



**BEACHWAY**  
15654 North Bluff Road.

# CITY OF WHITE ROCK PUBLIC INFORMATION MEETING SUMMARY

MARCH 6, 2019  
MARCH 28, 2019



## TABLE OF CONTENTS

### Information Summary

- Introduction
- Feedback
- Response

### Appendix 1

### Appendix 2

## INTRODUCTION

The purpose of this document is to summarize the Public Information Meetings held by Urban Arts Architecture on March 6, 2018 and March 28, 2018 for the Beachway development at North Bluff Road and Maple Street. The development includes the following addresses:

- 15654/64/74 North Bluff Road
- 1570/80 Maple Street
- 1593 Lee Street

The intent of the meeting was to share the community development proposal with the public, answer questions, gain feedback and listen to potential concerns. This document presents information regarding the meeting, summarizes comments received from attendees and provides a response to comments and concerns.

## LOCATION AND TIME

Both the meetings were held in the White Rock Community Centre Gallery Room from 5.30 pm to 7.00 pm.

## MEETING FORMAT

The meeting format was an open house with a design team speaking to individuals and answering questions. A welcome desk was located at the entry to the community room where attendees signed in providing their name and address. Representatives from the Developer and the design team were present to listen to attendee's comments and concerns as well as answer any questions related to the development. City staff were also present to answer questions related to the development/approval process.

## TEAM

March 6, 2019 5:30-7pm:

Representative of the Developer:

- Raghbir Gurm

Urban Arts Architecture

- Shelley Craig
- Jordan Edmonds

ETA

- Daryl Tyacke

City Representatives

- Carl Isaak – City Planner

March 28, 2019 5:30-7pm:

Representative of the Developer:

- Raghbir Gurm

Urban Arts Architecture

- Jordan Edmonds

City Representatives

- Carl Isaak – City Planner

## FEEDBACK

At the March 6, 2019 open house, 18 people signed-in at the welcome desk, however the number of people present was slightly greater because some people signed in as couples and a few people may have not used the sign-in sheet. The number of attendees is fairly consistent with the number of comment forms received (18 comments).

A second meeting held on March 28, 2019 had 23 attendees that signed in at the welcome desk.

## COMMENT CARDS

The comment forms were provided by the City of White Rock. The forms asked if people were supportive, non-supportive, or undecided on the project as proposed. Space below was allowed for additional comments concerning the development proposal.

## REVIEW AND ANALYSIS

As requested by the city, all forms were first reviewed to determine the percentage of people who supported, did not support, or were undecided on the project as proposed. Once this initial count was complete, all comments were closely reviewed to determine the reason why a person supported or did not support the project.

Review of comments indicated a strong support for the project (89% approved). For the 6% of the attendees who did not support the project, generally the reasons are as follows:

- The number of parking stalls provided.
- Overcrowding of existing schools and hospitals.
- Increase in traffic.

## SUMMARY OF RESULTS

### Results from March 6, 2019

Support	Against	Undecided
89%	6%	6%

### Results from March 28, 2019

Support	Against	Undecided
85%	11%	4%

## REASONING PROVIDED FOR SUPPORTING THE PROJECT

White Rock citizens supported the project primarily for the following reasons: Architecture, Revitalization, Economic Benefits, Density, Affordable Housing and Parking.

### Attendees on March 6, 2019

Reason for Support	% of Respondents Mentioning
Density	61%
Revitalization	39%
Architecture	72%
Retail/Sidewalk	33%
Economic	28%
Housing	61%
Alternative Transit	22%

### Attendees on March 28, 2019

Reason for Support	% of Respondents Mentioning
Density	69%
Revitalization	65%
Architecture	73%
Retail/Sidewalk	69%
Economic	58%
Housing	77%
Alternative Transit	31%

## ARCHITECTURE

Architecture was the most common reason cited to support the project.

Comments included:

- “Appreciate how much thought has been put into design on every level from the architecture to the landscape plan!”
- “Very happy with the new design layout. Nice development, novel ideas, and a convenient location.”
- “The sustainable design is forward thinking and affordable housing gives the average person a housing option in a high value market.”
- “ I like the vision of the project. Wood for construction is extremely safe.”
- “Very innovative construction methods. The floor plans are thoughtful and flexible, and I really love the brick!”



Figure 1: Looking north to townhouse mews and courtyard beyond

## REVITALIZATION / ECONOMIC / DENSITY

Revitalization, Economic Benefits and Density were all closely connected in the comments.

Comments included:

- “Enhancing the public space and good sized units will benefit the community.”
- “Great ideas to create a community feel for people to enjoy the architecture and landscape.”
- “Beautiful development, the developer has considered the needs of the residents in the area with ample amount of green space and affordable housing.”
- “In support of higher density on North Bluff Road, and creating an arterial route to the highway.”
- “The design is attractive and a six storey development is very accommodative.”

## PUBLIC REALM

Positive comments regarding the public realm were received from citizens who both supported and did not support the project.

Comments included:

- “Enhancing the public space and good sized units will benefit the community.”
- “Walk-ability is really important and an increase in amenities would be welcomed to reduce the need for cars.”
- “It appears the setbacks and landscaping will enhance the community street scape and enable ‘eyes on the street’ safety.”



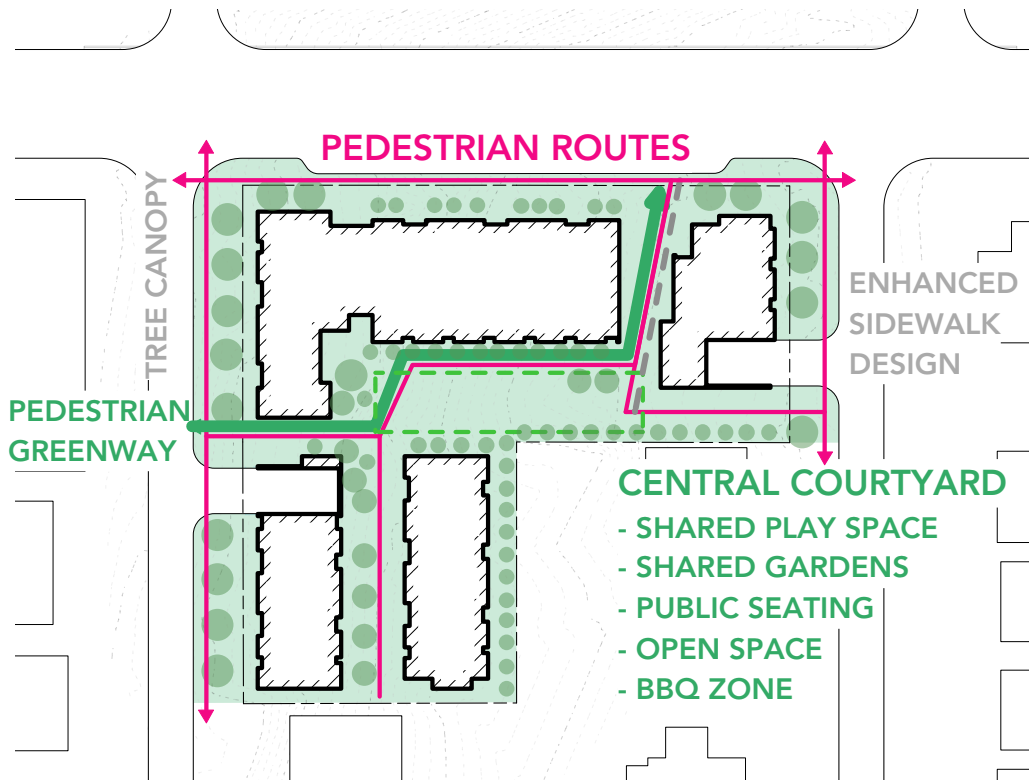


Figure 2: Enhancing the public realm.

## OTHER TOPICS

### AFFORDABLE HOUSING

A large number of responses were in support of the affordable housing approach. These attendees positively responded to the proposed affordable rental units and believe it will improve the development of the community, and enhance the city of White Rock.

Comments included:

- “Affordable housing is required in White Rock. Close proximity to the hospital, which works well for seniors to downsize.”
- “Looks great. Great for middle class to get into the housing market.”

- “I appreciate the approach towards affordability and pedestrian friendly.”
- “New townhouses are needed to create affordable homes for young and old.”

## SUSTAINABILITY

A large number of responses were in support of the use of mass timber in the development of this project. Many of the comments displayed interest towards this method of construction and its’ benefits to the surrounding community.

Comments included:

- “Impressed with the types of materials being used to build the units”
- “Appreciate the 10 electric car charging stations and the creation of affordable options.”
- “I like the vision of the project. Wood for construction is extremely safe.”

## PARKING

Though some attendees that were not in favor of the project expressed concern about parking, positive comments were also recieved.

Comments included:

- “It supports building rental units, electric vehicle charging stations and bicycle parking spaces.”
- “Excellent construction techniques and lots of underground parking!”

