

# PROJECT INFORMATION

**CIVIC ADDRESS:**  
15439 OXENHAM, WHITEROCK, BC

**LEGAL DESCRIPTION:**  
LT 9/ SEC 11/ NWD/ PL NWP11821/ TWP 1

**SITE STATISTICS:**  
**SITE AREA:** 7920 SQ.FT. (735.79 SQ.M.)  
**AVERAGE FINISHED GRADE:**  $(99.60+99.60+99.67+100.07) / 4 = 99.74$

**ZONING:** CURRENT: RS-1  
PROPOSED: COMPREHENSIVE DEVELOPMENT (CD) ZONE (MODELLED AFTER THE RT-1 ZONE)

**LOT COVERAGE:** ALLOWED: 45% = 3564.00 SF = 331.10 Sm  
PROPOSED: 31.78% = 2517.3 SF = 233.86 Sm  
EXCLUDING DRIVEWAY AND WALKWAYS

**FSR:** ALLOWED: 50% = 3960.0 SF = 367.89 Sm  
PROPOSED: 49.90% = 3952.4 SF = 367.19 Sm




LOWER FLOOR: 1089 SQ. FT. = 101.17 Sm  
MAIN FLOOR: 1979.48 SQ. FT. = 183.90 Sm  
UPPER FLOOR: 1972.91 SQ. FT. = 183.29 Sm

**SETBACKS:** FRONT: 7.5m REQUIRED - 13.10m PROPOSED  
INTERIOR LEFT SIDE: 1.50m REQUIRED - 1.50m PROPOSED  
INTERIOR RIGHT SIDE: 1.50m REQUIRED - 1.50m PROPOSED  
REAR: 7.5m REQUIRED - 11.60m PROPOSED

**BUILDING HEIGHT:** MAX: 7.7m (25.26FT)  
PROPOSED BUILDING HEIGHT: 7.682m

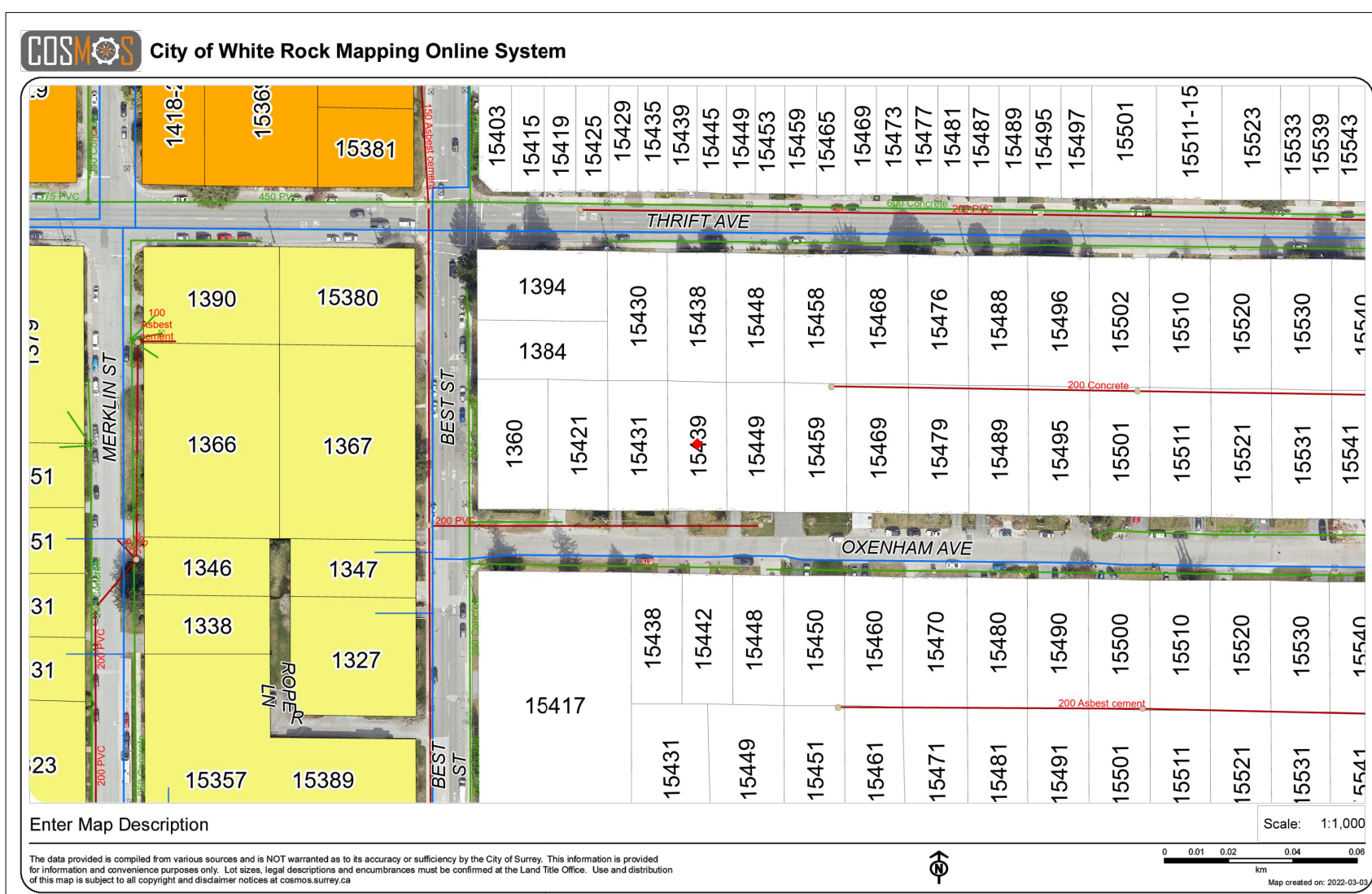
**PARKING:** DUPLEX RESIDENTIAL:  
REQ'D: 2 SPACES PER UNIT  
PROPOSED: 2 SPACES PER UNIT

