

**The Corporation of the
CITY OF WHITE ROCK
BYLAW No. 2351**



A Bylaw to amend the
"White Rock Zoning Bylaw, 2012, No. 2000" as amended

The CITY COUNCIL of the Corporation of the City of White Rock in open meeting assembled ENACTS as follows:

1. THAT Schedule C of the *White Rock Zoning Bylaw, 2012, No. 2000* as amended is further amended by rezoning the following lands:

Lot 1 Section 11 Township 1 New Westminster District Plan 20673
PID: 009-452-265
(15654 North Bluff Road)

Lot 2 Section 11 Township 1 New Westminster District Plan 20673
PID: 009-452-273
(15664 North Bluff Road)

Lot 3 Section 11 Township 1 New Westminster District Plan 20673
PID: 009-452-290
(15674 North Bluff Road)

Lot 4 Section 11 Township 1 New Westminster District Plan 20673
PID: 009-452-303
(1593 Lee Street)

Lot 6 Section 11 Township 1 New Westminster District Plan 20673
PID: 009-452-320
(1580 Maple Street)

Lot 7 Section 11 Township 1 New Westminster District Plan 20673
PID: 009-452-338
(1570 Maple Street)

as shown on Schedule “1” attached hereto, from the ‘RS-1 One Unit Residential Zone’ to the ‘CD-63 Comprehensive Development Zone (Maple/North Bluff Road).’

2. THAT *White Rock Zoning Bylaw, 2012, No. 2000* as amended is further amended:

(1) by adding to the Table of Contents for ‘Schedule B (Comprehensive Development Zones)’, Section 7.63 CD-63 Comprehensive Development Zone’;

(2) by adding the attached Schedule “2” to ‘Schedule B (Comprehensive Development Zones)’ Section 7.63 CD-63 Comprehensive Development Zone’.

3. This bylaw may be cited for all purposes as “*White Rock Zoning Bylaw, 2012, No. 2000, Amendment (CD-63 – 15654/64/74 North Bluff Road, 1570/80 Maple Street, and 1593 Lee Street) Bylaw, 2020, No. 2351*”.

Public Information Meeting held this	6 th day of	March, 2019
Second Public Information Meeting held this	28 th day of	March, 2019
Read a first time this	8 th day of	March, 2021
Read a second time this	day of	, 2023
Considered at a Public Hearing this	day of	, 2023
Read a third time this	day of	, 2023
Adopted this	day of	, 2023

Mayor

Director of Corporate Administration

Schedule “2”

7.63 CD-63 COMPREHENSIVE DEVELOPMENT ZONE
(North Bluff and Maple Street)

INTENT

The intent of this zone is to accommodate the development of multi-unit residential buildings on one site of approximately 4,299.7 square metres.

1. Permitted Uses:

- i) *multi-unit residential use* in the form of *apartment* and/or *townhouse* which includes:
 - (a) A maximum of three (3) *accessory units* permitted as *secondary suites*. Neither the *secondary suites* or the other *dwelling units* can be strata-titled or otherwise subdivided from the remainder of *dwelling unit* under the provincial legislation.
 - ii) *accessory home occupation uses* in accordance with the provisions of section 5.3 and that does not involve clients directly accessing the principal building.

2. Lot Coverage:

- i) For multi-unit residential uses, *lot coverage* shall not exceed 52.4%

3. Density:

- i) Maximum *gross floor area* shall not exceed 6,342 m².
- ii) Maximum number of *dwelling units* shall not exceed 47 *dwelling units* excluding 3 *accessory secondary suites*.
- iii) Maximum *residential floor area* shall not exceed:

Building A	768.4 m ²
Building B	1,063.2 m ²
Building C	1,230.5 m ²
Building D	3,187.2 m ²

4. Building Height:

- i) The principal *buildings* for *multi-unit residential uses*, inclusive of elevator shafts, stair housing, and all mechanical equipment, shall not exceed a *height* for each *building*:
 - (a) Building A geodetic roof – 105.50 m
 - (b) Building B geodetic roof – 105.50 m
 - (c) Building C geodetic roof – 104.30 m
 - (d) Building D geodetic stepped roof – 104.30 m, 103.10 m, and 102.10 m
- ii) *Ancillary buildings* and *structures* for *multi-unit residential uses* shall not exceed a *height* of 5.0 metres from *finished grade*.

