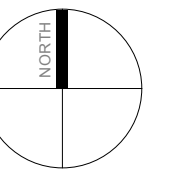


NORTH:



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PROFESSIONAL SEAL:

FIRE & SMOKE SEPARATIONS

- 2 HOUR
- 1 1/2 HOUR
- 1 HOUR
- 3/4 HOUR
- SMOKE SEPARATION (S.S.) (NO RATING)
- EXIT PATH
- EXIT SIGN

6.16.1 Permitted Uses:

The following uses are permitted in one (1) or more principal buildings:

- 1) retail service group 1 uses;
- 2) subject to section 9 b), licensed establishments, including liquor primary, food primary, liquor store, agent store, u-brew, u-vin, and licensed manufacturer;
- 3) hotel;
- 4) civic use;
- 5) medical or dental clinic;
- 6) multi-unit residential use;
- 7) accessory home occupation in conjunction with a multi-unit residential use and in accordance with the provisions of Section 5.3, and that does not involve clients of the home occupation accessing the building in person;
- 8) one-unit residential use accessory to a retail service group 1 use and limited to a storey above the portion of a building used for the retail service group 1 use.

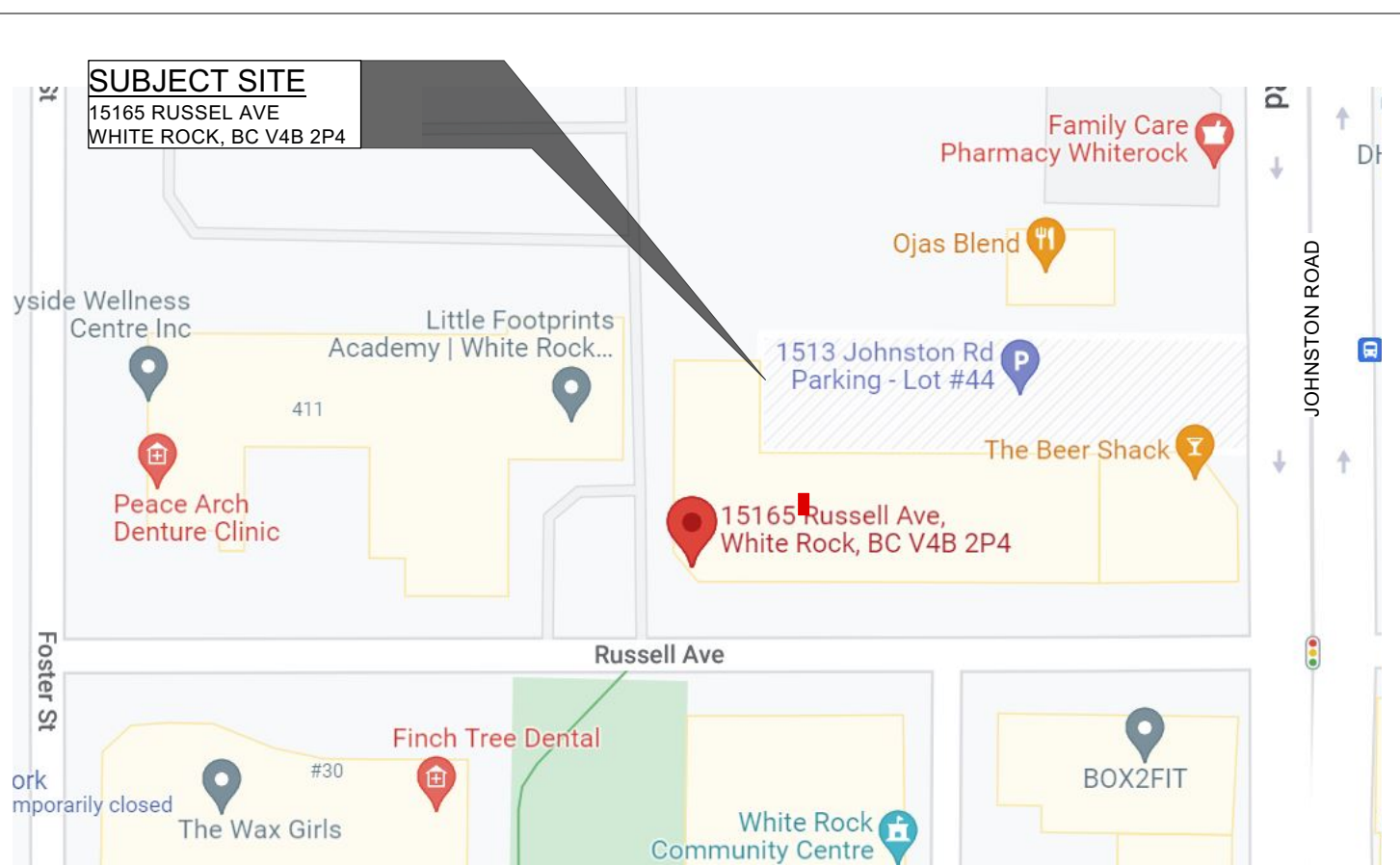
3 ZONING BY LAW

NO.	DATE	DESCRIPTION
C	2023-02-09	RESUBMITTED FOR BP
B	2023-01-12	SUBMITTED FOR BUILDING PERMIT
A	2022-12-16	SUBMITTED FOR LIQUOR LICENSE APPLICATION

SURF ARCHITECTURE

#304 -1493 FOSTER STREET
WHITE ROCK, BC V4B 3W7
TEL: 604.616.0646
email: mark@surfarchitecture.com
www.surfarchitecture.com

CLIENT
GALAXIE CRAFT BREWHOUSE



2 LOCATION MAP

N.T.S.