**LEGEND:**

- 00.00 DENOTES PROPOSED FINISHED GRADE ELEVATION IN METERS
- 00.00 + DENOTES EXISTING GRADE ELEVATION FROM GRADING PLAN
-  DENOTES UPPER FLOOR PORTION
-  DENOTES MAIN FLOOR PORTION
-  DENOTES BASEMENT PORTION

**PAGE LIST:**

- A0 - RENDERINGS
- A1- SITE PLAN, STATISTICS AND CONTEXT PLAN
- A2- STREET CONTEXT AND PHOTOGRAPHS
- A3- MAIN AND UPPER FLOOR PLANS
- A4- BASEMENT FLOORPLAN & SURVEY
- A5- FRONT AND REAR ELEVATIONS
- A6- LEFT AND RIGHT ELEVATIONS



**CONTEXT PLAN**  
(FULL SIZE) 1/4" = 1'-0"  
(11X17) 1/8" = 1'-0"

TRIM EXISTING HEDGE AND INSTALL 6' HT. CEDAR FENCING W/ HORIZONTAL 4"x6" BETWEEN POST BASES WHERE REQ'D FOR ADDITIONAL RETENTION.

EXISTING ROCK RETAINING WALL, TO BE REMOVED

WINDOW WELLS WITH HINGED, WALKABLE METAL WINDOW WELL GRATES

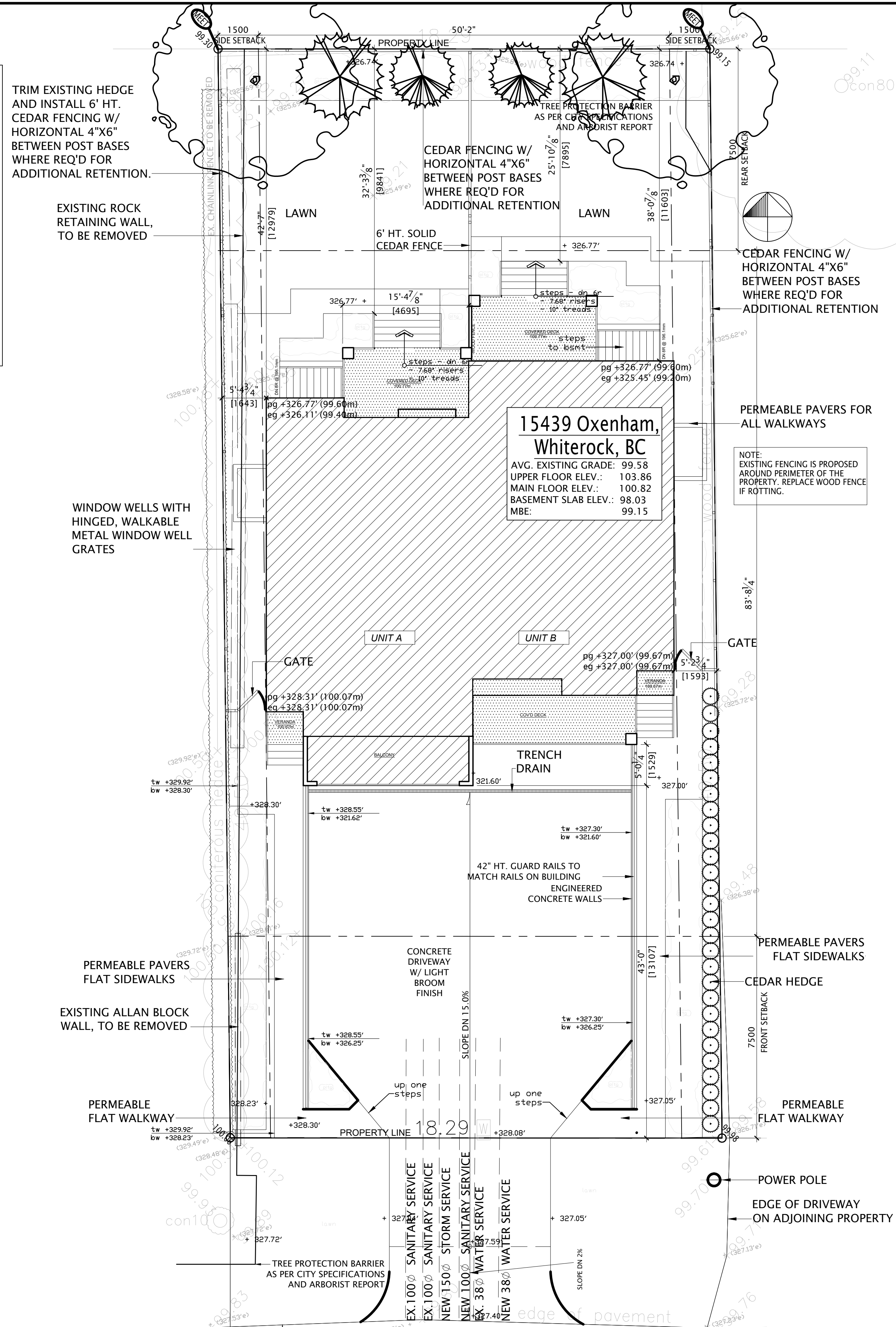
PERMEABLE PAVERS FLAT SIDEWALKS

EXISTING ALLAN BLOCK WALL, TO BE REMOVED

PERMEABLE FLAT WALKWAY

TREE PROTECTION BARRIER AS PER CITY SPECIFICATIONS AND ARBORIST REPORT

**Marked Grades**  
 + 100.00' proposed grades  
 + 00.00' ± approximate existing grades  
 < 1000.0' ± interpolated grades  
 tw = top of wall (without cap, if a wall with caps)  
 bw = bottom of wall at finished grade



**PROPOSED DEVELOPMENT SITE PLAN**  
(FULL SIZE) 1/8" = 1'-0"  
(11X17) 1/16" = 1'-0"

**NOTES:**

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STORMWATER MANAGEMENT TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION.

