FT  
REAR MIN: 7.50m=24.61 FT  
SIDE(INTERIOR): 1.50m= 4.94 FT  
SIDE(EXTERIOR): 3.80m= 12.47 FT

**BUILDING HEIGHT:**  
ACTUAL: 7.634m=25.04 FT  
PERMITTED: 7.70m=25.26 FT

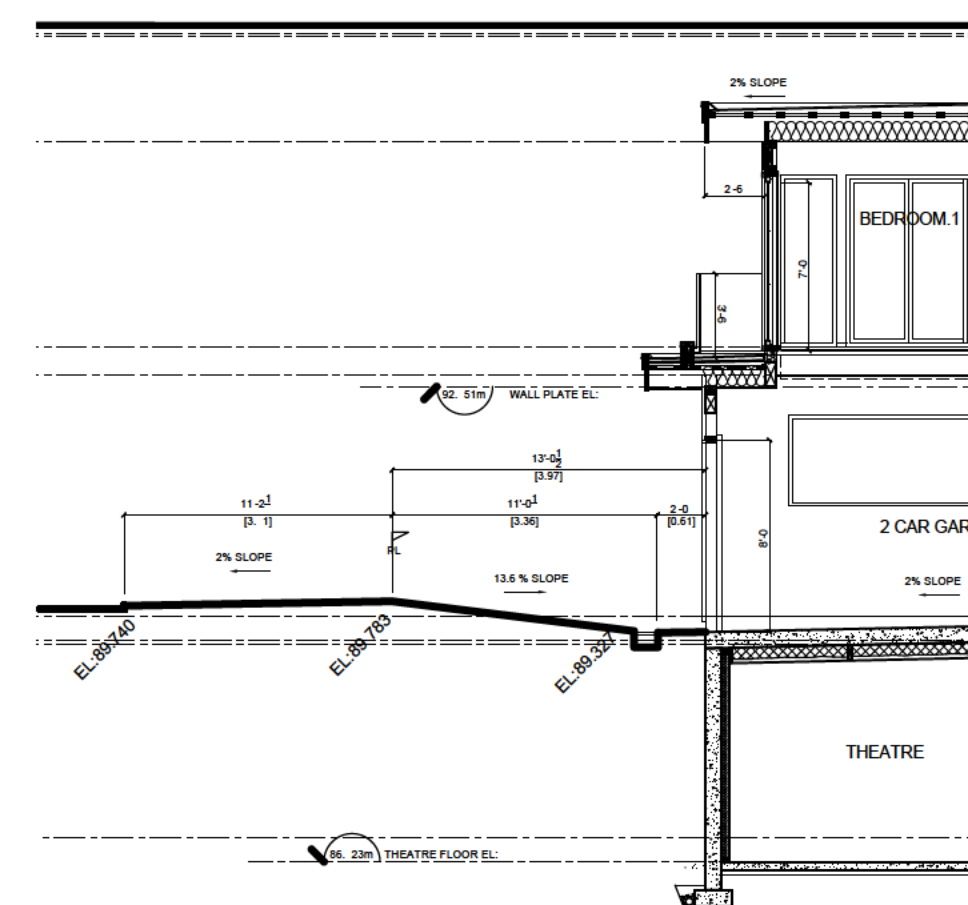
**AV NATURAL GRADE:** 98.235m

**FLOOR AREA RATIO:**  
1ST FLOOR AREA: 2,032.0 SQFT  
2ND FLOOR AREA: 1,674.0 SQFT  
2ND FLOOR STAIR: -84.0 SQFT  
TOTAL ACTUAL: 3,622.0 SQFT  
PERMITTED: 3,631.9 SQFT