## REASONING PROVIDED FOR NOT SUPPORTING THE PROJECT

Reasons listed to not support the project included Infrastructure/ Existing Amenities, Height/Density, Traffic, and Parking. Outlined below is a summary of topics referenced in the comments.

Attendees on March 6, 2019

Reason for Opposition	% of Respondents Mentioning
Height/Density	0%
Traffic	0%
Infrastructure	0%
Parking	0%
Architecture	0%
Other	0%

Attendees on March 28, 2019

Reason for Opposition	% of Respondents Mentioning
Height/Density	8%
Traffic	8%
Infrastructure	4%
Parking	4%
Architecture	0%
Other	0%

## RESPONSES TO CONCERNS

### INFRASTRUCTURE/ COMMUNITY AMENITIES

Responses to concerns have been described as the general topics below. Some concern was expressed regarding the overcrowding of schools and hospitals.

Comments included:

- “This height + density of development in a residential neighbourhood seems excessive and will have a negative affect on property values.”
- “Schools and hospital cannot handle the new capacity. Not enough affordable rental units for families already in the area.”

The height and density of the proposed development is in accordance with the City of White Rock Official Community Plan (OCP). We recommend referring citizens to the City of White Rock for further understanding of growth and service provision.

## HEIGHT / DENSITY

Concerns on building height is mentioned as a concern in approximately 7% of the comments. This was most often tied to parking; with one attendee indicate that they would prefer a three storey development. Comments from the three attendees with concerns included:

- “Too much development at once. Schools and hospital cannot handle the new capacity”
- “A six storey building will increase traffic and parking issues would overwhelm the surrounding neighbourhood.”

## Response

In response to these comments, refer to the parking section for additional comments. The massing for the development is in accordance with the objectives and policies of the East Side Large Lot Infill Land Use Designation of the Official Community Plan. The six storey massing facing North Bluff Road provides a buffer to the arterial road and will not shade the residents to the south.

## TRAFFIC + PARKING

Most of the concerns related to the impact on the neighbourhood is centred around parking. These concerns were directed towards the number of proposed parking spaces as well as the increased need for parking during the construction process.

Comments included:

- “The number of parking spaces planned for residents and visitors sounds insufficient.”
- “This will likely results in people parking along the street, not to mention the workers during construction.”
- “Lee Street will not be able to handle the increase, as the plan will have 99 vehicles using a ramp very close to the intersection.”
- “It will force traffic back into the neighborhood.”

Response

- Parking has been provided as per City of White Rock Zoning Bylaw. Entrances to the underground parkade have been located on both Maple and Lee Streets to disperse parking.
- The prefabricated Mass Timber Construction strategy will result in a much shorter period of construction with dramatically reduced noise, air and water pollution on site.
- A traffic study was carried out for the development planning of this project which indicated that there is no additional need for traffic signals for North Bluff Road

## CONCLUSION

The design team and developer are delighted with the support for the project. We will commit to ongoing further engagement with the community throughout the design process.

## Appendix 1: Comments Summary

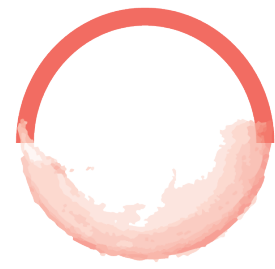
				Concerns/Reasoning						Reasons they support								
Name	For	Opposed	Undecided	Height/ Dens	Traffic	Infra	Parking	Architecture	Other	Density	Revitalize	Arch	Public Realm	Economic	Housing Options	Alternative Transit Options	Summary of Comments	
S PAULLIUS	1																	
K GETTY	1											1				1	Appreciate how much thought has been put into design on every level- from the architecture to the landscape plan. Appreciates the approach towards affordability and pedestrian friendly.	
K GETTY	1											1	1	1		1	A development like this could positively affect the community. Walkability is really important and an increase in amenities would be welcomed to reduce the need for cars. Appreciate the 10 electric car charging stations and the creation of affordable options.	
K DHAMRAIT	1									1	1					1	Supportive of this development. Much needed affordable rental units in the city.	
K JUNG	1					1	1			1							It's a great project in this community. Concerned about the impact on the community during construction (i.e. Noise/dust/traffic)	
R MILFORD	1									1		1					Exciting development. Much needed for community growth.	
A MILFORD	1									1		1	1			1	Great ideas to create a community feel for people to enjoy the architecture and landscape. New townhouses are needed to create affordable homes for young and old. Appreciate the walkability approach.	
J CORIN	1											1					It looks really great, lovely development with lots of green space.	
R CORTES	1									1		1				1	Very innovative construction methods. The floorplans are thoughtful and flexible, and I really love the brick. Good use of land- not too tall. Love the idea of rentals!	
B NOY	1									1		1			1	1	Appreciate affordable rental housing is part of the proposal, which is necessary for community sustainability.	
J ENGLAND	1											1				1	Great mix of affordable housing options in a great location in White Rock.	
S GIGA	1									1	1	1	1			1	In support of higher density on North Bluff Road, and creating an arterial route to the highway. Supports building rental units, electric vehicle charging stations and bicycle parking spaces. It encourages a community living environment. In full support of the development of the project on the North end of White Rock.	
A JOPE			1															
G SEKHON	1									1	1	1	1		1	1	1	Obtained 228 signatures in support of a project with both non-market and market housing on North Bluff Road between Finlay and Parker. 2018 OCP signatures support this. Supports higher density. Project is 30% affordable, 6 storey townhouses, and 70% market condos. The project is good as it is on an arterial route/transit corridor, no shading from towers. Walking distance to hospital and local amenities, and affordable. I am in full support of this project.
S TIWANA	1									1	1	1	1		1	1	1	The residents in the proposed area is in support of higher density and this has been proved with 228 signatures supporting non-market and market housing on North Bluff Road between Finlay Street and Macaul Park. This project takes away density from the lower town centre, and there is need for affordable housing in White Rock which is 10-15% below market rental rates for life of the building. This project benefits out community and I am in full support of it.
R WILSON	1									1	1	1			1	1	Great concept to build community and offer affordability to low income earners.	
M PRIHAR	1									1	1	1	1		1	1	I think this is an excellent proposal. North Bluff road being an arterial route and having quick access to the highway it a great way to densify White Rock, as it will not add traffic to White Rock. It will not be blocking any view of White Rock citizens, and will also more closely resemble what Surrey might be planning on the other side of North Bluff. This development also promises to give affordable housing units to the city which our community really needs. The design proposed and materials the developer plans to use are of modern style, and the landscape plan will revitalize the area. Being in close proximity to the hospital, mall and other amenities makes this project and the area more attractive in terms of walkability.	
B MCDONALD		1		1	1		1		1								A six storey building will increase traffic and parking issues would overwhelm the surrounding neighbourhood. Property values and livability would reduce. The number of parking spaces planned for residents and visitors sounds insufficient, as it seems every unit would have two occupants and two cars, including the rental units. Lee Street will not be able to handle the increase, as the plan will have 99 vehicles using a ramp very close to the intersection. As there is no light at Lee St, a left turn on N. Bluff requires time to complete safely which will force traffic back into the neighborhood. I oppose this application.	
TOTAL	16	1	1	1	2	1	1	0	0	11	7	13	6	5	11	4		
18	89%	6%	6%	6%	11%	6%	6%	0%		61%	39%	72%	33%	28%	61%	22%		