ALL FINISHED GRADES TO SLOPE DOWN FROM THE BUILDING AT A MINIMUM OF 1% TO ENSURE SUCCESSFUL RUN-OFF OF SURFACE WATER.

**REVISIONS:**

DATE	ISSUED FOR	REV
06.21.2021	DP SUBMISSION	
05.02.2022	INTERDEPARTMENT COMMENTS	
08.08.2022	ADP COMMENTS	
11.30.2022	ADP COMMENTS	



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PROPOSED DUPLEX DWELLING

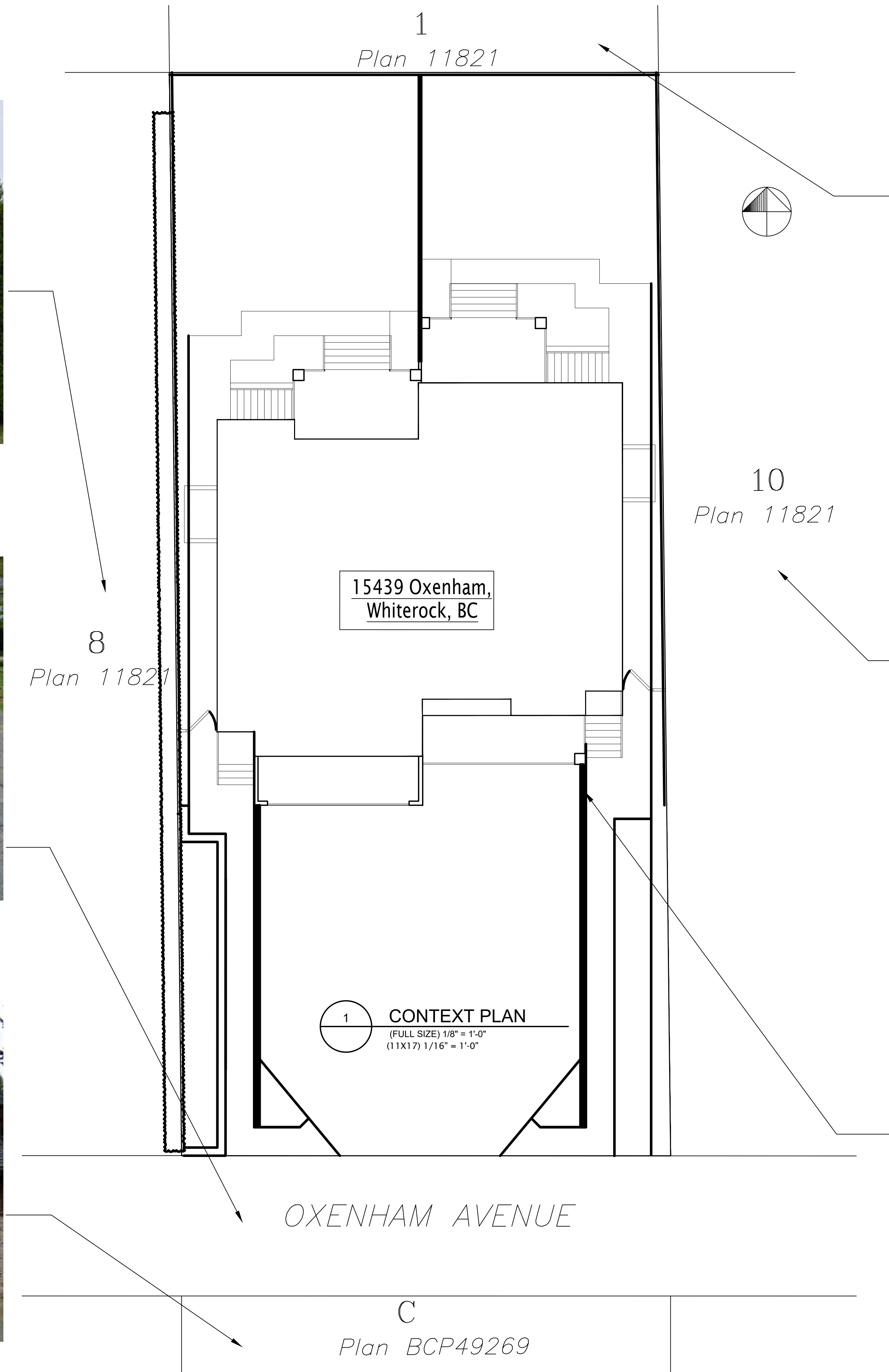
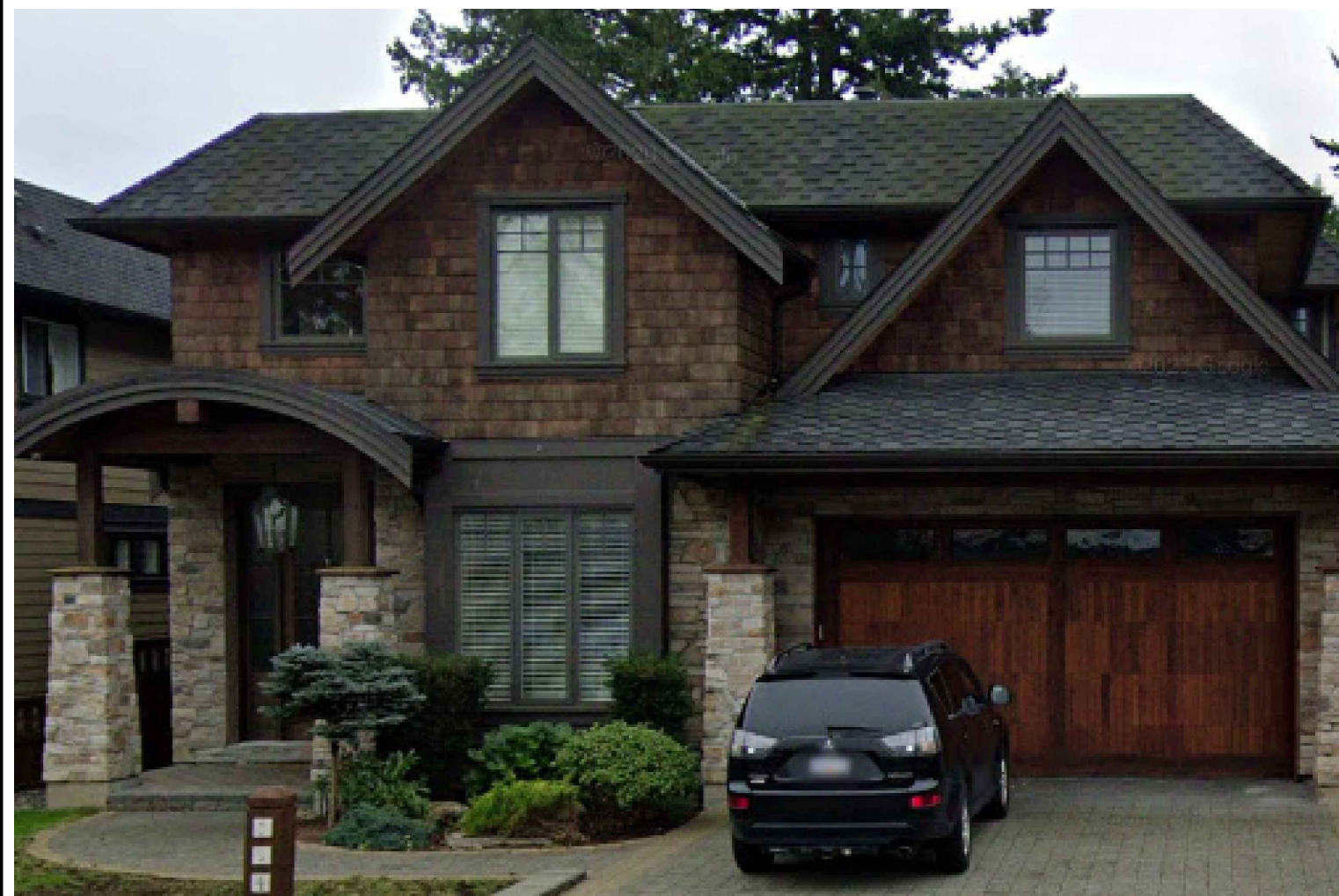
**PROJECT LOCATION:**  
15439 OXENHAM AVE  
WHITE ROCK BC.