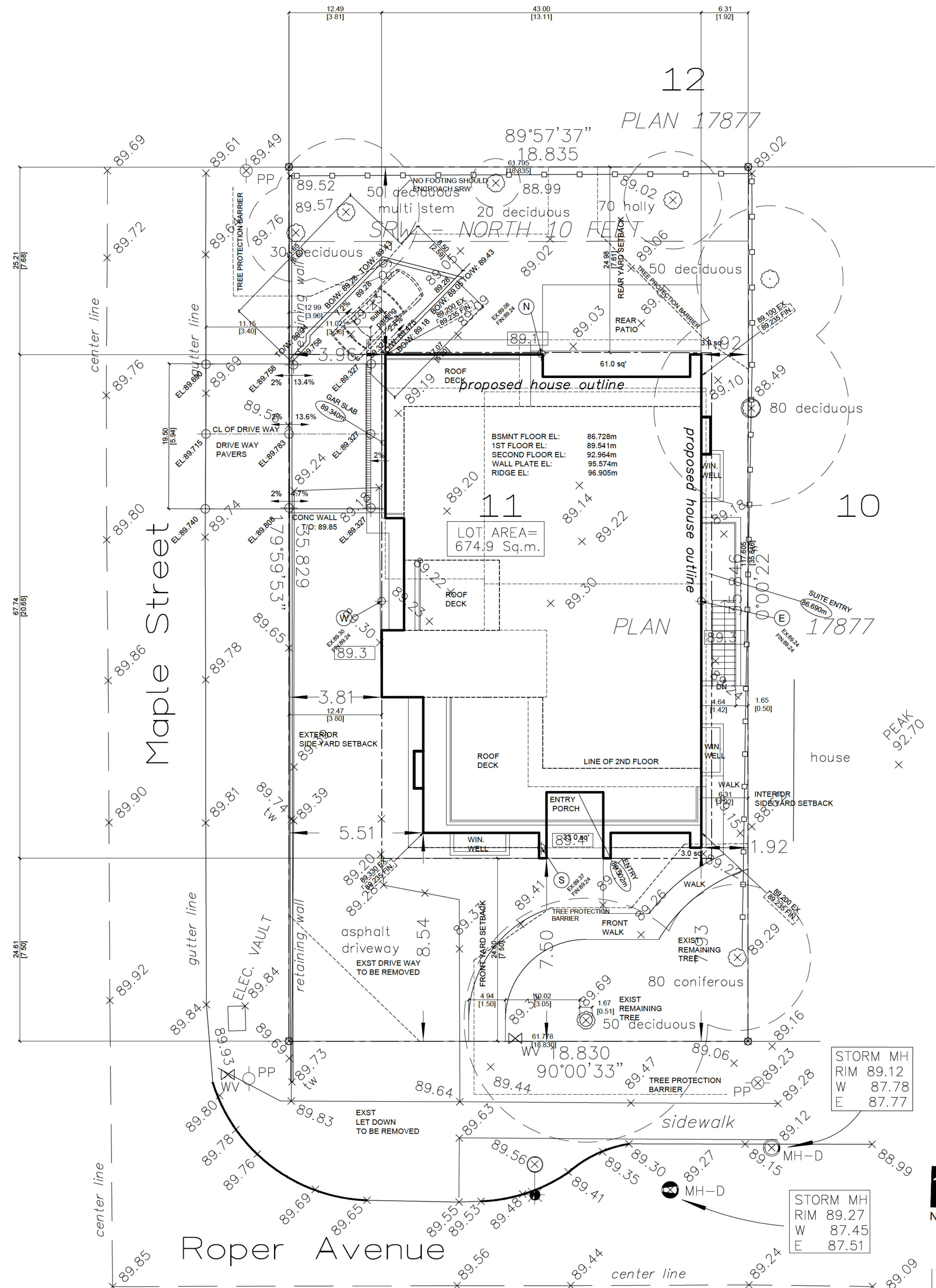
**BUILT FLOOR AREA:**  
1ST FLOOR: 2,024.0 SQFT  
2ND FLOOR: 1,674.0 SQFT  
BASEMENT: 2,518.0 SQFT  
TOTAL: 6,216.0 SQFT  
GARAGE: 481.0 SQFT

**LOWEST SLAB EL:** 86.321m  
**STORM INERT EL:** 87.770m PUMPING PLAN REQUIRED  
**SANITARY INVERT EL:** 85.150m OK. TO BE CONFIRMED

**AVERAGE EXISTING-FINISHED GRADE OF HOUSE:**  
89.37+89.30+89.24+89.06=356.97 / 4 =89.24'



SECTION THROUGH CL OF DRIVE WAY  
scale: 1/8"=1'-0"