Name	For	Opp	Undecided	Concerns/Reasoning					Reasons they support					Summary of Comments			
	Column1	Column2	Column3	Height/ Dens	Traffic	Infra	Parking	Architecture	Other	Density	Revitalize	Arch	Public Realm		Economic	Housing Optio	Alternative Trans
M LOECK	1														1		Nice idea for middle class families to be able to buy or rent homes.
R SHOKAR	1									1	1	1	1	1	1		Beautiful development, the developer has considered the needs of the residence in the area with ample amount of green space and affordable housing. Great shadow study with different months being considered. Gorgeous building to enhance public spaces and rates. This building will add character to the neighbourhood. I support this development and believe it will benefit White Rock.
C PAULINK	1																Higher density along 16th is a must. This development will not be blocking views. This areas needs affordable housing options for the elderly/ growing families.
G SEKHON	1									1	1	1	1	1	1	1	I support this project. Affordable housing is required in White Rock. Close proximity to the hospital, which works well for seniors to downsize. Appreciate the design. Is on arterial road, no sun shading, and close to the bus routes & Highway 99. Affordable housing has rental rates 15% lower than market
N MONSHEY	1											1			1		Like the plan, and the affordable housing idea is pleasing. Design is attractive and a six storey development is very accommodative.
J LEEKS			1														More parking would be nice
O HASSAN	1									1	1	1	1		1		Very happy with the new design layout. Nice development, novel ideas, and a convenient location.
S MUNSHEY	1									1	1	1	1				Very happy with the concept of the community. The non-profit concept is a good idea.
L+J PAULIUK	1									1	1	1	1		1		Like the vision of the project. Wood for construction is extremely safe. Like the green spaces, and the location is idea- near hospitals and schools. Agree with the affordable housing concept.
S SHAH	1									1	1	1	1		1		Very nice plan, layout. Supportive of the location (centre of the city), and the facilities that the plan promises.
P PETRALA	1									1	1	1	1	1	1		Appears the setbacks and landscaping will enhance the community streetscape and enable 'eyes on the street' safety. Look forward to the evolution of this intentional community and next generations having stability for coming decades. 14 Floor complex makes sense, use of wood makes sense for costs. The homes will meet the needs of local working 'middle' families and professionals.
G WOLGEMUTH	1									1	1	1	1	1	1		Has affordable rental component, faces North Bluff Road, and has good considerations towards tree replacement, landscaping. Excellent construction techniques and lots of underground parking. Enhancing the public space and good sized units will benefit the community.
D CHEHAN	1									1	1	1	1	1	1		Impressed with the types of homes, affordability, and the types of materials being used to build the units. It is a very different concept and amazing ideas. Love the green space and affordable housing.
S HENRY	1											1	1	1	1		Looks great. Great for middle class to get into the housing market.
D TOWNSEND	1									1	1	1	1	1	1	1	This is a well thought out and planning community/development. The open concept, ample green space and overall design are very appealing and welcoming . The height is perfect for the neighborhood and is not intrusive. The sustainable design is forward thinking and affordable housing gives the average person a housing option in a high value market. I 100% support all aspects of this project.
W+D BEILHARTZ	1									1	1	1	1	1	1	1	We are in favor of the purposed development and density on Lee St, Maple St and 16 Ave.
L READ	1									1	1	1	1	1	1		In full support of the application for the 6-storey apartment project on North Bluff from Maple to Lee as well as the townhouse portion on Maple. The affordable housing building will be the first of its' kind in White Rock.
P MARZILIANO	1									1	1	1	1	1	1		In full support of the application for the 6-storey apartment project on North Bluff from Maple to Lee as well as the townhouse portion on Maple. The affordable housing building will be the first of its' kind in White Rock.
B DOUTERDIEK	1									1	1	1	1	1	1		In full support of the application for the 6-storey apartment project on North Bluff from Maple to Lee as well as the townhouse portion on Maple. The affordable housing building will be the first of its' kind in White Rock.
T BLACKMORE	1									1	1	1	1	1	1		In full support of the application for the 6-storey apartment project on North Bluff from Maple to Lee as well as the townhouse portion on Maple. The affordable housing building will be the first of its' kind in White Rock.
DESIGN GROUP HAIR STUDIO	1									1	1	1	1	1	1		In full support of the application for the 6-storey apartment project on North Bluff from Maple to Lee as well as the townhouse portion on Maple. The affordable housing building will be the first of its' kind in White Rock.
P HEJZLAR	1									1	1	1	1	1	1		In full support of the application for the 6-storey apartment project on North Bluff from Maple to Lee as well as the townhouse portion on Maple. The



S MACK	1									1				1	1		I support this development as I like the idea of affordable housing in the neighborhood. It will add social value and benefit to the community, and affordable housing is much needed especially for small families.
H BRUGGER		1		1	1												Too much development at once. Schools and hospital cannot handle the new capacity. Not enough affordable rental units for families already in the area. This development will force families to leave schools and area they had grown up in. A 2 bedroom rental at \$2000/month is not affordable.
R+P RIS		1		1	1	1	1										This height + density of development in a residential neighbourhood seems excessive and will have a negative affect on property values. The ratio of parking to units does not make sense to us (99 spaces for 74 units is not realistic), and will likely results in people parking along the street, not to mention the workers during construction. A three storey development would be more welcome in a White Rock neighborhood.
H HARRIOT		1															Not pertinent to project.
TOTAL	22	3	1	2	2	1	1	0	0	18	17	19	18	15	20	8	
26	85%	12%	4%	8%	8%	4%	4%	0%	0%	69%	65%	73%	69%	58%	77%	31%	

## Appendix 2: Display Panels



# BEACHWAY

City of White Rock  
A COMMUNITY FOR ALL



## INTRODUCTION

Beachway includes two 6-storey multi-unit residential buildings between North Bluff and Maple, with 25 affordable rental units and 49 market units. Fourteen townhouses face Maple Street.

The project will transform six existing single family home lots into a vibrant new community with a mix of residential units for “growing up and growing old” in the same neighbourhood.

Open and engaging public spaces and routes are provided to enhance the character of the built environment, supporting the City of White Rock’s socially-oriented urban design principles.

## LOCATION

The site is located between Maple and Lee Streets and North Bluff Road one block east of Peace Arch Hospital.



# NEIGHBOURHOOD

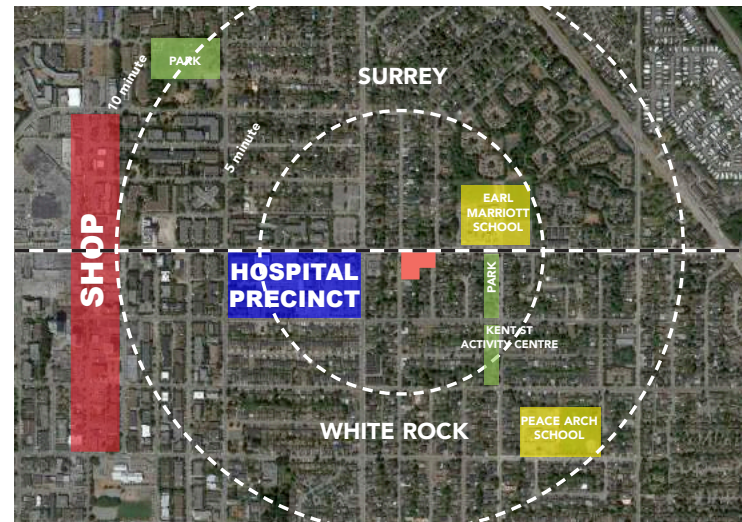
## CREATE A WALKABLE COMMUNITY

This site is well placed to encourage walking, transit use, and biking!

- 10 minute walk to Semiahmoo Town Centre,
- 5 minute walk to Peace Arch Hospital,
- Earl Marriot Secondary School is located one block to the east,
- 10 minute walk to Peace Arch Elementary School, and
- 5 minute walk to the Kent Street Activity Centre.

## TRANSIT

Existing bus routes on 16th Ave and the proposed new rapid transit B-Line service will be located along 152nd Street.



# VISION

**Create an affordable community with a diversity of housing to grow up and grow old in the neighbourhood.**

## VARIETY OF HOUSING TYPES:

The housing includes:

- 6 storey 25 unit affordable housing at North Bluff Road and Lee Street,
- 6 storey 49 unit market housing project at North Bluff Road and Maple Street, and
- 14 townhouses on Maple Street.

## COMMUNITY CONNECTIVITY

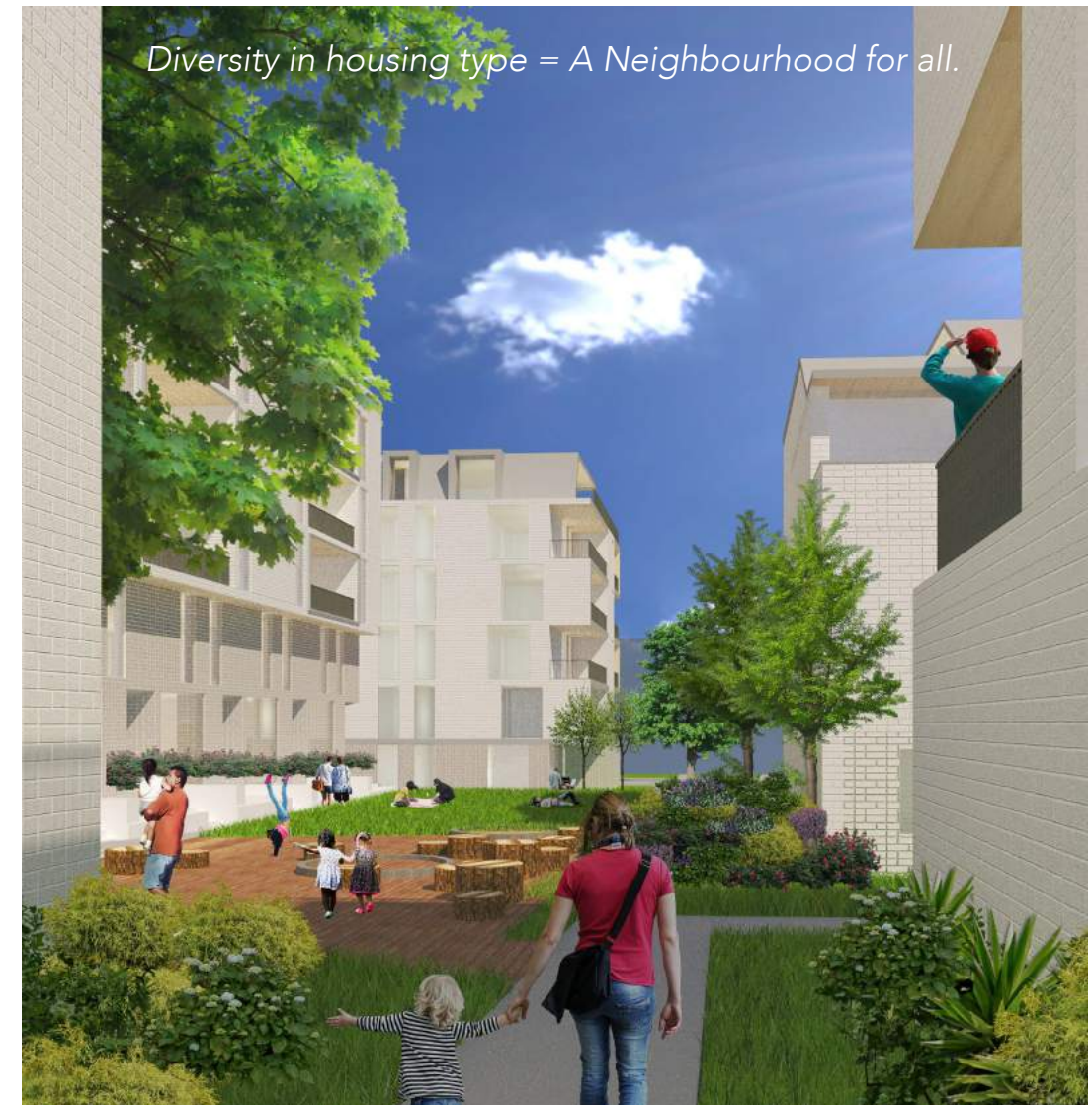
“The Beachway” - a public mid-block promenade increases the porosity and accessibility by breaking down the scale of the large city blocks.