PROJECT:
GALAXI BREWING
UPTOWN LOUNGE

PROJECT ADDRESS:
15165 RUSSEL AVE
WHITE ROCK B.C. V4B 2P4

**DRG'WING TITLE:
SITE PLAN INFORMATION**

PROJECT NO:
2022 21

DRAWN BY:
NA

CHECKED BY:
MK

DATE:
2022-12-16

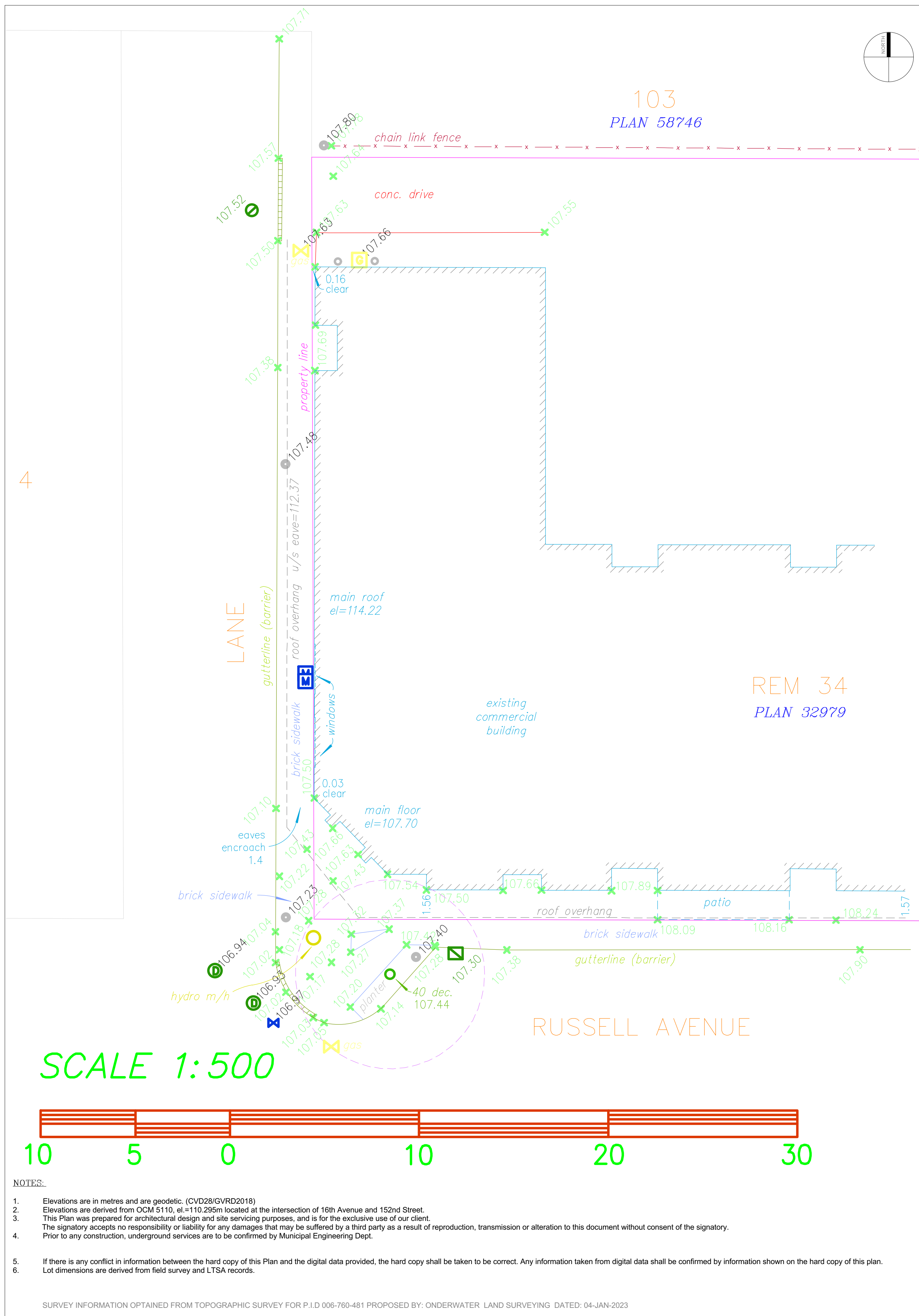
SCALE:
AS SHOWN

REVISION NO: DRAWING NO:

1 SITE PLAN - EXISTING
SCALE: 1/16" = 1"

A1.0

File Location:



GENERAL NOTES

1.0 ASSURANCE / COMPLIANCE REQUIREMENTS:

THE CURRENT BRITISH COLUMBIA BUILDING CODE 2018 SHALL FORM AN INTEGRAL PART OF THESE

- DRAWINGS. ALL CONSTRUCTION MATERIALS & PROCEDURES SHALL CONFORM TO THESE STANDARDS.
- ALL WORK TO CONFORM TO LOCAL BYLAWS AND DEVELOPMENT PERMIT REQUIREMENTS.
- DRAWINGS ARE TO BE READ AS A COMPLETE SET IN CONJUNCTION WITH MECHANICAL, ELECTRICAL & INTERIOR DESIGN DRAWINGS.
- ALL WORK WILL BE SUBJECT TO FIELD REVIEW BY THE ARCHITECT OR OTHER REGISTERED PROFESSIONALS AND BY THE CONSULTING ENGINEERS NAMED ON THESE DRAWINGS IN ORDER TO MEET THE MUNICIPAL LETTERS OF ASSURANCE / COMPLIANCE REQUIREMENTS.
- ALL WORK MUST MEET THE APPROVAL OF THE PROFESSIONAL CONSULTANTS.
- ALL WORK MUST MEET THE STANDARDS OF THE B.C. TRADE ASSOCIATIONS GOVERNING EACH TRADE INVOLVED ON THE PROJECT.
- STARTING WORK ON THIS PROJECT BY ANY SUB-CONTRACTOR MEANS THAT THE ABOVE REQUIREMENTS HAVE BEEN REVIEWED AND THAT NO CLAIMS FOR ADDITIONAL COSTS WILL BE PUT FORWARD TO MEET THE PROFESSIONAL CONSULTANTS FIELD REVIEW REQUIREMENTS.
- THE SUB-CONTRACTORS ARE RESPONSIBLE FOR SITE SAFETY AND MEETING ALL REQUIREMENTS OF 18 WORKSAFE BC.
- THE GENERAL CONTRACTOR IS TO KEEP RECORD AND PROVIDE THE ARCHITECT AND OWNER WITH COPIES OF ALL MUNICIPAL INSPECTION SLIPS.

THE SUB-CONTRACTOR IS TO CHECK ALL DIMENSIONS AFFECTING HIS TRADE AND IN THE CASE OF 1.10 ANY DISCREPANCIES, THE CONSTRUCTION MANAGER IS TO BE NOTIFIED BEFORE WORK COMMENCES.

2.0 DIMENSIONS:

ALL DIMENSIONS ARE FROM THE INTERIOR FACE OF SUITE DEMISING WALLS AND EXPOSED CONCRETE EXTERIOR PERIMETER WALLS. INTERIOR PARTITIONS ARE DIMENSIONED FROM CENTRE TO CENTRE OF WALL UNLESS NOTED AS SUCH IN THE ASSEMBLY SCHEDULE. DO NOT SCALE DRAWINGS.

- THE CONSTRUCTION MANAGER IS TO CHECK ALL DIMENSIONS AND VERIFY THE LOCATION OF
- EXISTING SUITE DEMISING WALLS.
- IN THE CASE OF ANY DIMENSIONAL DISCREPANCIES, THE ARCHITECT IS TO BE NOTIFIED BEFORE COMMENCEMENT OF WORK.

3.0 ASSEMBLIES

REFER TO FLOOR PLANS FOR ASSEMBLY DESIGNATION OF WALL (W), PARTITION (P), SHAFT WALL (SW) AND FURRING (F) TYPES.

SEAL ALL EDGE CONDITIONS AT TOP, BOTTOM AND SIDES OF PARTITIONS AS WELL AS AROUND

- PARTITION PENETRATIONS TO MEET F.R.R. AND STC REQUIREMENTS ASSIGNED TO THE ASSEMBLY.
- ALL EXPOSED AND FINISHED GYPSUM WALL BOARD TO BE FINISHED TO INDUSTRY STANDARD GA-214
- 3.3 96, "RECOMMENDED LEVELS OF GYPSUM BOARD FINISH, LEVEL 5.
- THE PREFIX "X" FOR WALL, DESIGNATES THE ASSEMBLY WITH AS A FIRE SEPARATION WITH A FIRE RESISTANCE RATING.
- CONTRACTOR TO CONFIRM ALL INTERIOR STEEL STUD SIZING, GAUGE, AND DEFLECTION DETAIL REQUIREMENTS PER B.C.B.C. 2018 REQUIREMENTS.
- USE MOISTURE RESISTANT GYPSUM WALL BOARD ON PAINT FINISH ASSEMBLIES IN WASHROOMS, CHANGE ROOMS, AND JANITOR'S CLOSETS.
- SOUND TRANSMISSION CLASSIFICATION (STC) AND IMPACT INSULATION CLASS (IIC) ARE TO MEET OR EXCEED REQUIREMENTS PER B.C.B.C. 2018 OR THOSE STIPULATED WITHIN THE ASSEMBLY SCHEDULE (THE MORE STRINGENT OF WHICH IS TO GOVERN). (SEE NOTE 2.2)
- REFER TO FLOOR PLAN FOR EXTENT OF PARTITION TYPE WHERE THERE IS A COMBINATION OF MORE THAN ONE TYPE OF PARTITION.
- 3.9 VERIFY EXISTING CONDITIONS TO CONFIRM FOR TYPE AND SPECIFICATION OF WALL ASSEMBLIES.