**DRAWING CONTENTS:**  
SITE PLAN & CONTEXT PLAN

**DRAWN BY:** MOVADO HOMES  
**CHECKED BY:** MOVADO HOMES  
**SCALE:** AS SHOWN

**DATE:** 06.09.2021  
**JOB NO.:** 200131  
**TOTAL SHEETS:** 6

**A1**



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**DRAWING CONTENTS**

STREET CONTEXT  
AND PHOTOGRAPHS

DRAWN BY: MOVADO HOMES	DATE: 06 09 2021
CHECKED BY: MOVADO HOMES	JOB NO.: 200131
SCALE: AS SHOWN	TOTAL SHEETS: 6

A2

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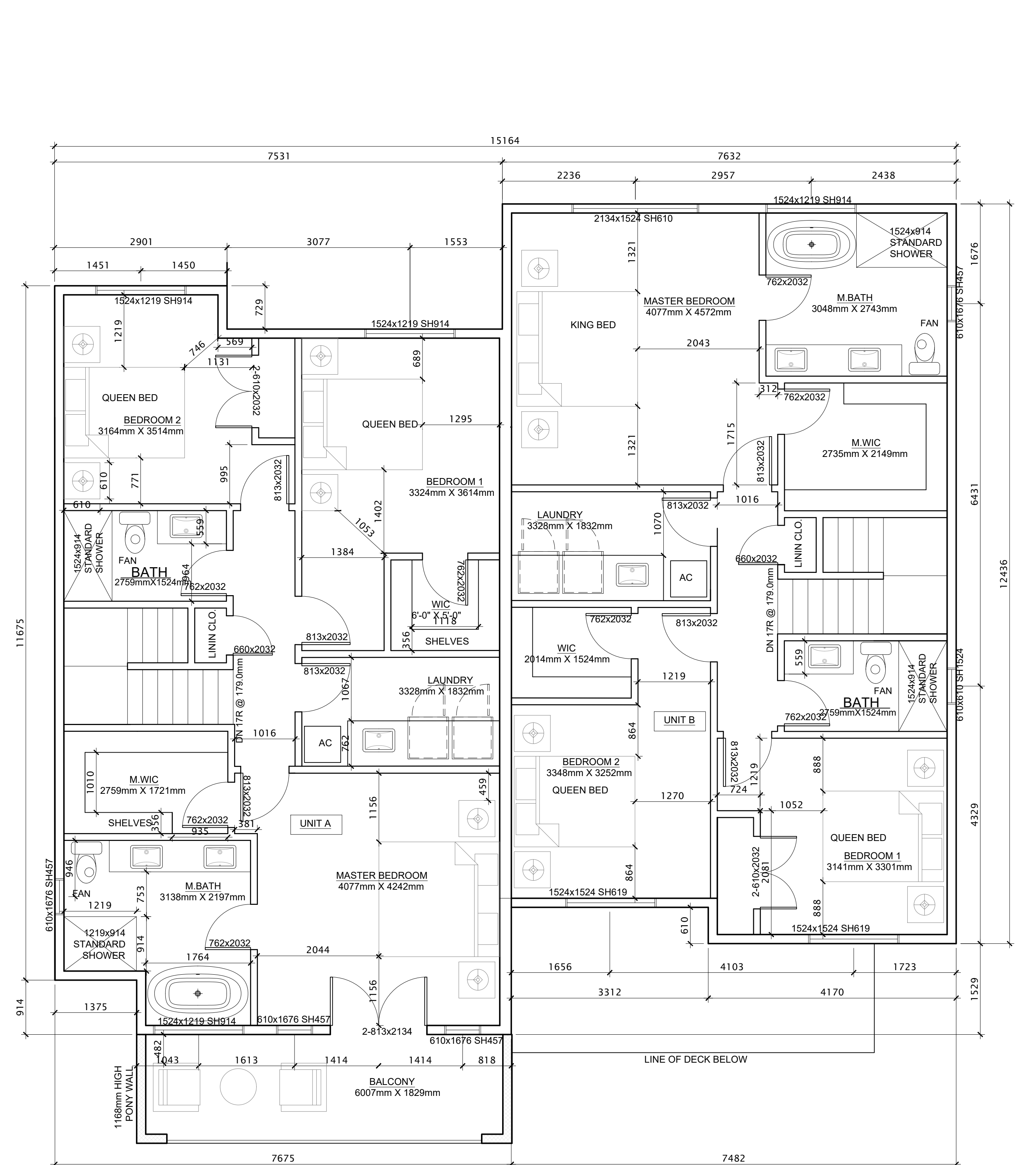
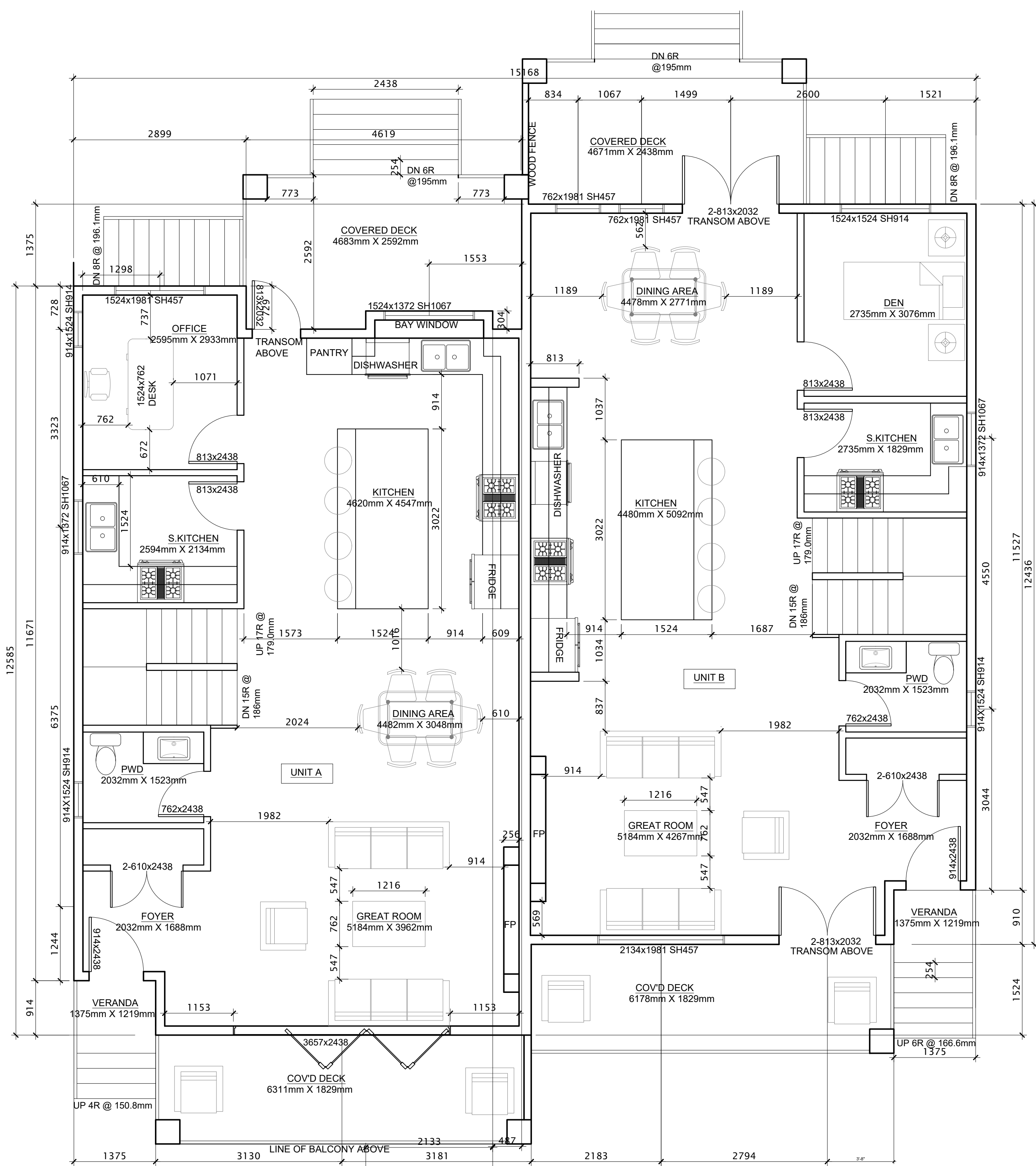
**15439 OXENHAM AVE  
WHITE ROCK BC.**