## ADDRESS THE STREET

Grade related front entries promote eyes on the street and connection with neighbours.

## MASSING

- North Bluff Mid-Rise buildings overlook the sunny south Beachway courtyard,
- Maple Street 3 storey townhouses face a common promenade creating a sense of community,
- Buildings are sheltered under a westcoast mansard roof, inspired by streamlined marine vessels.



*View of Beachway Promenade and Courtyard*

# PROJECT STATISTICS

## NORTH BLUFF MID-RISE



View from Lee and North Bluff Road looking southwest

### Civic Information

15654 North Bluff Road, White Rock, BC (Lot 1)  
 15664 North Bluff Road, White Rock, BC (Lot 2)  
 15674 North Bluff Road, White Rock, BC (Lot 3)  
 1593 Lee Street, White Rock, BC (Lot 4)

### Legal Description

Lots 1 to 4, Section 11 Township 1,  
 New Westminster District, Plan 20673

### Parcel Identifier

PID: 009-452-265 LOT 1  
 PID: 009-452-273 LOT 2  
 PID: 009-452-290 LOT 3  
 PID: 009-452-303 LOT 4

### Development Area

East Site Large Lot Infill Development Permit Area

### Maximum Allowable Density

2.5 FAR  
 76,697 sq. ft.

OCP - POLICY 8.7.2 DENSITY + HEIGHT  
 OCP - POLICY 11.2.1 NEW NON-MARKET RENTAL HOUSING

### Maximum Allowable Building Height

6 Storeys

OCP - POLICY 11.2.1.d NEW NON-MARKET RENTAL HOUSING

### Maximum Allowable Site Coverage

N/A

### Required Setbacks

NORTH 2m to 3m

SOUTH 2m to 3m

WEST (MAPLE STREET) 2m to 3m

EAST 2m to 3m

OCP - Policy 22.8.1 BUILDINGS  
 (22.8 EAST SIDE LARGE LOT INFILL  
 DEVELOPMENT PERMIT AREA)

**30,679** sq ft **SITE AREA**  
 2,850.2 sq m

**2.50** **GROSS FAR**  
 GROSS FLOOR AREA

**2.13** **RESIDENTIAL FAR**  
 FLOOR AREA RATIO

**51.8%** **SITE COVERAGE**  
 15,639 sq. ft.

**85.1%** **EFFICIENCY**

**74** **TOTAL UNITS**

**49** **MARKET UNITS**

**25** **AFFORDABLE RENTAL UNITS**  
 33.8%

**76,697** sq ft **GROSS FLOOR AREA**  
 EXCLUDING PARKADE

**65,250** sq ft **RESIDENTIAL FLOOR AREA**

**1,590** sq ft **INDOOR AMENITY**  
 LOBBIES, AMENITY ROOM, AND FEATURE STAIR

**8,711** sq ft **INTERIOR CIRCULATION**

**99** **CAR PARKING SPACES**  
 1.2 RESIDENT SPACES PER MARKET DWELLING UNIT,  
 0.3 VISITOR SPACES PER MARKET DWELLING UNIT,  
 AND 1.0 SPACES PER NON-MARKET DWELLING UNIT

**10+** **ELECTRIC VEHICLE CHARGING STATIONS**  
 1.0 CHARGING STATIONS PER 10 PARKING SPACES,  
 AND 1.0 CHARGING STATION ROUGH-IN PER 10  
 PARKING SPACES

**74+15** **BICYCLE PARKING SPACES**  
 CLASS 1 (76): 1 SPACE PER DWELLING UNIT  
 CLASS 2 (15): 0.2 SPACES PER DWELLING UNIT

# PROJECT STATISTICS

## MAPLE STREET TOWNHOUSES



Looking north to townhouse mews and courtyard beyond

### Civic Information

1570 Maple Street, White Rock, BC (Lot 7)  
1580 Maple Street, White Rock, BC (Lot 6)

### Legal Description

Lots 6 and 7, Section 11 Township 1,  
New Westminster District, Plan 20673

### Parcel Identifier

PID: 009-452-320 LOT 6  
PID: 009-452-338 LOT 7

### Development Area

East Site Large Lot Infill Development Permit Area

### Maximum Allowable Density

1.5 FAR  
23,404 sq. ft.  
OCP - POLICY 8.7.2 DENSITY + HEIGHT

### Maximum Allowable Building Height

3 Storeys  
OCP - POLICY 8.7.2 DENSITY + HEIGHT

### Maximum Allowable Site Coverage

N/A

### Required Setbacks

NORTH	2m to 3m
SOUTH	2m to 3m
WEST (MAPLE STREET)	2m to 3m
EAST	2m to 3m

OCP - Policy 22.8.1 BUILDINGS  
(22.8 EAST SIDE LARGE LOT INFILL  
DEVELOPMENT PERMIT AREA)

**15,603** sq ft **SITE AREA**  
1,449.6 sq m

**1.5** **GROSS FAR**  
GROSS FLOOR AREA

**53.7%** **SITE COVERAGE**  
8,293 sq. ft.

**97.40%** **EFFICIENCY**  
EXCLUDING PARKADE

**14** **TOTAL TOWNHOME UNITS**

**23,404** sq ft **GROSS FLOOR AREA**  
EXCLUDING PARKADE

**22,798** sq ft **RESIDENTIAL FLOOR AREA**

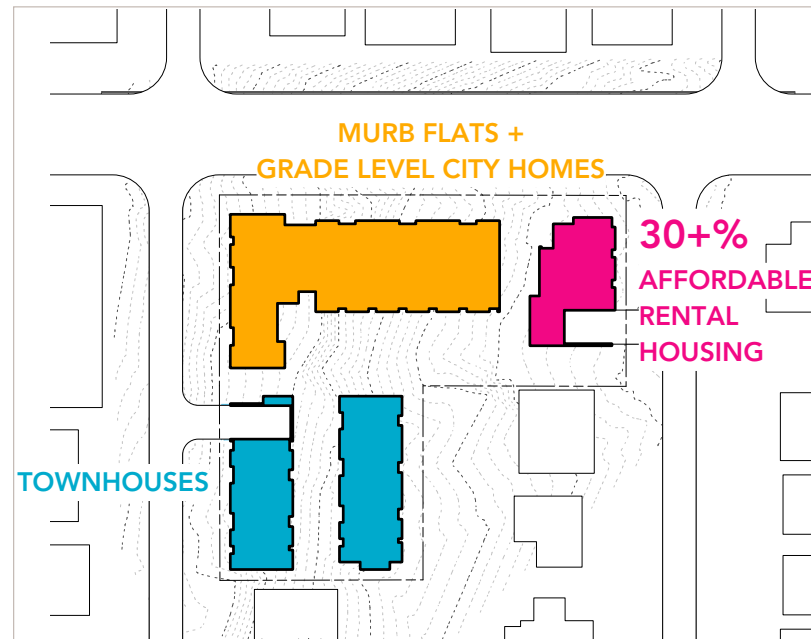
**10,786** sq ft **PARKADE**  
FAR AREA EXCLUSION