4.0 FIRE PROTECTION & SAFETY:

- FIRESTOPPING TO CONFORM TO CAN4-S115 STANDARD.
- INSTALL FIRESTOP TO ALL WALLS TO PREVENT FIRE FROM ENTERING JOIST SPACES. FIRESTOPPING SYSTEMS ARE TO BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 4.3 INSTALLATION.
- 4.4 PROVIDE FIRE STOPPING TO ALL ASSEMBLY PENETRATIONS. REFER TO ELECTRICAL TRADE DRAWINGS FOR HEAT RISE & SMOKE DETECTOR LOCATIONS, EXT
- 4.5 SIGNAGE AND LIGHTING.

5.0 FIRE SAFETY PLAN:

- 5.1 FIRE SAFETY PLAN IS TO BE PROVIDED IN CONFORMANCE WITH JURISDICTIONAL REQUIREMENTS.

6.0 FRAMING WORK:

- 6.1 REFER TO CONSTRUCTION ASSEMBLIES.
- 6.2 ALL INTERIOR PARTITIONS TO BE 3-5/8" STEEL STUDS. UNLESS NOTED OTHERWISE.
- 6.3 STEEL STUD OVER 12'-0" HEIGHT SHALL BE 6" REFER TO STEEL STUD ENGINEER FOR GAUGE
- 6.4 CONFIRM ROUGH OPENING SIZES PRIOR TO FRAMING.
- 6.5 PROVIDE SUFFICIENT BLOCKING FOR ALL WALL & CEILING MOUNTED FIXTURES, HANDRAILS, GRAB BARS & RAILINGS.
- 6.6 PROTECT OTHER WOOD MEMBERS IN CONTACT WITH CONCRETE WITH A 45 LB. DAMP PROOFING COURSE OR A CONTINUOUS POLYETHYLENE GASKET.
- 6.7 PROVIDE DEFLECTION TRACK AT THE TOP OF ALL STEEL STUD WALL ASSEMBLIES WHERE ANCHOR TO THE UNDERSIDE OF BUILDING STRUCTURE.

7.0 MILLWORK:

- 7.1 ALL WORK SURFACES, SHELVES, CABINETS, COUNTERS, INTERIOR FINISHES, INTERIOR DOORS, PAINTS, ETC., BY OWNER AND COORDINATED WITH SURF ARCHITECTURE.
- 7.2 ALL DOORS TO HAVE LEVER TYPE HANDLES.

8.0 DOORS:

- 8.1 REFER TO DOOR SCHEDULE.
- 8.2 HARDWARE & KEYING SCHEDULE TO BE PROVIDED BY HARDWARE SUPPLIER.
- 8.3 ALL DOORS TO HAVE LEVER TYPE HANDLES.

9.0 SAFETY FOR GLASS:

- 9.1 ALL GLASS IN DOORS SHALL BE TEMPERED SAFETY GLASS.
- 9.2 REFER TO DOORS AND WINDOWS SCHEDULE.
- 9.3 SAFETY GLASS OF THE LAMINATED OR TEMPERED TYPE TO CONFORM TO CAN/CGSB-12.1-M, "TEMPERED OR LAMINATED SAFETY GLASS".
- 9.4 WIRED GLASS TO CONFORM TO CAN/CGSB-12.11M, "WIRED SAFETY GLASS".

10.0 FINISHES:

PROVIDE WATER RESISTANT MOUNTING SURFACES FOR ALL CERAMIC TILED SURFACES. 5/8" TYPE 'X' GWB TO BE CONTINUOUS BEHIND WATER RESISTANT BOARDS TO MAINTAIN FIRE RATED ASSEMBLY

- 10.1 WHERE ADJACENT TO EXISTING RATED WALL.
- 10.2 FLAME SPREAD RATING FOR INTERIOR FINISHES TO CONFORM TO B.C.B.C. 2018 REQUIREMENTS.
- 10.3 FINISHES TO BE SELECTED BY OWNER AND TO BE COORDINATED WITH SURF ARCHITECTURE

11.0 SIGNAGE:

- 11.1 SIGNAGE REQUIREMENTS PER INTERNATIONAL SYMBOL OF ACCESS.

12.0 FIXTURES

- 12.1 REFER TO ELECTRICAL AND MECHANICAL DOCUMENTS.
- 12.2 PLUMBING HARDWARE TO BE LEVER TYPE IN COMPLIANCE WITH BCBC 2018. REFER TO MECHANICAL DRAWINGS FOR BATHROOM ACCESSORIES & TO BE COORDINATED WITH SURF ARCH.

LETTER OF ASSURANCE NOTES:

SUPPORTING REGISTERED PROFESSIONALS REQUIRED TO PROVIDE THE REGISTERED PROFESSIONAL OF RECORD FOR THAT DISCIPLINE WITH SEALED DESIGN DOCUMENTS, FIELD REVIEW REPORTS OR OTHER APPROPRIATE DOCUMENTATION SUCH AS SCHEDULES S-B AND S-C SHOWING THAT THEY HAVE REVIEWED THE WORK RELATED TO THEIR DESIGN AND HAVE DETERMINED THAT IT SUBSTANTIALLY COMPLIES WITH APPLICABLE CODE REQUIREMENTS AND THEIR DESIGN.

THE CONTRACTOR IS REQUIRED TO INFORM THE COORDINATING REGISTERED PROFESSIONAL IN WRITING IN A FORMAL LETTER IF THERE IS ANY CHANGE IN THE SUPPORTING REGISTERED PROFESSIONAL DURING CONSTRUCTION.

SCHEDULES S-B AND S-C HAVE BEEN DEVELOPED COOPERATIVELY BY THE AIBC AND THE APEGBC FOR USE BY SUPPORTING REGISTERED PROFESSIONALS, AND THEIR USE IS STRONGLY ENCOURAGED.

S-B - ASSURANCE OF PROFESSIONAL DESIGN & COMMITMENT FOR FIELD REVIEW BY SUPPORTING REGISTERED PROFESSIONAL

S-C - ASSURANCE OF PROFESSIONAL FIELD REVIEW AND COMPLIANCE BY SUPPORTING REGISTERED PROFESSIONAL

ARCHITECTURAL (ONLY CHECKED DOCUMENTS TO BE PROVIDED FOR THIS PROJECT)

- STRUCTURAL DESIGN FOR GUARDRAILS AND HANDRAILS
- WALL CLADDING SYSTEMS
- EXTERIOR GLAZING
- STRUCTURAL DESIGN FOR CURTAIN WALL SYSTEM (WIND LOAD/SEISMIC)
- SEISMIC RESTRAINT OF CEILINGS
- SEISMIC RESTRAINT OF LIGHTING
- STRUCTURAL CAPACITY OF ARCHITECTURAL COMPONENTS FOR ANCHORAGE AND SEISMIC RESTRAINT
- SOUND CONTROL
- PROPRIETARY ROOFING AND FLASHING SYSTEMS
- ENERGY MODELING
- TESTING COMPLIANCE WITH PART 10- ENERGY EFFICIENCY

DOOR CLOSURE

2409 Fire Guard Electromechanical Closer-Holder Overview by SARGENT

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SARGENT ASSA ABLOY

2409 Fire Guard Electromechanical Closer-Holder

The Fire Guard 2409 Series of Electromechanical Closer-Holder Release Devices are designed to hold open fire and smoke rated doors until power is interrupted by a fire alarm condition or remote release switch. The Fire Guard Series is also available with an integrated photoelectric smoke detector for use in facilities lacking a fire smoke detection system or where a redundant system is required for added life and safety protection.