**DRAWING CONTENTS**

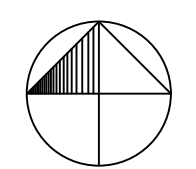
**MAIN & UPPER FLOOR PLANS**

DRAWN BY: MOVADO HOMES	DATE: 06.09.2021
CHECKED BY: MOVADO HOMES	JOB NO.: 200131
SCALE: AS SHOWN	TOTAL SHEETS: 6

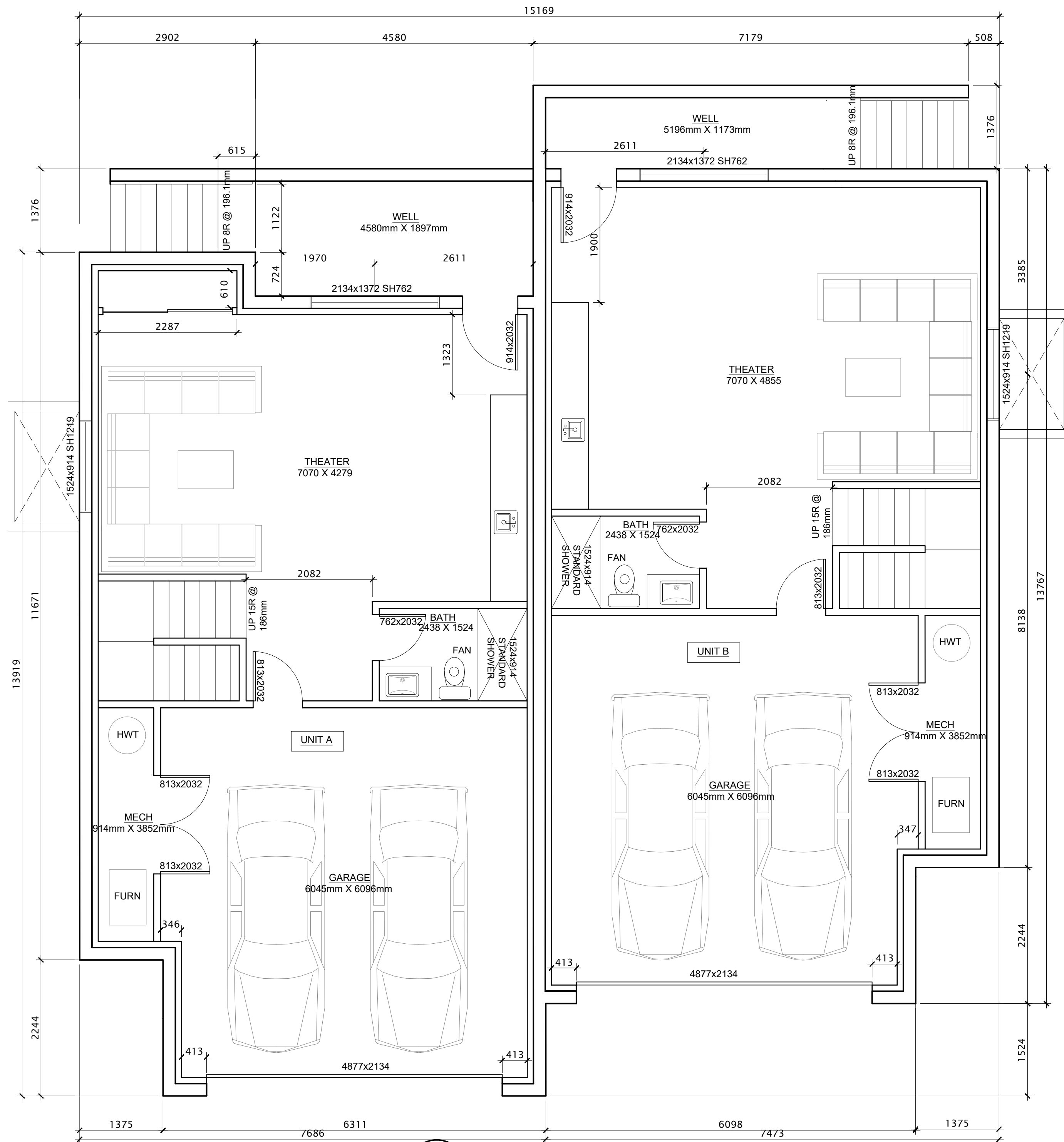
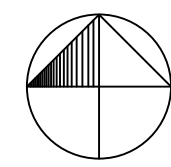
**A3**



THESE DRAWINGS CONFORM TO THE REQUIREMENTS OF THE 