**127** sq ft **SHARED AMENITY**  
GARBAGE, RECYCLING, MAINTENANCE  
FAR AREA EXCLUSION

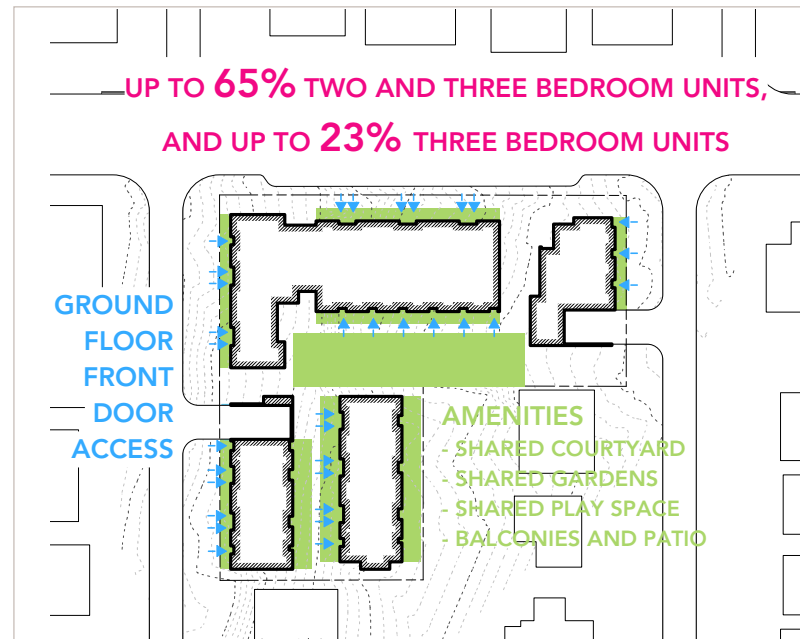
**28** **CAR PARKING SPACES**  
2.0 SPACES PER TOWNHOME UNIT  
(1 REGULAR + 1 SMALL CAR SPACE PER UNIT)

**14+3** **BICYCLE PARKING SPACES**  
CLASS 1 (14): 1 SPACE PER DWELLING UNIT  
CLASS 2 (3): 0.2 SPACES PER DWELLING UNIT