Overview Finishes Options/Prices

Features

- Easily retrofits 2407 Series Fire Guard Single point hold open
- Hold open position adjustable from 80° to 110°
- Easy adjustment
- Adjustable holding power
- Acts like standard door closer until opened to the hold open point
- Maintains open position until released
- Powder coated aluminum track

Holder Features

- Fall safe operation
- Push or pull or double egress installations
- With accommodate concealed or surface wiring standard
- Operating voltages: 24VAC/24VDC, or 120VAC @ 1 amp
- Photoelectric smoke detector with LED indicator option
- Terminal strip for ease of wiring
- Maintained on/off switch
- Self resetting fuse on circuit board
- Remote release option
- 2 year limited warranty on electromechanical components

Closer Features

- ANSIBHMA A156.4 Grade 1 closer
- Track and pinion operation
- Body is cast, one piece high strength aluminum/silicon alloy
- Full size 1/8" (3mm) brass adjusting screws
- Adjustable spring power
- Adjustable closing and latching speeds
- Adjustable backcheck (Auxiliary door stop required)
- 10 year limited warranty on 351° closer body

Additional Features

- Conforms to standards UL 10C and ULBC 7-2 (1997), Positive pressure fire tests of door assemblies
- UL listed and cUL listed to Canadian Safety Standards for use on fire doors
- Note: Any retrofit or other field modification to a fire rated opening can potentially impact the fire rating of the opening, and Sargent Manufacturing Company makes no representations or warranties concerning what such impact may be in any specific situation. When retrofitting any portion of an existing fire rated opening, or specifying and installing a new fire-rated opening, please consult with a code specialist or local code official (Authority Having Jurisdiction) to ensure compliance with all applicable codes and ratings.

Ideally suited for

- Fire rated Doors
- Corridor Doors
- Stairwell Doors
- Schools
- Hospitals
- Auditoriums

http://www.sargent.com/products/product_overview.php?item_id=2273 12

EXISTING BUILDING - MAIN LEVEL (RETAIL SPACES): 18,906 SF (APPROX.)

TENANT IMPROVEMENT UNIT #15165 (GALAXIE BREWING): 2,823.59SF (262.32 sq.m.)

DINING/LOUNGE OFFICE COMMON AREA (WASHROOMS, HALLWAYS, JANITOR): 1,757.36SF (163.26sq.m.), 143.43SF (13.33sq.m.), 797.76SF (74.11sq.m.)

COOLER: 125.04SF (11.62sq.m.)

TOTAL UNIT AREA: 2,823.59SF (262.32 sq.m.)

OUTDOOR PATIO

OFF-STREET PARKING REQUIREMENTS FOR THIS T.I. COMMERCIAL-LICENSED ESTABLISHMENT: 1 PER EVERY 8 SEATS AVAILABLE FOR CUSTOMER USE:

109 SEAT INTERIOR PATRONS

10 SEATS EXTERIOR PATRONS

119 SEATS / 8 = 14.8 OR (15) SPACES REQUIRED

15 SPACES WILL BE ASSIGNED

BICYCLE PARKING: 0.75sq.m. SPACES PER 200 sq.m. OF G.F.A. 262.32/200=1.31 x 0.75sq.m. = 0.98 OR 1 SPACE