2018 BC BUILDING CODE. ADDITIONAL SPECIFICATIONS BY A STRUCTURAL ENGINEER IS AN INTEGRAL PART OF THE DRAWINGS.



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**1 BASEMENT FLOOR PLAN**

UNIT A: AREA  
LIVING: 52.72 SQ.M.  
GARAGE & MECH: 45.65 SQ.M.

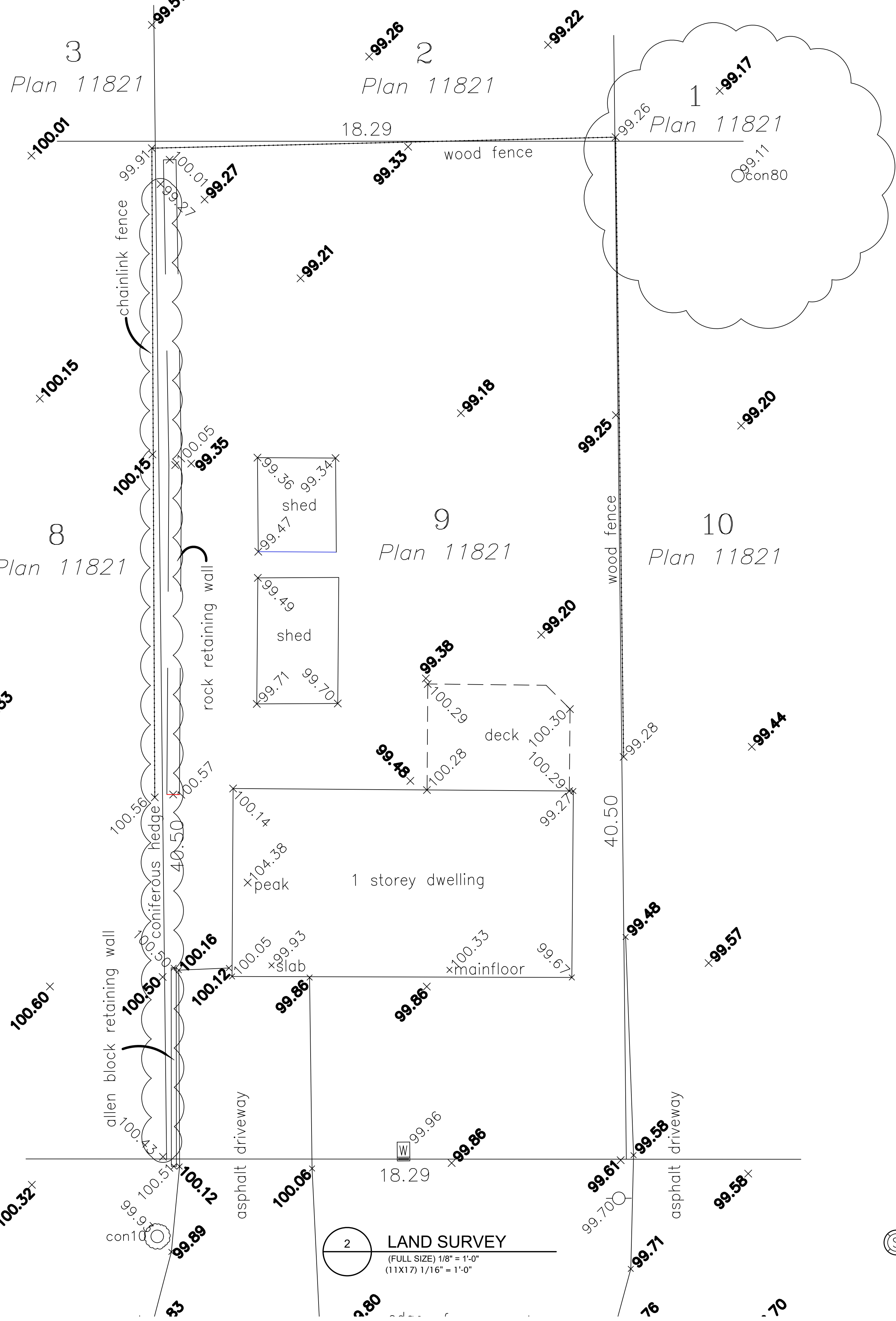
LIVING: 109.34 SQ.M.  
GARAGE & MECH: 91.30 SQ.M.