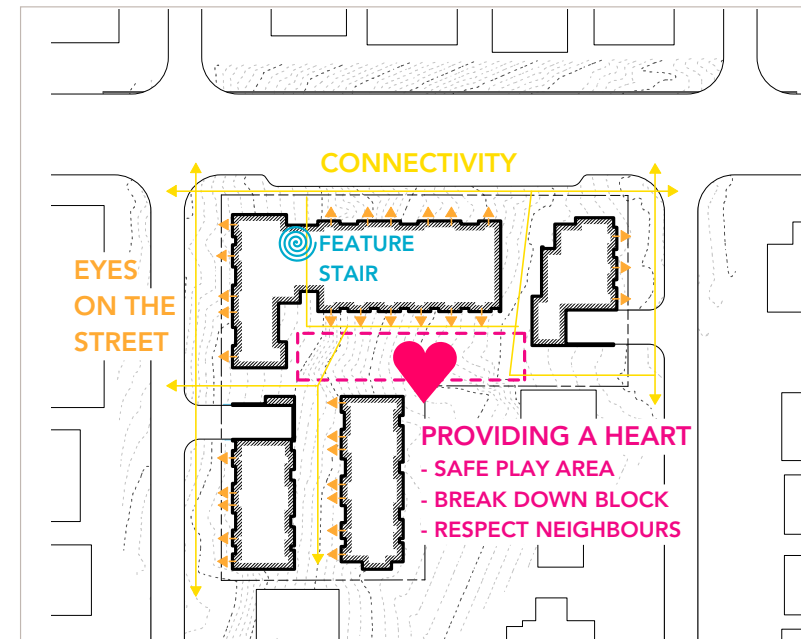
# CREATING COMMUNITY



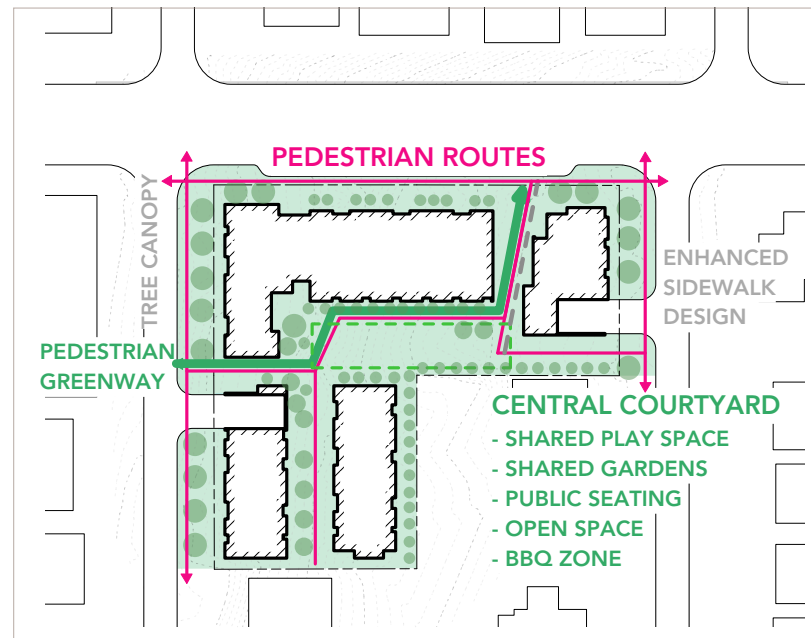
**A DIVERSITY OF HOUSING CHOICES**



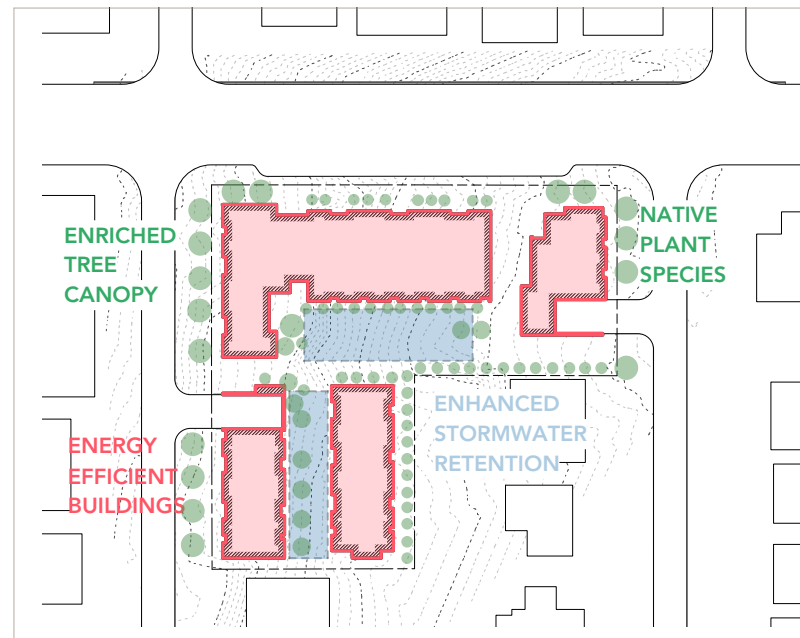
**FAMILY AND AGE-FRIENDLY HOUSING**



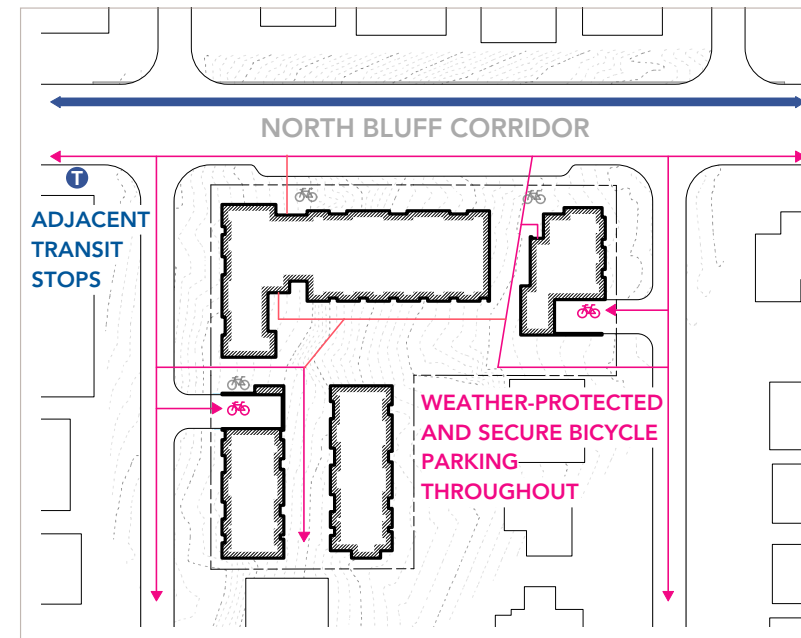
**BUILDING COMMUNITY**



**ENHANCE PUBLIC REALM**



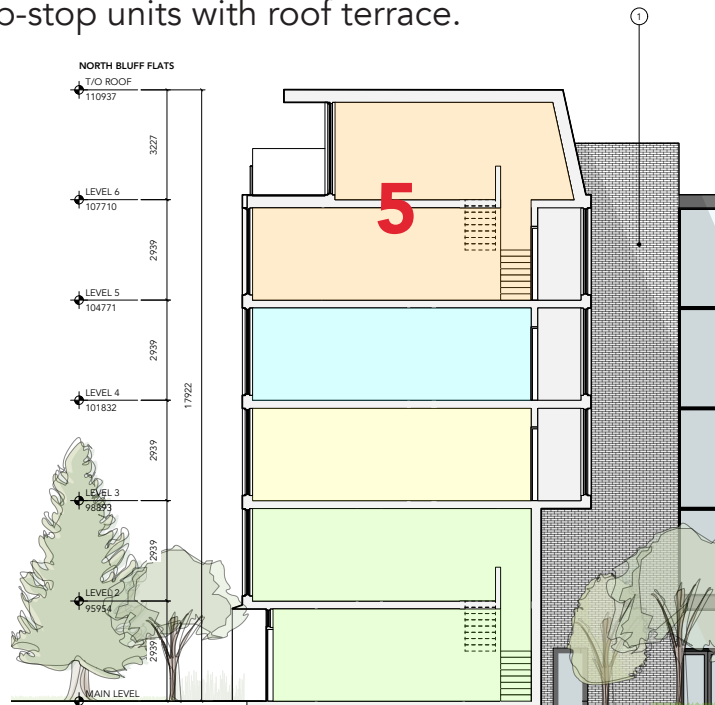
**ENVIRONMENTAL STEWARDSHIP**



**TRANSIT + BICYCLE NETWORK**

# CREATING COMMUNITY

1. Architectural feature stair and lobby connecting to the exterior patio, providing an exciting and dynamic space to greet guests and neighbours, and to promote active and healthy living.
2. Amenity lounges throughout, creating informal places to meet.
3. Front door access to all ground level units, putting “eyes on the street” builds awareness of community and encourages connections.
4. A centralized courtyard with gardens and play space, creating a safe, dynamic and engaging place for residents to gather and connect.
5. Variety of unit types offering a diversity of housing choices.
  - Two-level City Homes at grade,
  - 1 and 2 bedroom Flats on levels 3 and 4,
  - 3 Bedroom Skip-stop units with roof terrace.
  - Townhouses





# KEY EXTERIOR SPACES

1. Beachway Promenade - A public route through the site linking North Bluff Road, Maple and Lee Street - a short cut to Earl Marriott!
2. Address the street - front doors and gardens face all streets.
3. Breezeway - A boardwalk lit by catenary lighting that leads to the BBQ area.
4. BBQ Area - Outdoor gathering space for the residents.
5. Kids' Play zone - natural play area at the heart of the courtyard.
6. Seating Area - Outdoor area spilling out from the lobby.
7. Mews - Landscape zone facing townhouse gardens.

# SITE PLAN



# SUSTAINABILITY

## LOCATION

- Development of a site close to the town centre, Peace Arch Hospital, schools and parks,
- Access to quality transit,
- Bicycle facilities provided,
- Provision of green vehicle power points.

## SUSTAINABLE SITES

- Prevention of construction site pollution through pre-fabricated wood structure,
- Provision of collective open space,
- Rainwater management and re-use in irrigation of the courtyard,
- Provision of exterior recreation space for all units.

## WATER EFFICIENCY

- Re-use of all rainwater for irrigation,
- Water use reduction through specified fixtures,
- Building metering of water use.

## ENERGY EFFICIENCY

- Well insulated envelope minimizing protrusions,
- Management of seasonal solar access.

## CLT MASS TIMBER STRUCTURE

Beachway will be constructed of factory-made mass timber panels called Cross-Laminated Timber (CLT).

Wood is the only major building material that grows naturally and is renewable.

Compared with buildings made of steel and concrete, mass timber wood buildings have a much smaller carbon footprint and produce dramatically less GHG emissions.

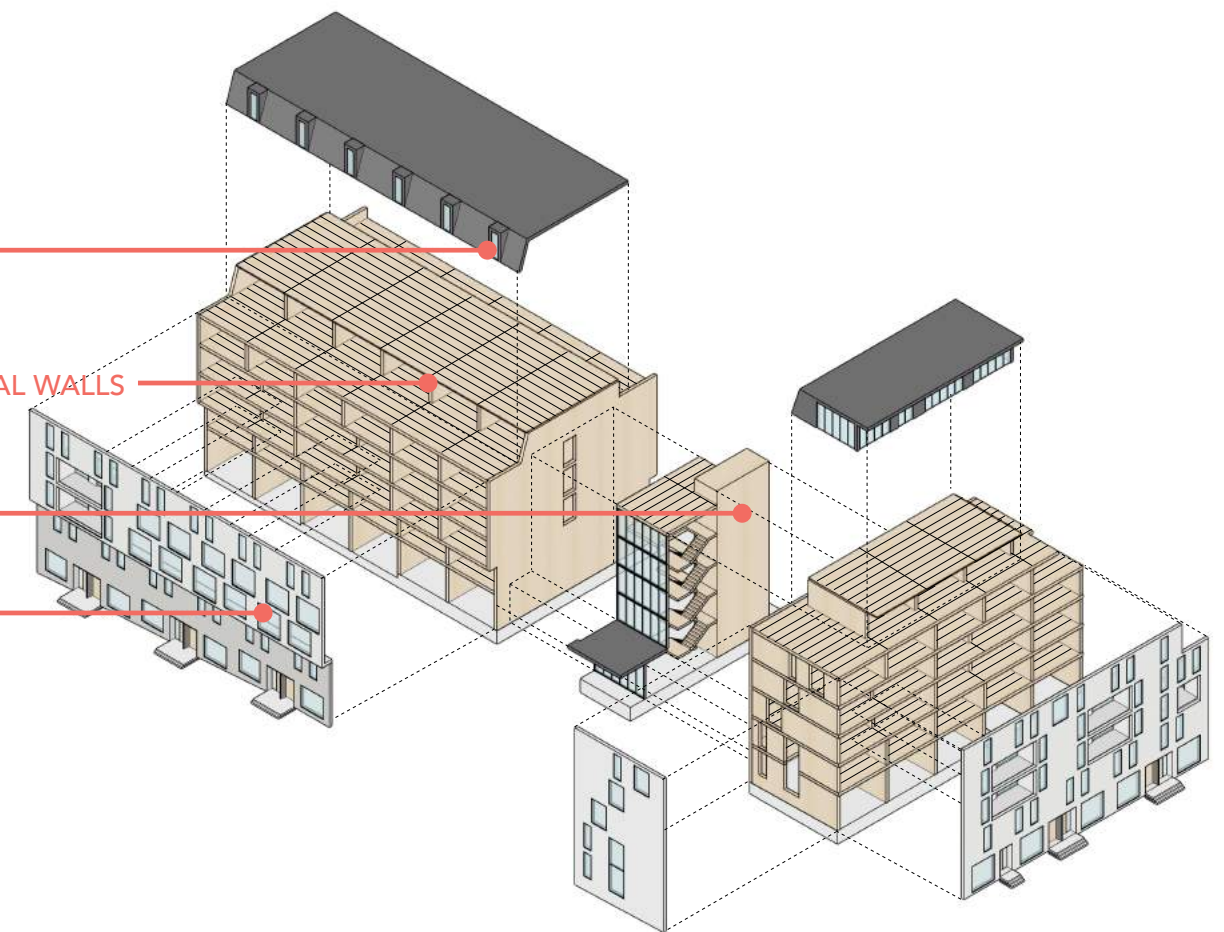
CLT is prefabricated off-site allowing for greater material efficiency, reduced waste, and a much higher degree of precision. A prefabricated wood structure is quicker to build than typical concrete and steel construction, dramatically reducing noise and air pollution for neighbours.