PROJECT ADDRESS: 15165 RUSSEL AVE WHITE ROCK B.C. V4B 2P4

DRAWING TITLE: GENERAL NOTES

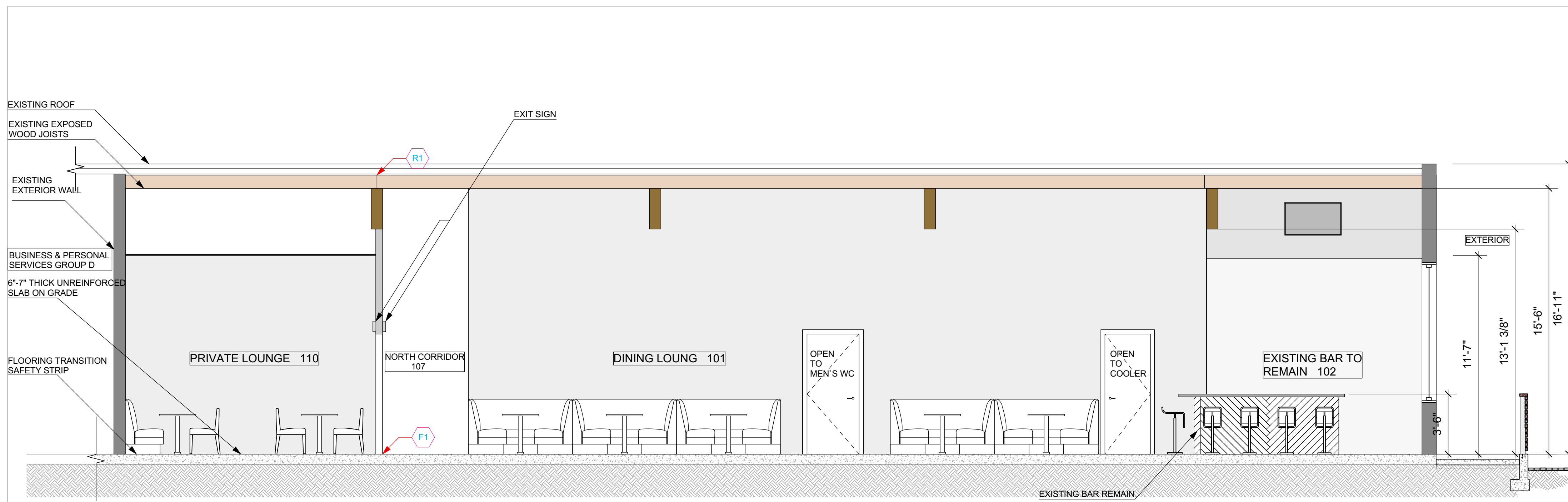
PROJECT NO: 2022-21

DRAWN BY: NA CHECKED BY: MK

DATE: DEC 16, 2022

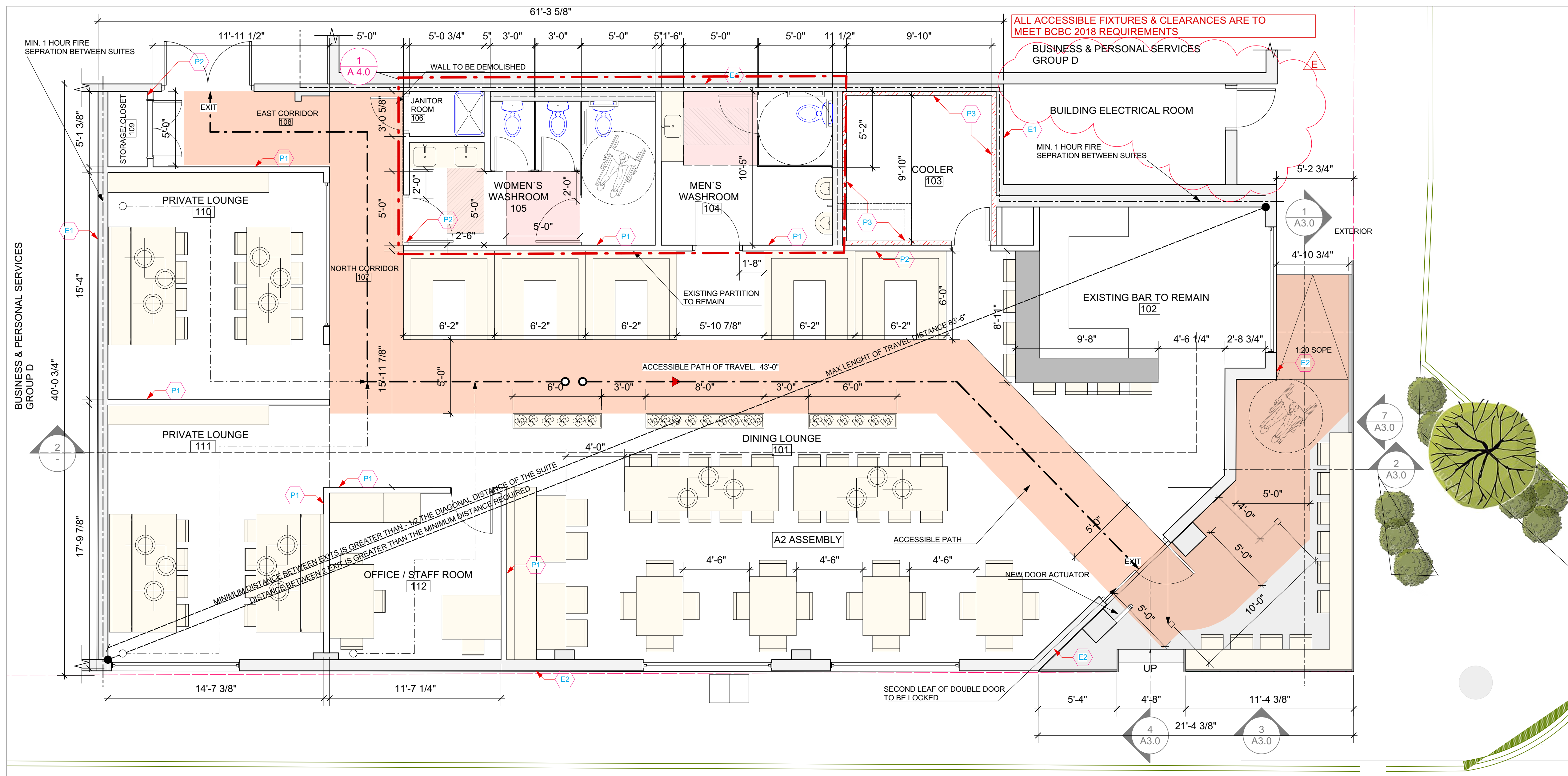
SCALE: AS SHOWN

REVISION NO: DRAWING NO:



2 LONGITUDINAL SECTION VIEW EAST

SCALE: 1/4" = 1'-0"



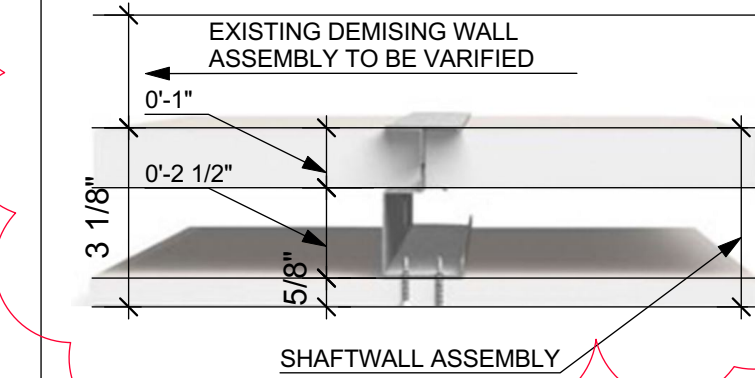
1 PROPOSED FLOOR PLAN

A1.0 SCALE: 1/4" = 1'-0"

PARTITION SCHEDULE:

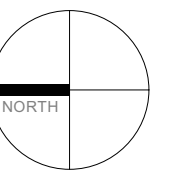
(NEW WALL)

- P1** 4 7/8" EXISTING PARTITION - NON-RATED (NON-LOADBEARING)
1/2" GYPSUM WALL BOARD
3-5/8" STEEL STUDS @ 24" O.C. INSULATED W/12" ACOUSTIC INSULATED, 1/2" GYPSUM WALL BOARD
- P2** NEW PARTITION
1/2" GWB
3-5/8" STEEL STUDS @ 16" O/C INSULATED W/ ACOUSTIC BATT
1/2" GWB
- P3** COOLER INSULATED PARTITION - NON-RATED (NON-LOADBEARING)
5/8" GYPSUM WALL BOARD - PAINTED
3-5/8" STEEL STUDS
COOLER INSULATED PANELS (BY MANUFACTURER)
- SW1** ADD 1H-SHAFT WALL ASSEMBLY W/ULC LISTING TO BE INSTALLED ON SUITE SIDE OF EXISTING DEMISING WALL IF IT IS DETERMINED THAT THE DEMISING WALL DOES NOT PROVIDE A 1 HOUR FIRE RESISTANCE RATING.
ULDESIGN U415, SYSTEM A OR U469



- E1** INTERIOR OF WALL ASSEMBLY UNKNOWN CONTRACTOR TO VERIFY ASSEMBLY - SEE SW.1
- E2** EXIST. EXTERIOR WALL ASSEMBLY TO REMIN (FLOOR/ROOF)
- F1** FLOOR FINISH (VARIES) OVER 6-7" UNREINFORCED CONC. SLAB ON GRADE
- R1** ROOF MEMBRANE OVER INSULATION ON MILLDECK ON TIMBER JOISTS SUPPORTED BY GLULAM BEAMS

NORTH:



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FIRE & SMOKE SEPARATIONS

- 2 HOUR
- 1 1/2 HOUR
- 1 HOUR
- 3/4 HOUR
- SMOKE SEPARATION (S.S.) (NO RATING)
- EXIT PATH
- EXIT SIGN

PROPOSED OCCUPANCY LOAD

INTERIOR OCCUPANCY	109
EXTERIOR OCCUPANCY	10
STAFF OCCUPANCY	4
TOTAL OCCUPANCY LOAD	123

NO.	DATE	DESCRIPTION
E	2023-01-17	RESUBMITTED FOR BP
D	2023-01-12	SUBMITTED FOR BUILDING PERMIT
C	2023-01-06	ISSUE FOR CLIENT REVIEW
B	2022-12-16	RESUBMITTED FOR LIQUOR LICENSE APPLICATION
A	2022-11-25	SUBMITTED FOR LIQUOR LICENSE APPLICATION

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CLIENT: GALAXIE CRAFT BREWHOUSE

PROJECT: GALAXI BREWING UPTOWN LOUNGE

PROJECT ADDRESS: 15165 RUSSEL AVE WHITE ROCK B.C. V4B 2P4

DRAWING TITLE: PROPOSED FLOOR PLAN

PROJECT NO: 2022 21

DRAWN BY: NA CHECKED BY: MK

DATE: 2022-12-16

SCALE: 1/4"=1'-0"

REVISION NO: DRAWING NO:

A2.0

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PROFESSIONAL SEAL:

NO.	DATE	DESCRIPTION
B	2023-01-17	RESUBMITTED FOR BP
A	2023-01-12	SUBMITTED FOR BUILDING PERMIT
ISSUES		

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CLIENT
GALAXIE CRAFT BREWHOUSE