5. Siting Requirements:

- i) Minimum setbacks for *multi-unit residential uses* are as follows:
 - (a) Setback from buildings from front (west) lot line = 2.0 metres
 - (b) Setback from buildings from rear (east) lot line = 2.0 metres
 - (c) Setback from buildings from exterior (north) lot line = 2.0 metres
 - (d) Setback from buildings from interior (south) lot line = 2.1 metres
 - (e) Setback from buildings from interior (north east) lot line = 7.5 metres
 - (f) Setback from buildings from interior (south west) lot line = 4.8 metres
- ii) Stair access to the underground parking shall be sited as shown on the attached plans.

6. Parking:

- i) Parking for *multi-unit residential uses* shall be provided in accordance with Sections 4.14 and 4.17, with the minimum number of spaces required as follows:
 - (a) A minimum of ninety-four (94) spaces shall be provided for the *multi-unit residential use*
 - (b) A minimum of one (1) stall per *accessory secondary suite* – three (3) must be provided.
 - (c) A minimum of three (3) of the required ninety-four (94) spaces shall be provided as accessible parking spaces and shall be clearly marked. Of the three (3) accessible parking spaces, one (1) space shall be provided as a *van-accessible loading space* with a minimum width of 2.8 metres, and the other

two (2) spaces shall have a minimum width of 2.5 metres, provided that the two (2) parking spaces have a shared or non-shared access aisle with a minimum width of 1.5 metres.

- (d) The minimum *height* clearance at the accessible parking spaces and along the vehicle access and egress routes from the accessible parking spaces must be at least 2.3 metres to accommodate over-height vehicles equipped with a wheelchair lift or ramp.
- (e) Shall comply with the Electric Vehicle Charging requirements in section 4.17 of the Zoning bylaw.

7. Bicycle Parking:

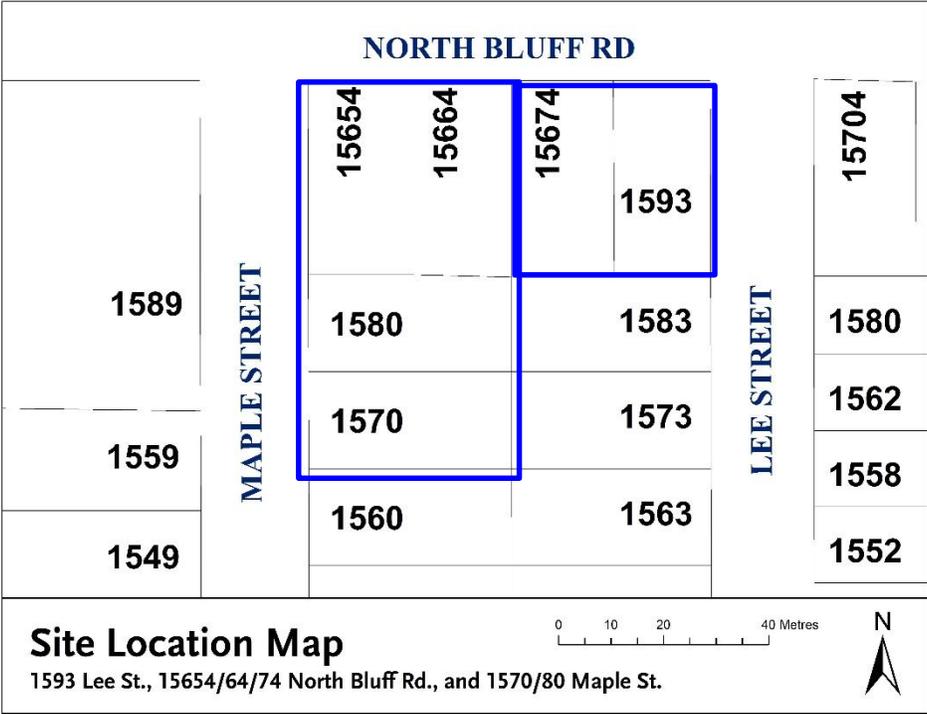
- i) Bicycle parking shall be provided in accordance with Section 4.16, with the minimum number of spaces required as follows:
 - (a) A minimum of 50 Class I spaces shall be provided.
 - (b) A minimum of 10 Class II spaces shall be provided.