STORM MH	RIM 89.12
	W 87.78
	E 87.77

STORM MH	RIM 89.27
	W 87.45
	E 87.51



NORTH

1/8"=1'-0" 2

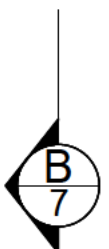
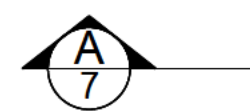
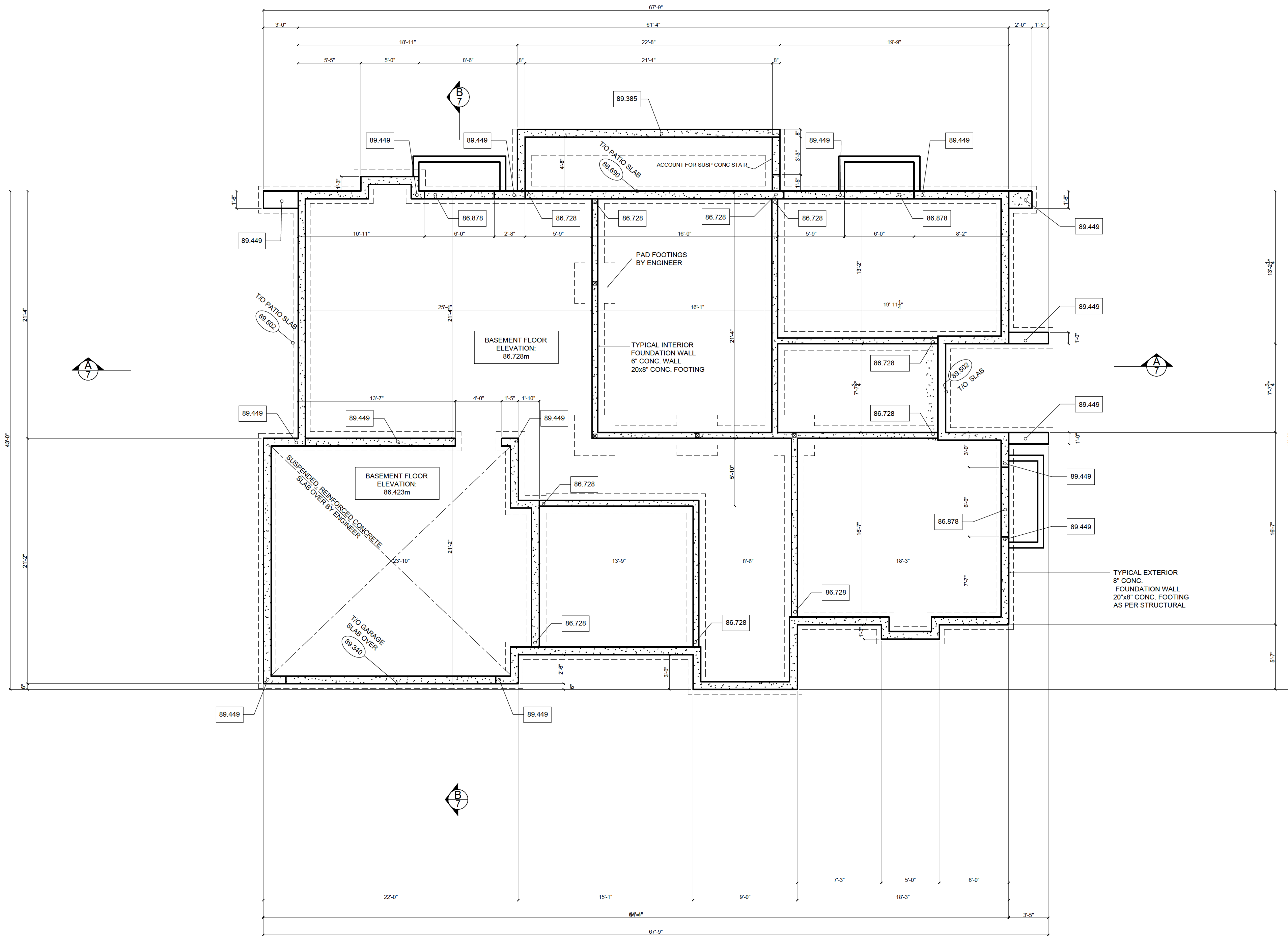
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A2H DESIGN STUDIO.

**New Residence**  
15661-Roper Ave, White Rock, B.C.  
Legal Address: Lot 11, Section 11 Township 1, N.W.D.  
Plan 17877, PID: 010-308-628

Site Plan, Title Sheet

Revision	Date
ISSUE FOR DVP	10 MAY 2023
Date:	10 MAY 2023
Project Number:	02-16
Sheet No.	A-1