UNIT B: AREA  
LIVING: 56.62 SQ.M.  
GARAGE & MECH: 45.65 SQ.M.

100.32+  
100.33  
100.34  
100.35  
100.36  
100.37  
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100.58  
100.59  
100.60

**2 LAND SURVEY**

(FULL SIZE) 1/8" = 1'-0"  
(11X17) 1/16" = 1'-0"



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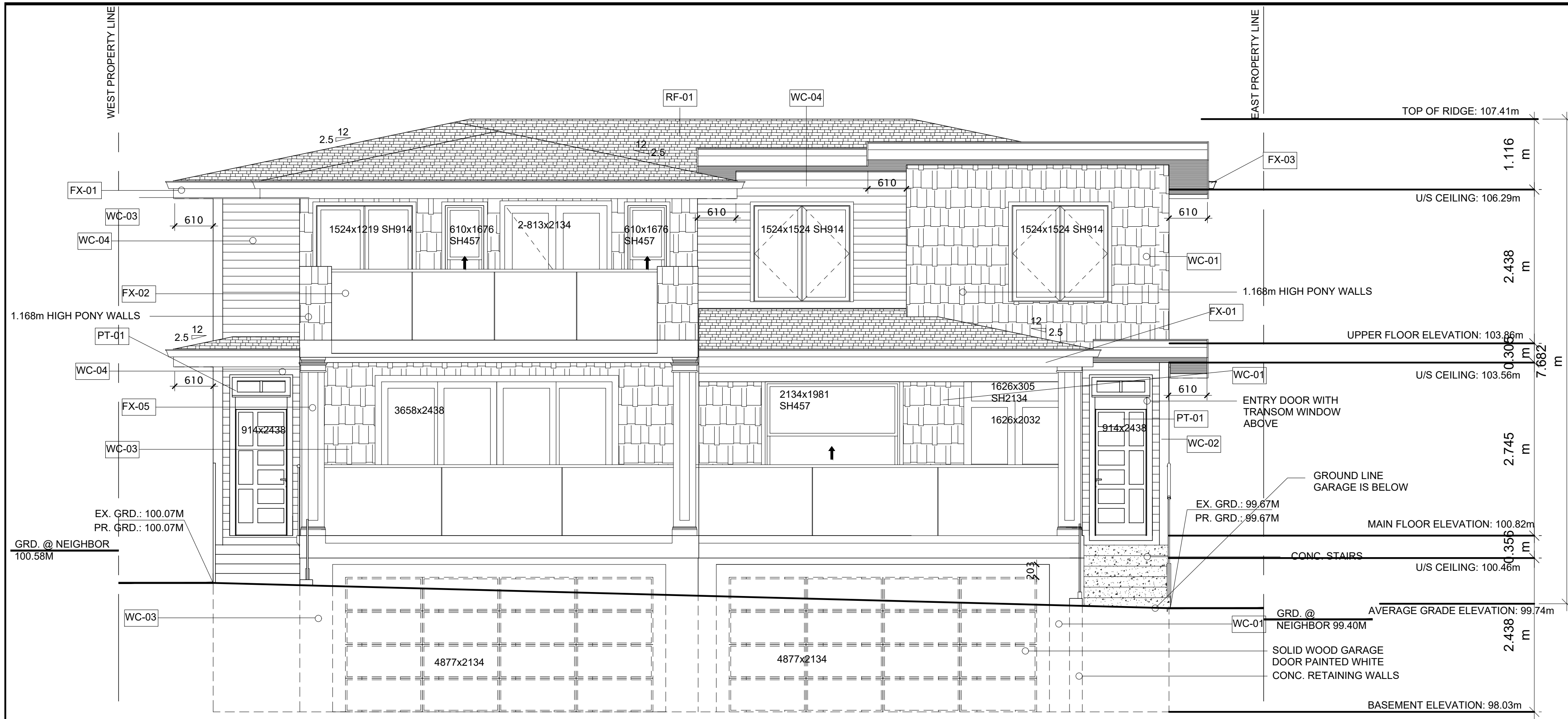
**PROJECT LOCATION:**  
15439 OXENHAM AVE  
WHITE ROCK BC.