8. Loading:

- i) One loading space shall be provided for a *multi-unit residential use* in accordance with Section 4.15

9. General:

Development in this zone shall substantially conform to the plans prepared by Urban Arts Architecture dated February 16, 2023 that are attached hereto and on file at the City of White Rock

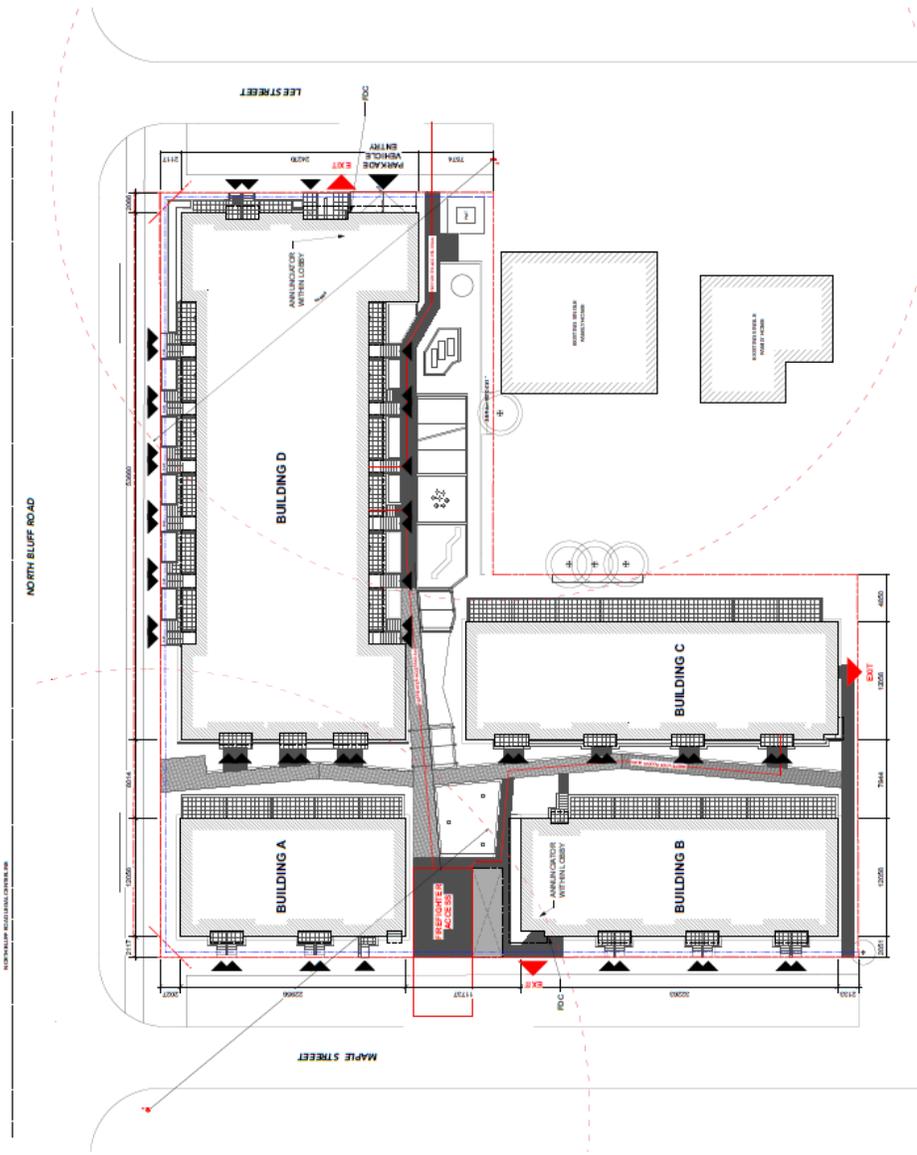


NOTES
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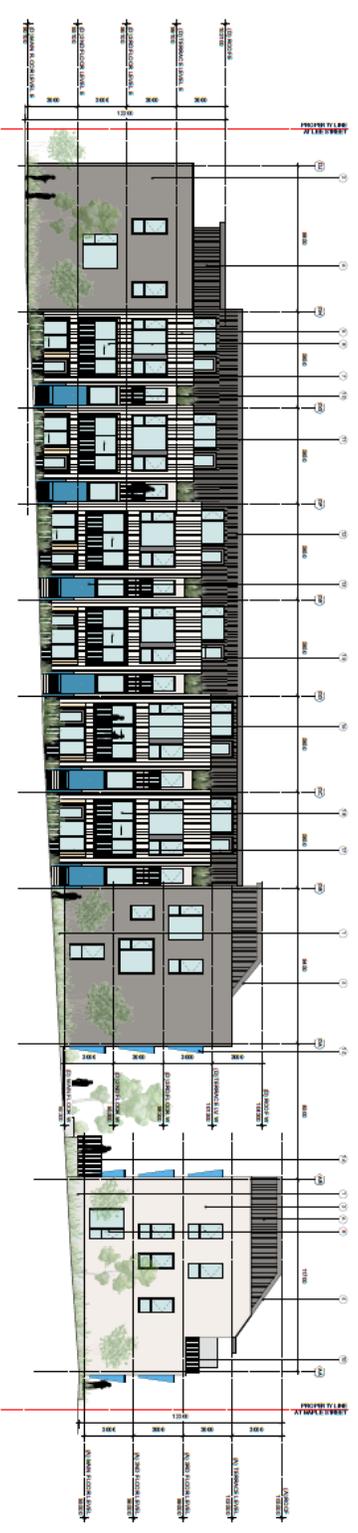


PROJECT: DP BEACHWAY
REV: DATE ISSUE
WINDERS-1
BEACHWAY 1
1500 - 1500 A.S. (SOUTH) NORTH BLUFF RD,
1500 LEE ST, 1500 A.S. MAPLE ST,
WHITE ROCK, BC
FIRE ACCESS PLAN