HIGH PERFORMANCE ROOF ENVELOPE ON CLT ROOF SLAB

CLT FLOOR SLAB WITH PREFABRICATED STICK FRAME STRUCTURAL WALLS

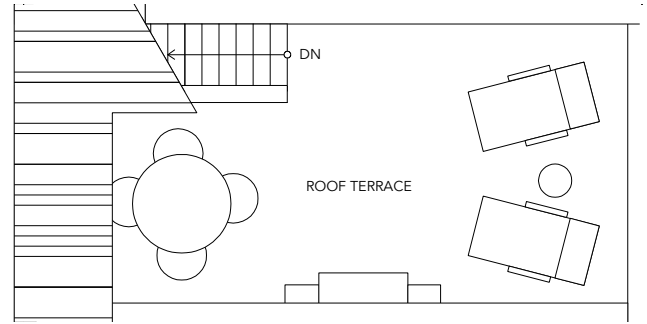
CLT ELEVATOR CORE + FEATURE STAIR

STREAMLINED + CONTINUOUS HIGH PERFORMANCE BUILDING ENVELOPE

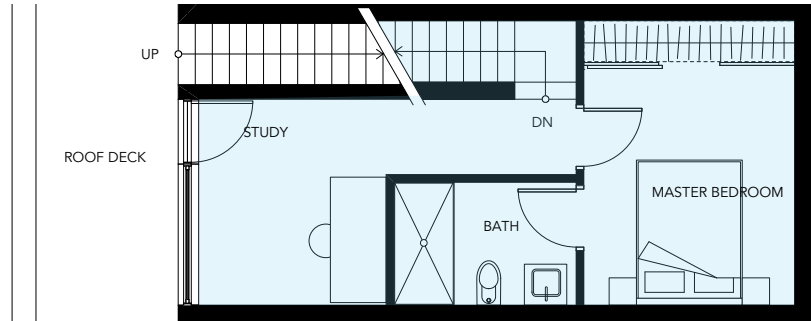


*Creating a socially and environmentally sustainable village through the implementation of a pre-fabricated mass timber system*

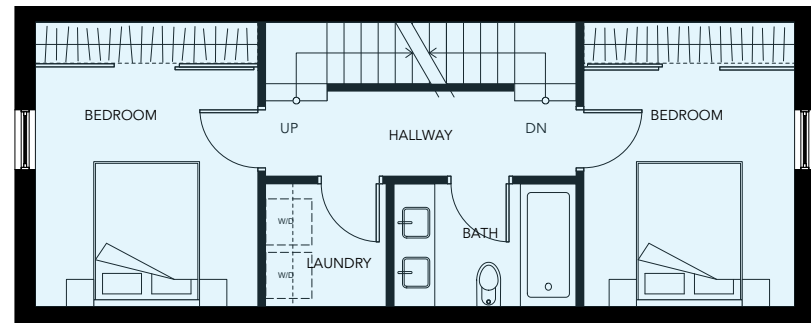
ROOF TERRACE



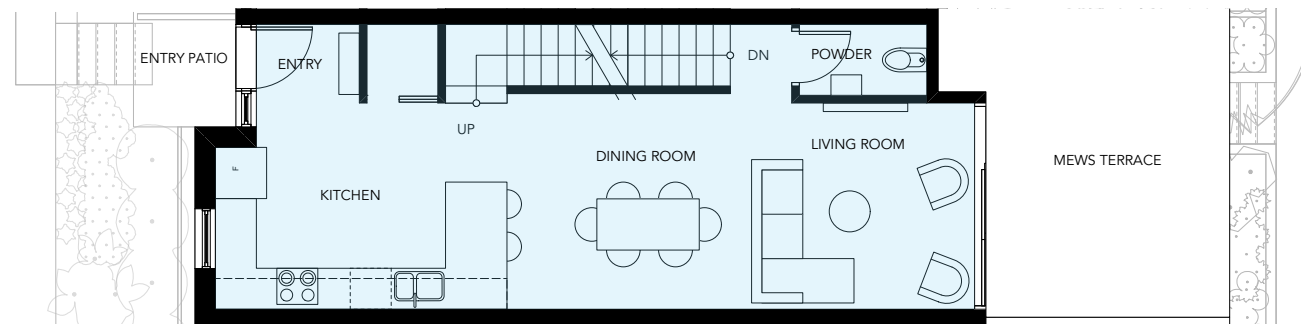
LEVEL 3



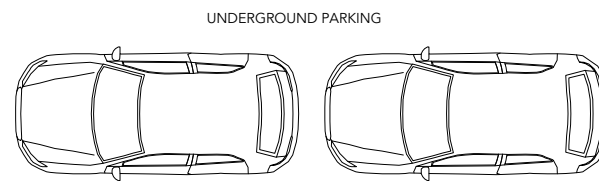
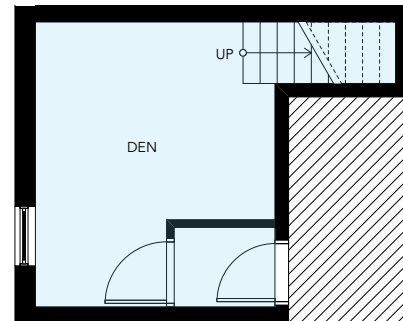
LEVEL 2



LEVEL 1



PARKING LEVEL

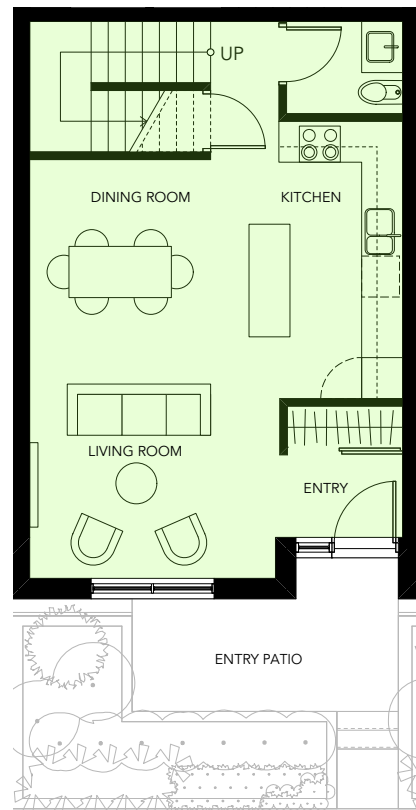


# TYPICAL TOWNHOUSE UNIT PLANS

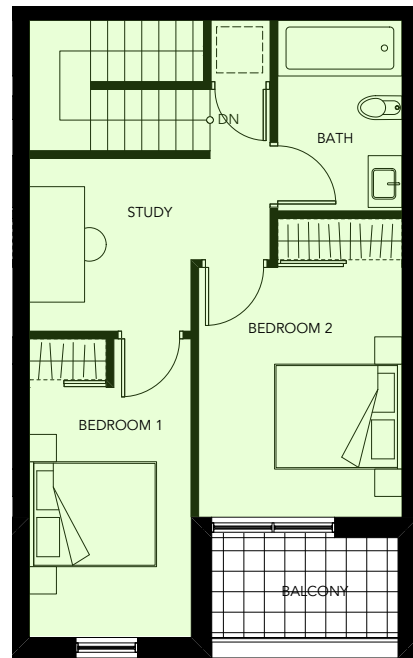
# TYPICAL MID-RISE UNIT PLANS

## CITY HOME

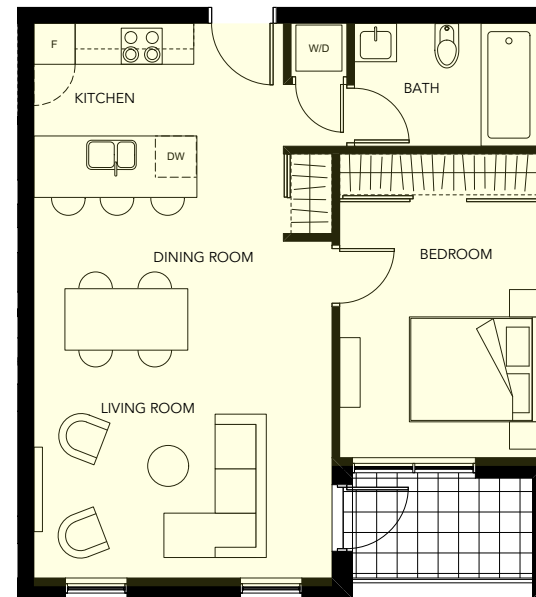
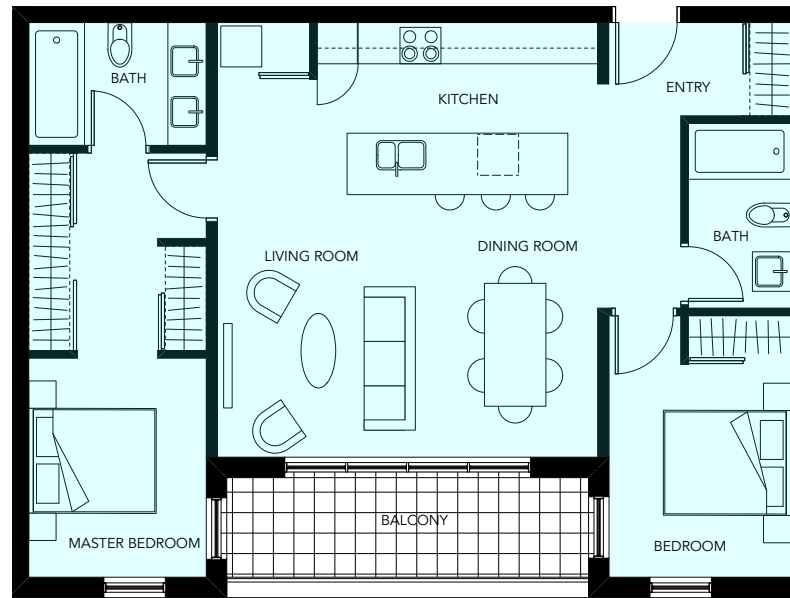
LEVEL 1