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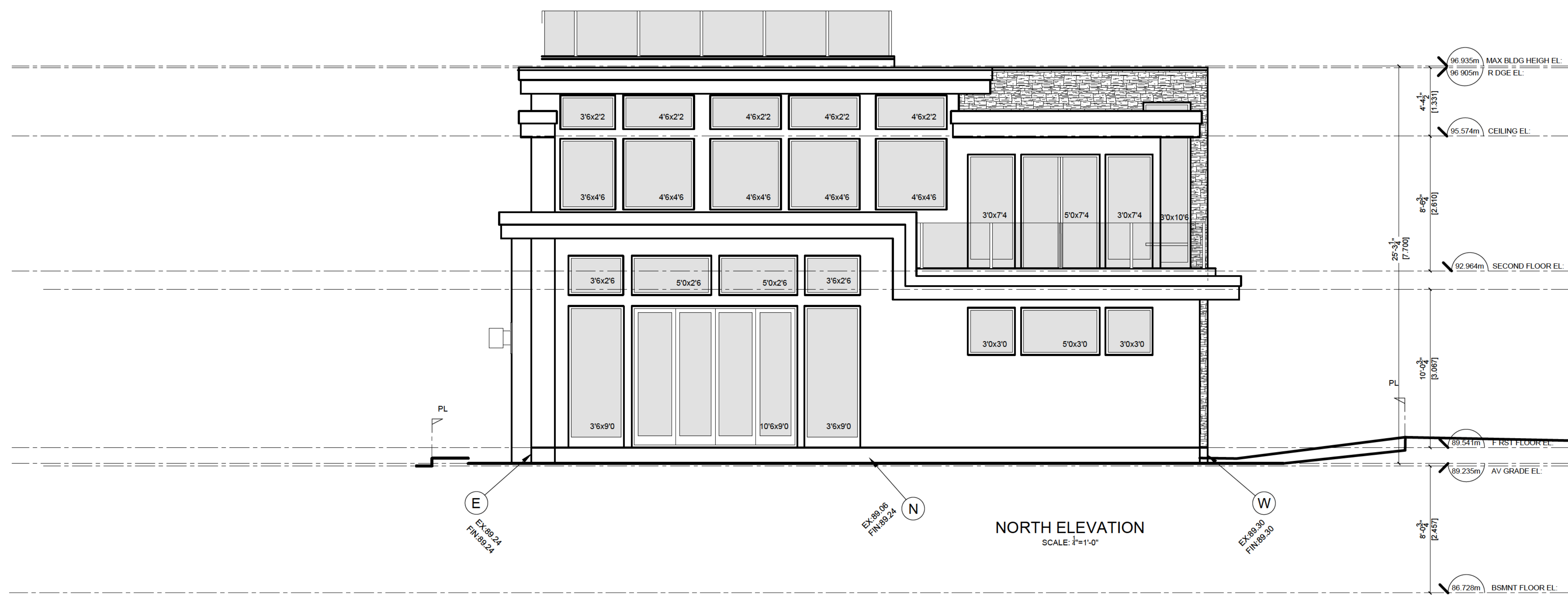
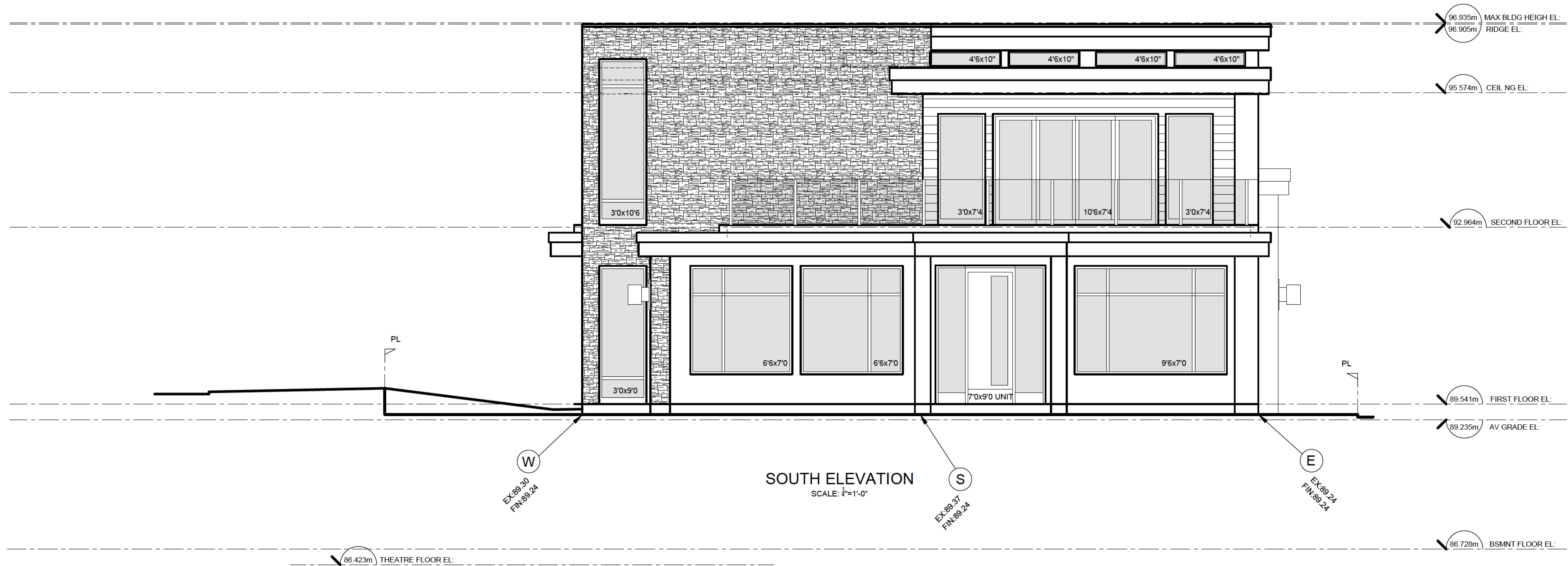
Foundation Plan