A.002
PRINT DATE: 2023-09-08 SCALE: NTS
DRAWN BY: MERVYNF CHECK BY: AF

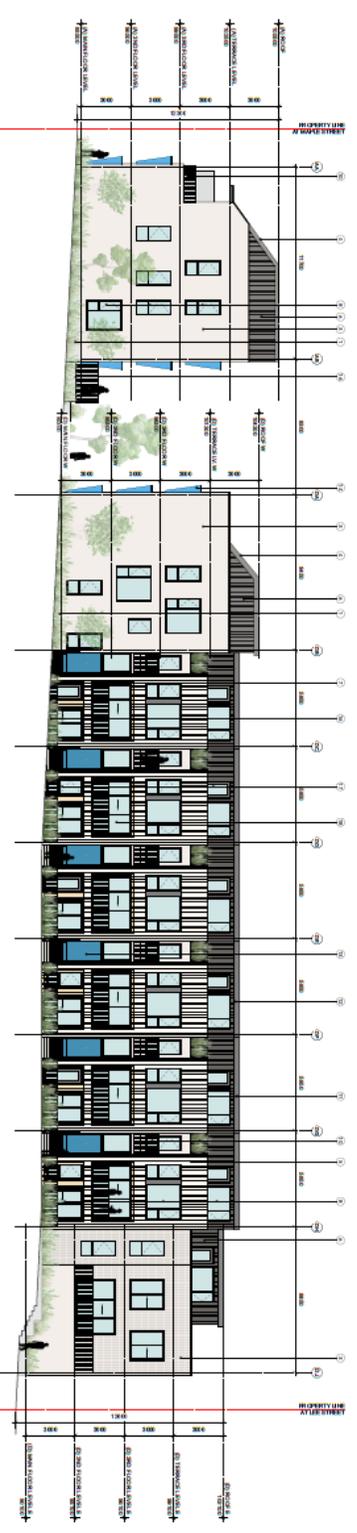


2 SITE PLAN
SCALE: 1:200



1 NORTH ELEVATION (NORTH BLUFF ROAD)
SCALE: 1/8" = 1'-0"

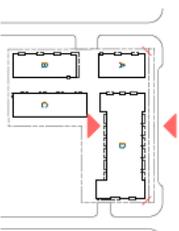
NOTES:
 1. THIS DRAWING IS THE PROPERTY OF URBAN ARCHITECTURE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF URBAN ARCHITECTURE INC.
 2. THE CLIENT HAS REVIEWED AND APPROVED THIS DRAWING FOR THE PURPOSES OF PERMITTING AND CONSTRUCTION.
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2 SOUTH ELEVATION (AT CENTRAL AVENUE AREA)
SCALE: 1/8" = 1'-0"

- MATERIALS LEGEND**
- 1. CAST IN PLACE CONCRETE
 - 2. SANDBLAST FINISH BRICK
 - 3. WHITE BRICK
 - 4. GRAY BRICK
 - 5. RANDOM STONE WITH METAL ROOF
 - 6. CONCRETE FINISH BRICK
 - 7. NATURAL FINISH BRICK
 - 8. DOUBLE GLAZED WINDOW
 - 9. TRIPLE GLAZED WINDOW
 - 10. WINDOW WITH SHUTTERS
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- UNIT TYPE LEGEND**
- A. 1-2000 TYPICAL
 - B. 2-2000 TYPICAL
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 - O. 15-2000 TYPICAL
 - P. 16-2000 TYPICAL
 - Q. 17-2000 TYPICAL
 - R. 18-2000 TYPICAL
 - S. 19-2000 TYPICAL
 - T. 20-2000 TYPICAL
 - U. 21-2000 TYPICAL
 - V. 22-2000 TYPICAL
 - W. 23-2000 TYPICAL
 - X. 24-2000 TYPICAL
 - Y. 25-2000 TYPICAL
 - Z. 26-2000 TYPICAL
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 - CR. 96-2000 TYPICAL
 - CS. 97-2000 TYPICAL
 - CT. 98-2000 TYPICAL
 - CU. 99-2000 TYPICAL
 - CV. 100-2000 TYPICAL



BEACHWAY 1

15564, 15564 & 15574 NORTH BLUFF RD,
 WEST LEBANON, OH 45060
 15564, 15564 & 15574 NORTH BLUFF RD,
 WEST LEBANON, OH 45060