LEVEL 2



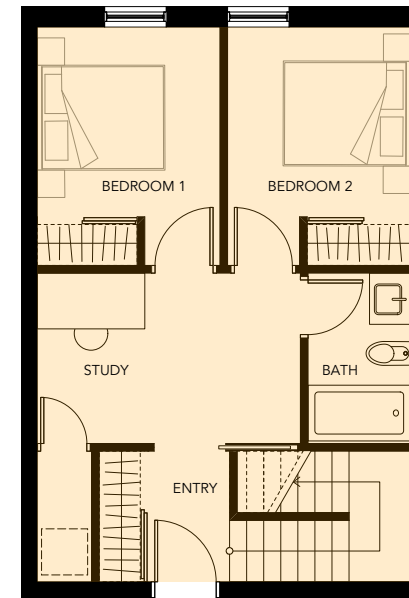
## 2 BEDROOM FLAT



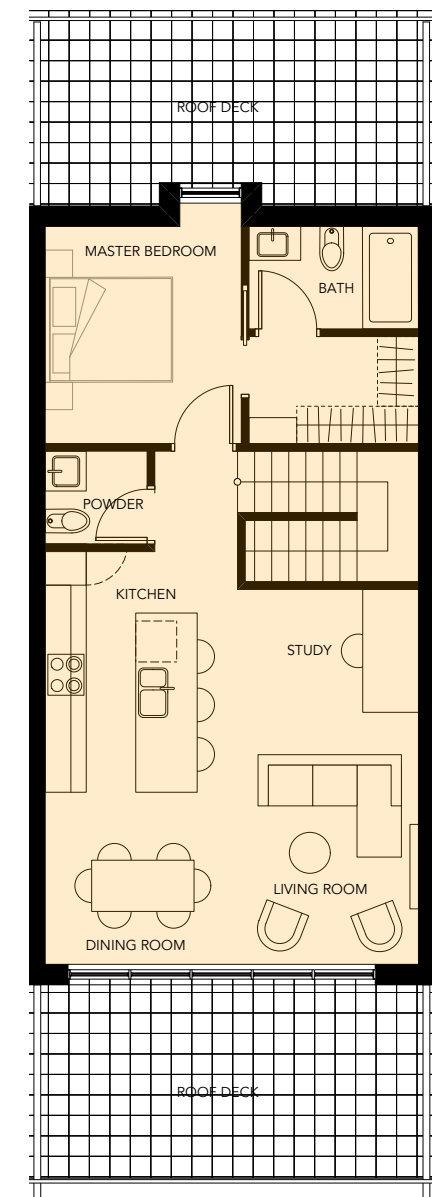
1 BEDROOM FLAT

## 3 BEDROOM SKIP-STOP

LEVEL 1

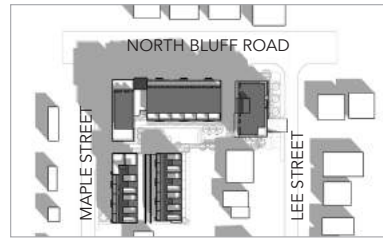


LEVEL 2

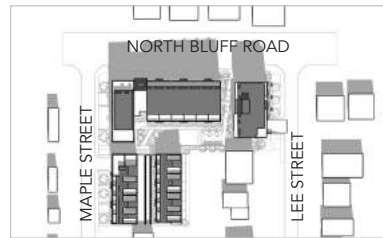


# SHADOW STUDY

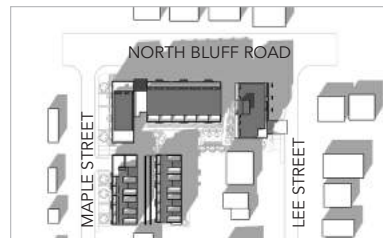
MARCH 21



10 AM

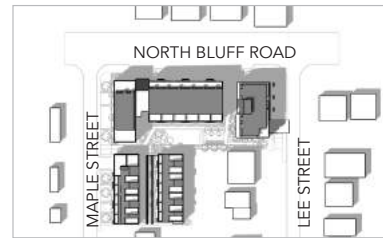
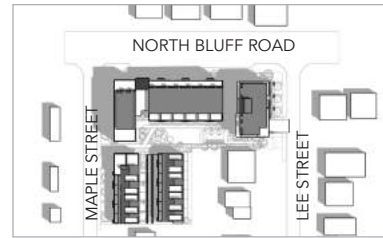


12 PM



14 PM

JUNE 21



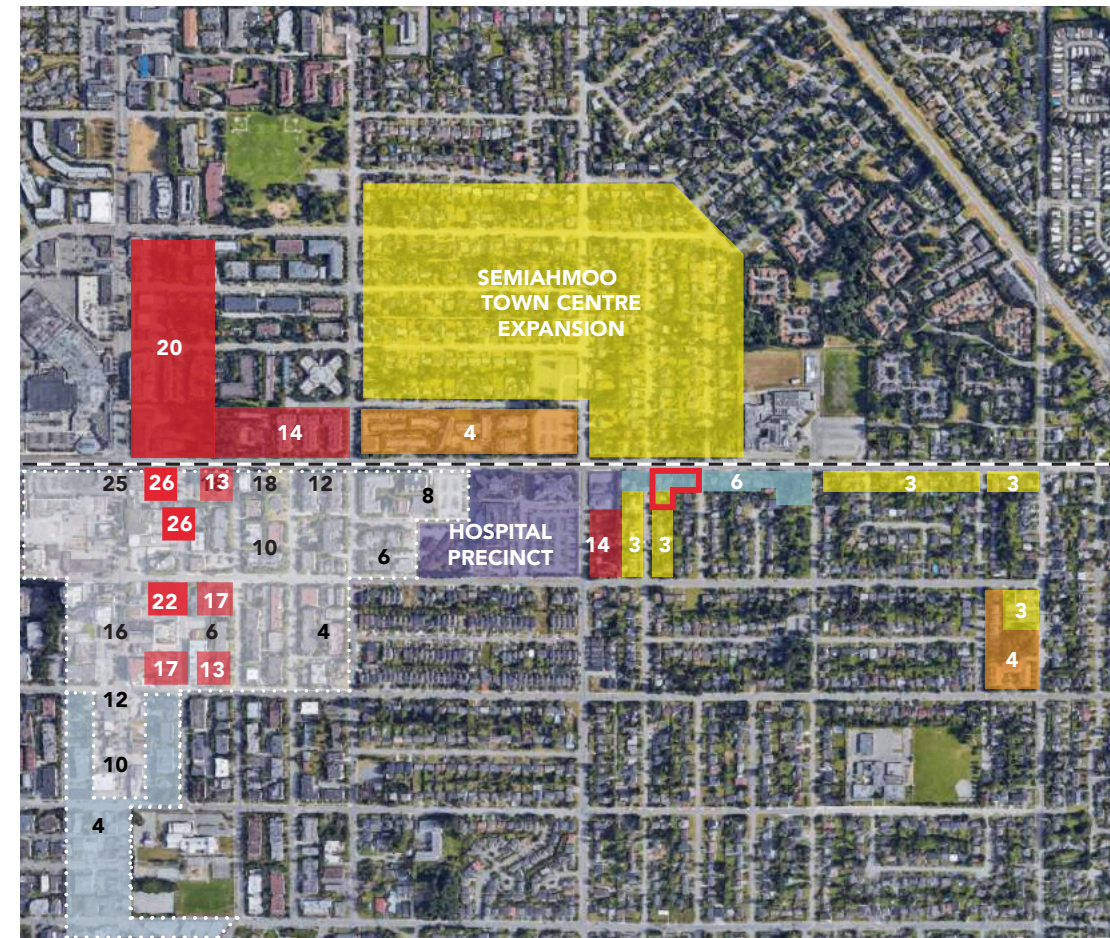
DECEMBER 21



## CONTEXT + NEIGHBOURHOOD

Beachway is located within the East Side Large Lot Development Infill permit area, on North Bluff Road, between Maple St and Lee Street. As part of the East Side Large Lot Development, the provision of affordable housing permits up to 2.5 FAR on sites located on North Bluff Road increasing affordability and creating community.

# HEIGHT in STOREYS



HEIGHT IN STOREYS OF EXISTING BUILDINGS AND AS DEFINED BY THE CITY OF WHITE ROCK OFFICIAL COMMUNITY PLAN

## SITE AND SURROUNDING AREA

The Semiahmoo Town Centre and the Peace Arch Hospital have created a vibrant urban realm at the northern edge of White Rock, increasing amenities and adding growth. Single family housing is located south of the site. To the west, there are the following projects under development:

- CD 14 storey development with 4.3 FAR at Finlay and Russell,
- 3 storey 1.5 FAR townhouse development at Maple and Russell.
- The Semiahmoo Town Centre Expansion Area is currently under review with increased density immediately to the north.