Revision	Date
ISSUE FOR DVP	10 MAY 2023

Date: 10 MAY 2023  
 Project Number: 02-16  
 Sheet No.

A-2

1/4"=1'-0" 2



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Elevations2

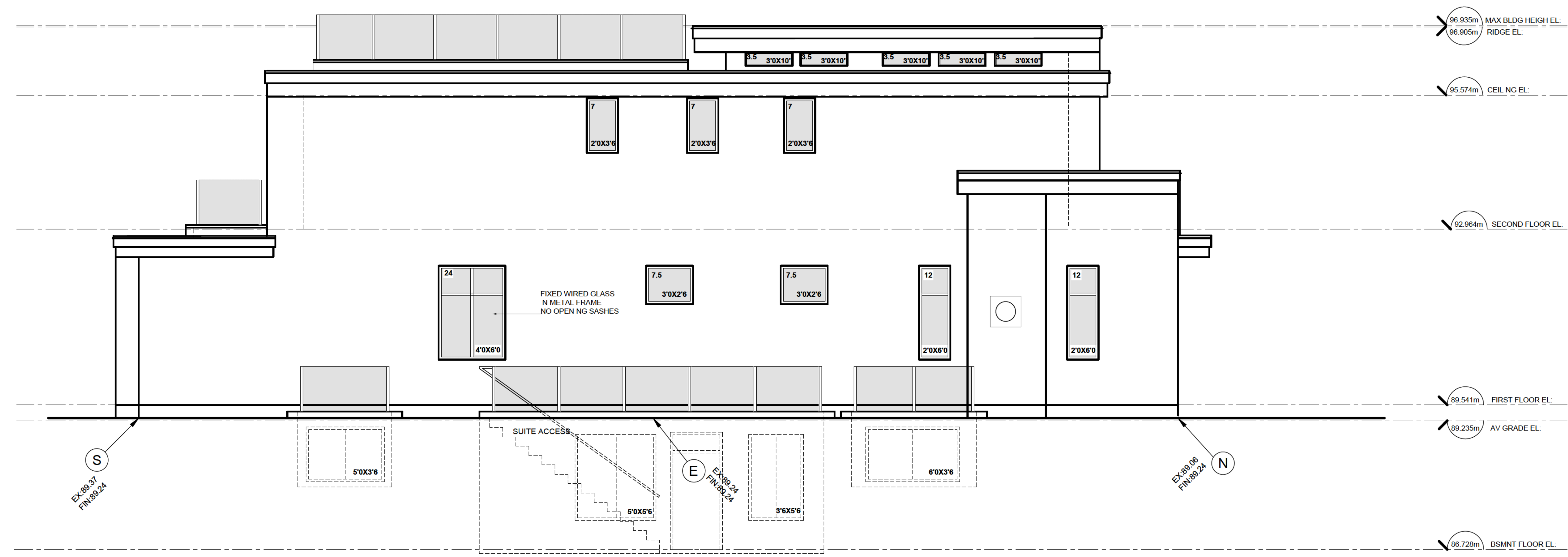
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A-8



WEST ELEVATION  
SCALE: 1/4"=1'-0"



EAST ELEVATION  
SCALE: 1/4"=1'-0"

**SPATIAL SEPARATION CALCULATION**  
 LIM. DISTANCE: 6.31 FT = 1.92 m  
 AREA OF BLDG FACE: 1282.0 SQ FT = 119.1 m<sup>2</sup>  
 ACTUAL OPENINGS: 103.0 SQ FT  
 PERMITTED OPENINGS: 103.0 SQ FT (8%)