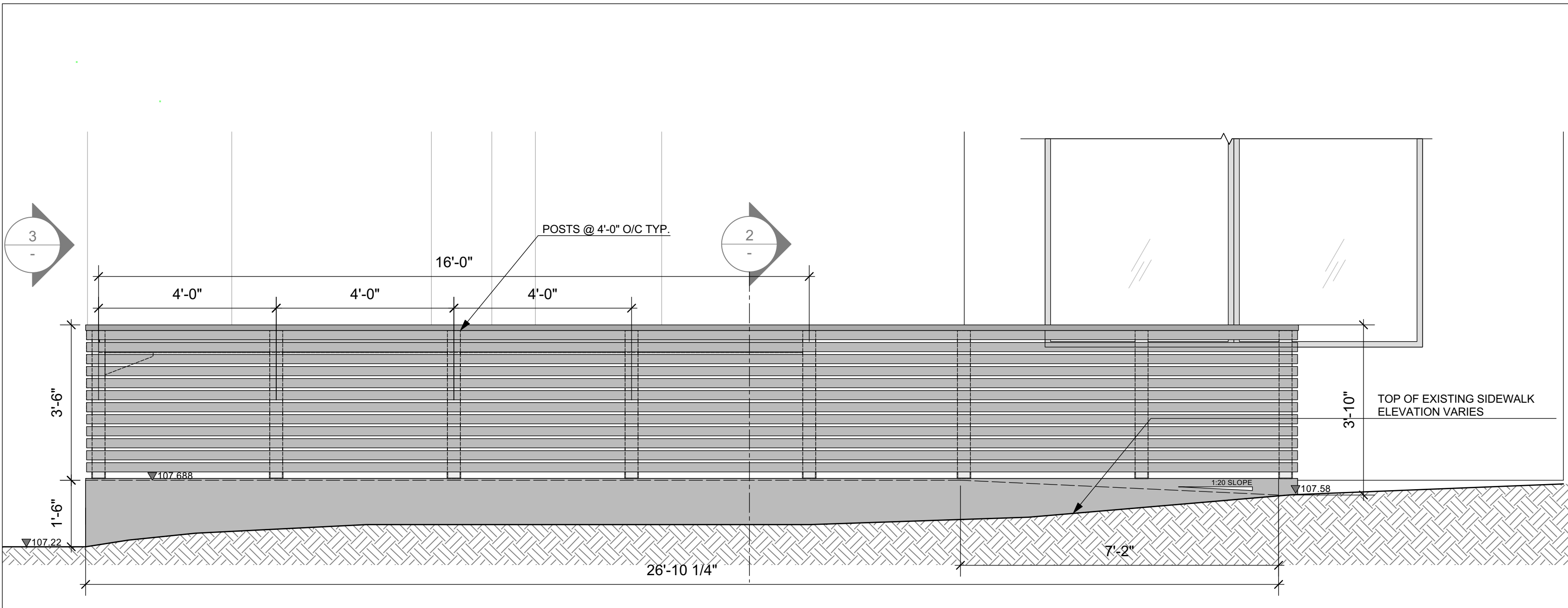
PROJECT
GALAXIE BREWING UPTOWN LOUNGE

PROJECT ADDRESS:
 15165 RUSSEL AVE
 WHITE ROCK B.C. V4B 2P4

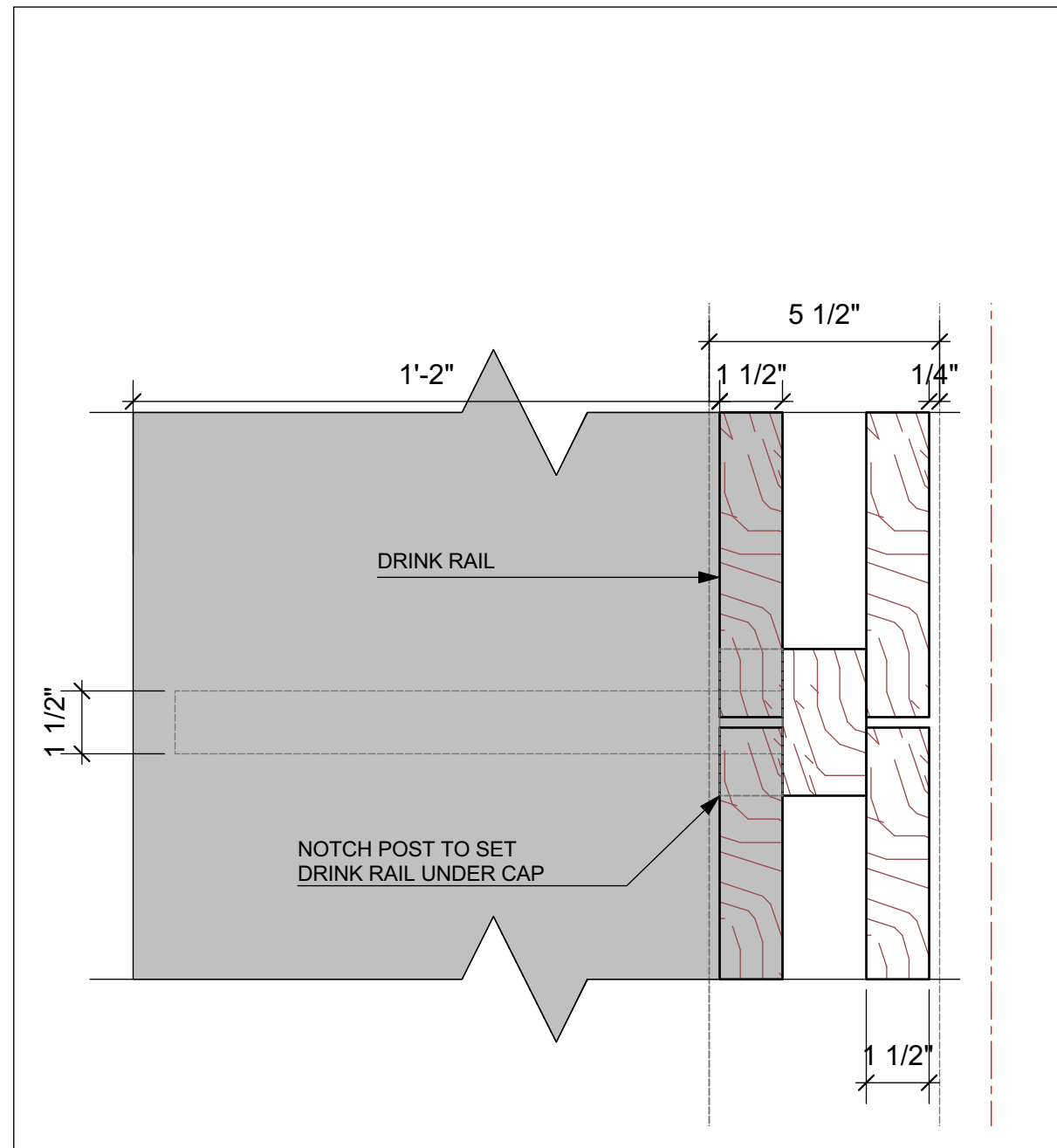
DRAWING TITLE:
PATIO SECTION, ELEVATION & DETAILS

PROJECT NO:
 2022-21
 DRAWN BY: NA
 CHECKED BY: MK
 DATE:
 DEC 16, 2022
 SCALE:
 AS SHOWN
 REVISION NO: DRAWING NO:

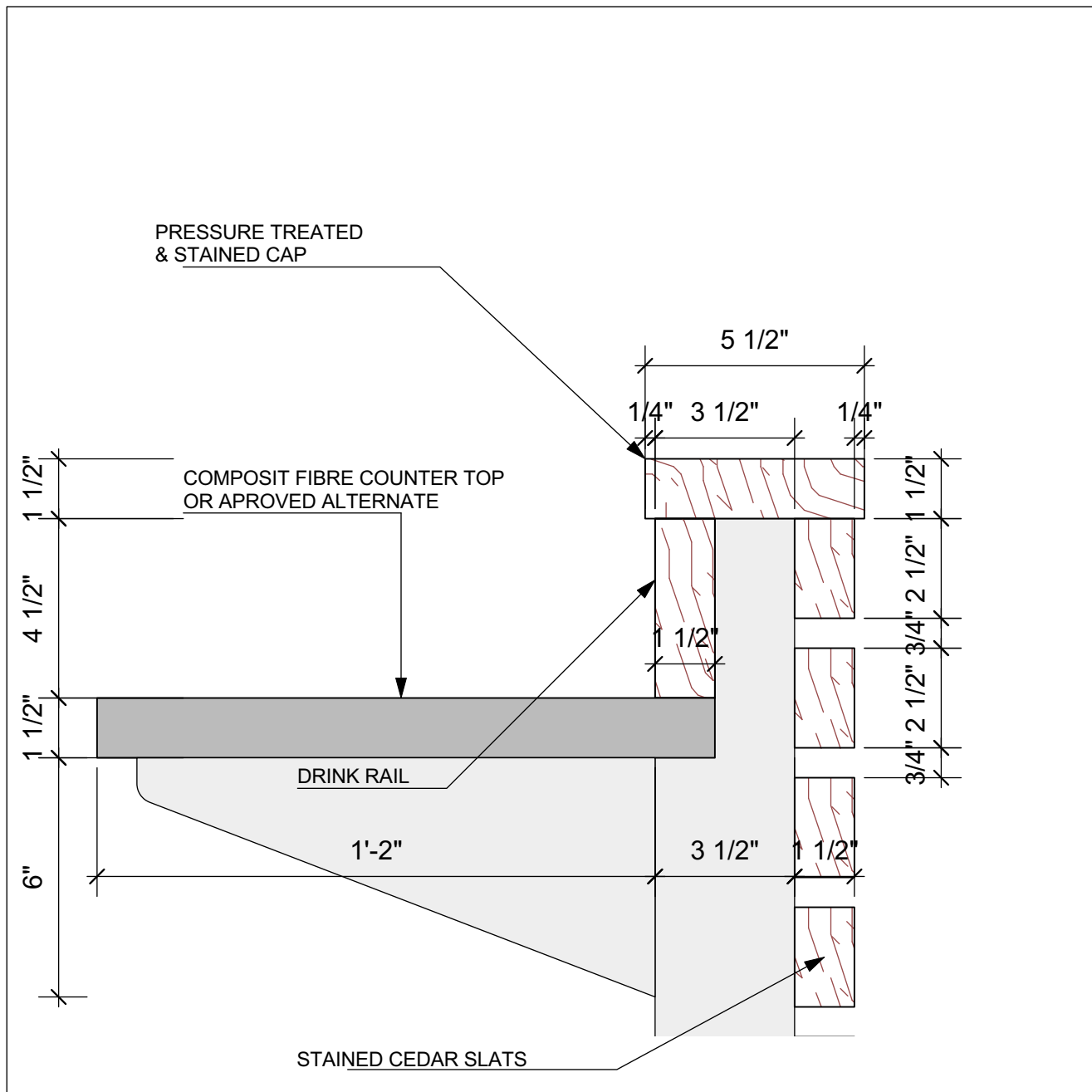
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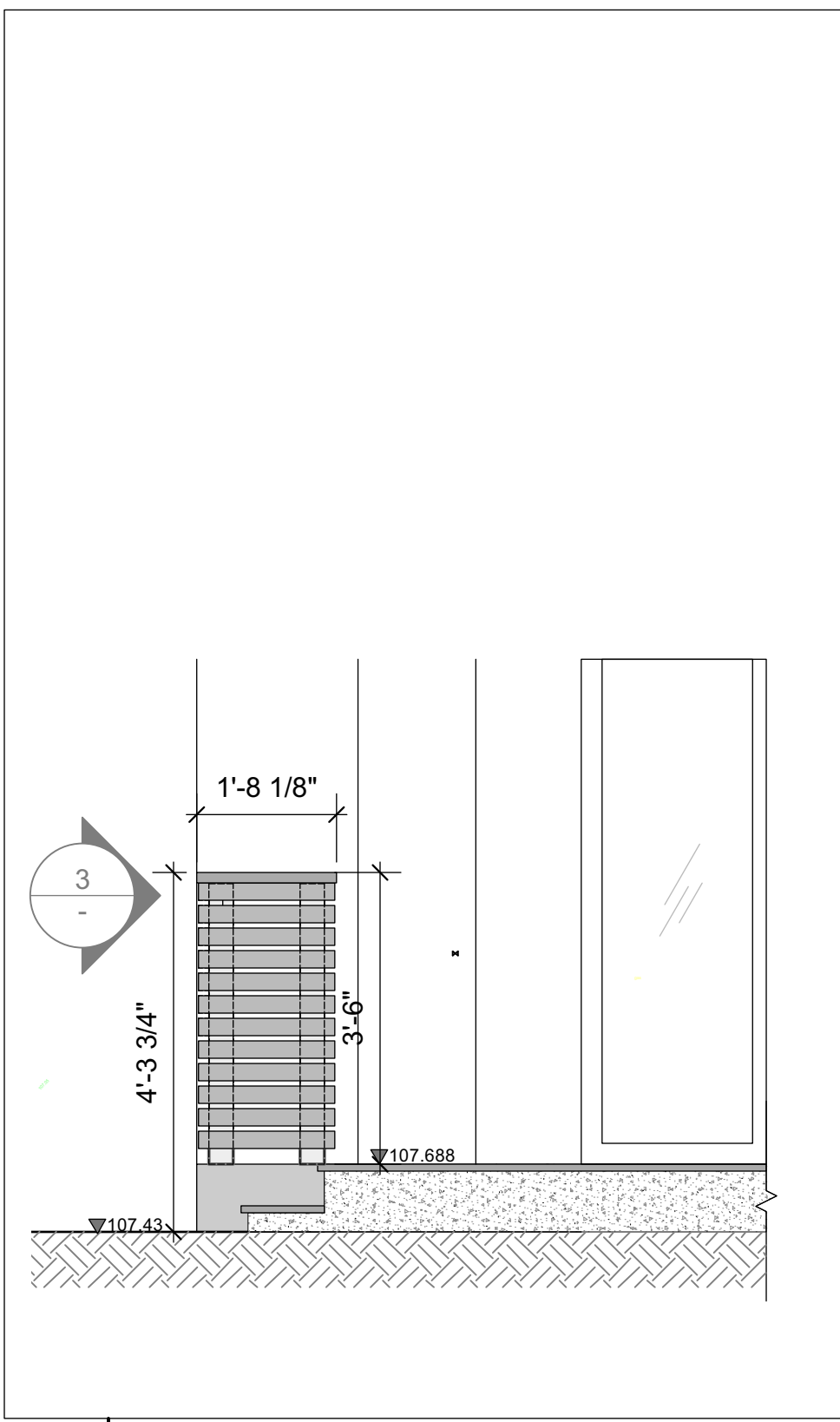
7 SOUTH ELEVATION
 A2.0 SCALE: 1/2" = 1'-0"