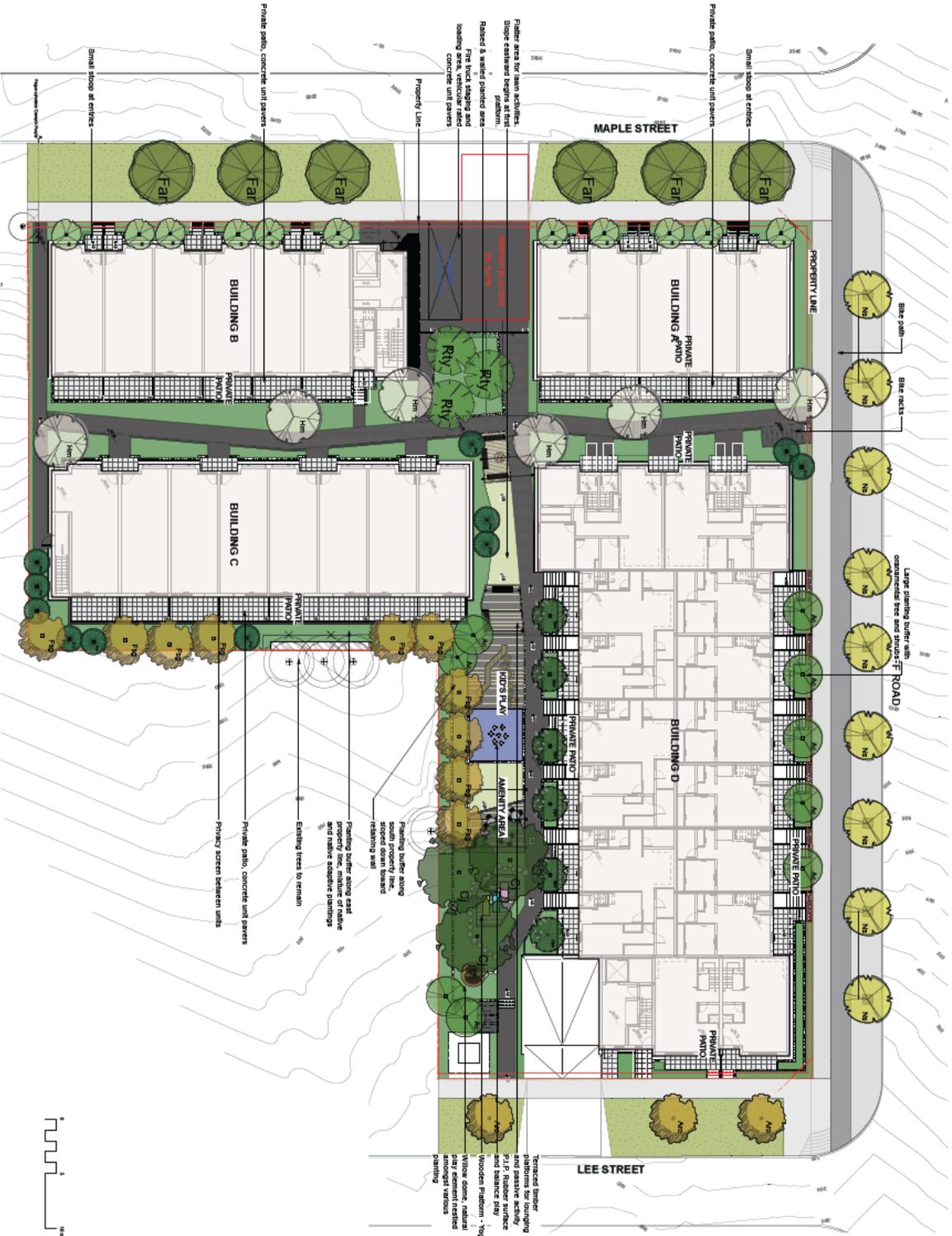
A301

PROJECT DATE: 2023-03-16 SCALE: 1/8" = 1'-0"
 DRAWN BY: JENNIFER CHECK BY: AF



Urban
 Architecture Inc

15564, 15564 & 15574 NORTH BLUFF RD,
 WEST LEBANON, OH 45060
 15564, 15564 & 15574 NORTH BLUFF RD,
 WEST LEBANON, OH 45060



Project Name: Beachway 1
 Date: 11/15/2023
 Scale: 1:50

Client: [Name]
 Address: [Address]
 City: [City]

eta
 Landscape Architecture

Beachway 1

11001, 11002 & 11021 NORTH 24th AVE
 WILSONVILLE, OR 97148

Landscape Illustrative Plan

NO.	DATE	DESCRIPTION
01	11/15/23	ISSUED FOR PERMIT
02	11/15/23	ISSUED FOR PERMIT
03	11/15/23	ISSUED FOR PERMIT

Scale: 1:50