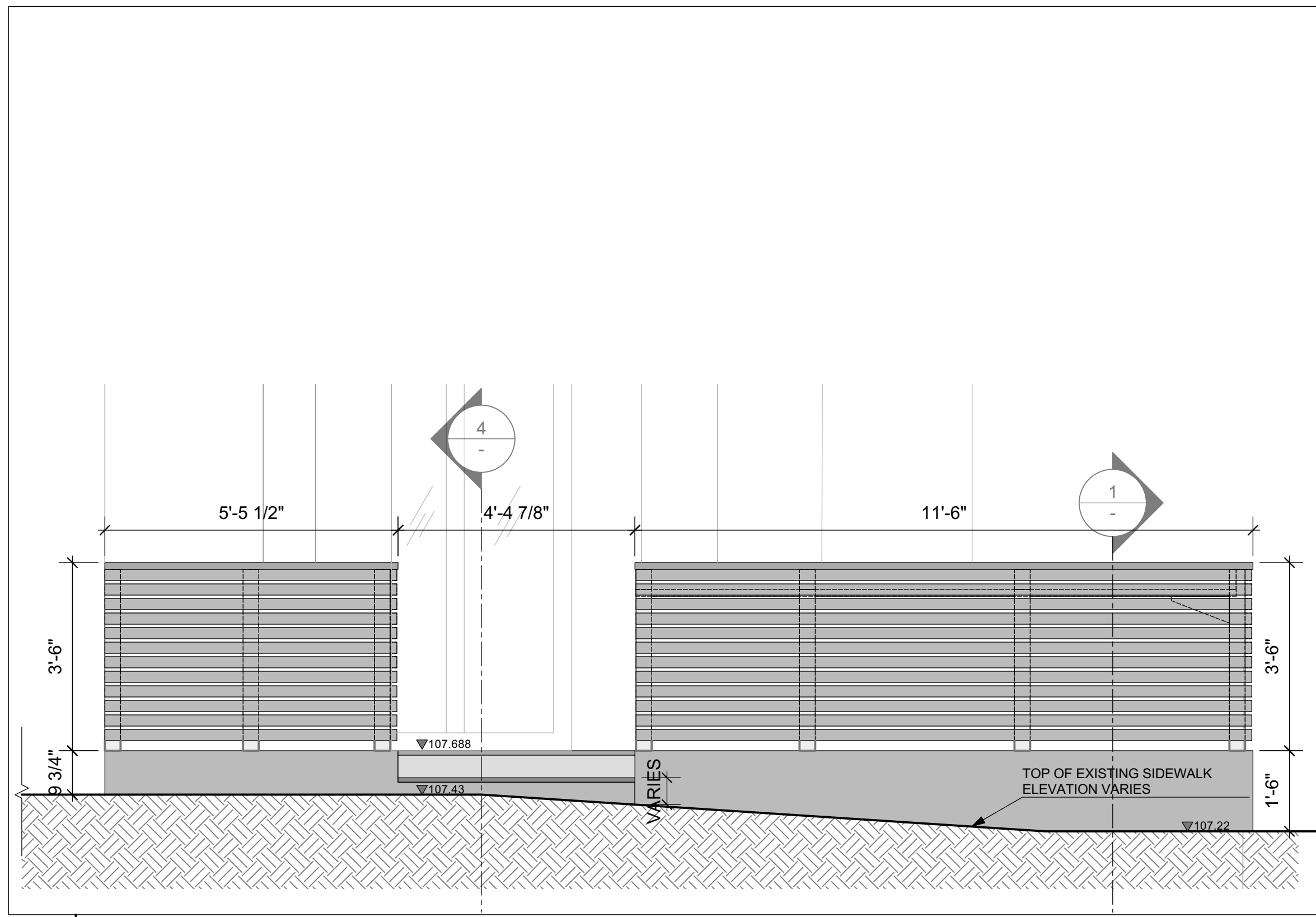
6 DETAILS
 - SCALE: 3" = 1'-0"



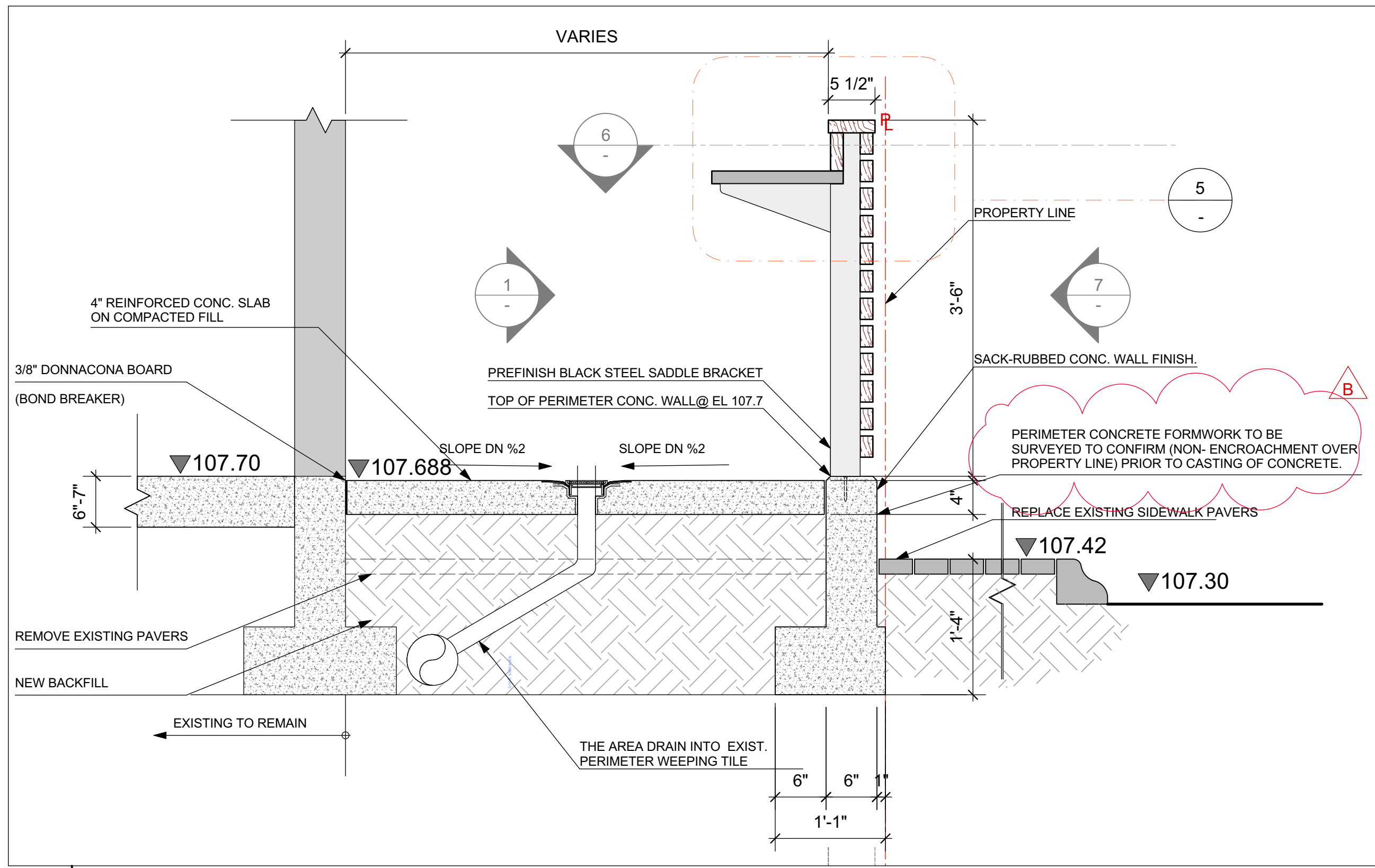
5 SECTION DETAILS
 - SCALE: 3" = 1'-0"



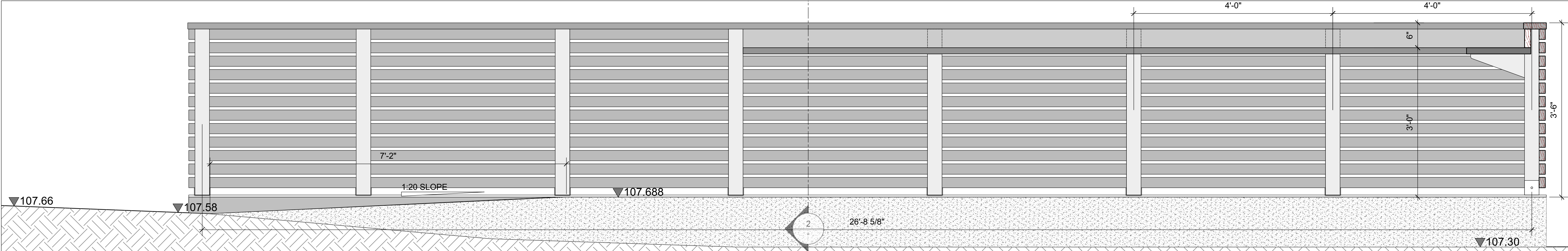
4 SECTION THRU STAIR
 A2.0 SCALE: 1/2" = 1'-0"



3 WEST ELEVATION
 A2.0 SCALE: 1/2" = 1'-0"



2 CROSS SECTION
 A2.0 SCALE: 1" = 1'-0"



1 LONGITUDINAL SECTION
 A2.0 SCALE: 1" = 1'-0"