**DRAWING CONTENTS**  
BASEMENT FLOOR PLAN & LAND SURVEY

**DRAWN BY:** MOVADO HOMES  
**CHECKED BY:** MOVADO HOMES  
**SCALE:** AS SHOWN

**DATE:** 06 09 2021  
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**A4**



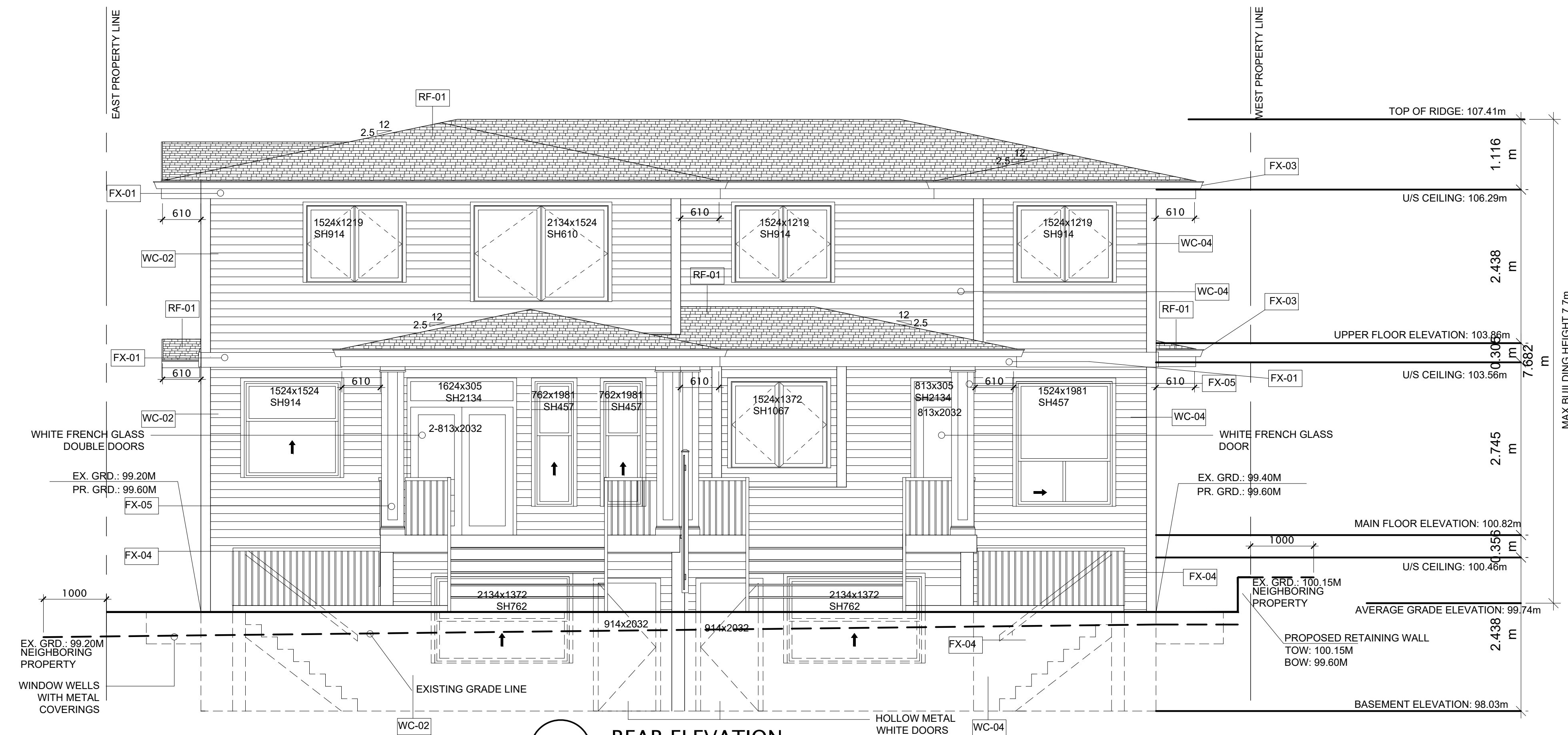
**1 FRONT ELEVATION**  
 (FULL SIZE) 1/4" = 1'-0"  
 (11X17) 1/8" = 1'-0"

WALL & ROOF COVERINGS					
PHOTO	CODE	LOCATION	SUPPLIER	PRODUCT	NOTES
	RF-01	ROOF	SUPPLIED BY CONTRACTOR	PRODUCT: SHINGLES COLOR: LIGHT GREY FINISH: STANDARD	APPLIED ON HOUSE
	WC-01	AS SHOWN	SUPPLIED BY CONTRACTOR	PRODUCT: CEDAR SHAKE WALL SIDING COLOR: BROWN FINISH: STANDARD	
	WC-02	AS SHOWN	SUPPLIED BY CONTRACTOR	PRODUCT: 6" HARDIE PLANK HORIZ. SIDING COLOR: BEIGE FINISH: STANDARD	APPLIED HORIZ. WITH 6" CORNER TRIMS
	WC-03	PONY WALLS AND AS SHOWN	SUPPLIED BY CONTRACTOR	PRODUCT: CEDAR SHAKE WALL SIDING COLOR: BROWN FINISH: STANDARD	
	WC-04	AS SHOWN	SUPPLIED BY CONTRACTOR	PRODUCT: 6" HARDIE PLANK HORIZ. SIDING COLOR: BROWN FINISH: STANDARD	APPLIED HORIZ. WITH 6" CORNER TRIMS

PAINT & FIXTURES					
PHOTO	CODE	LOCATION	SUPPLIER	PRODUCT	NOTES
	FX-01	CLADDING TRANSITION AT FRONT & ROOFS	SUPPLIED BY CONTRACTOR	PRODUCT: 1X12 FASCIA BOARD PRODUCT: 2X10 WALL TRIM COLOR: WHITE FINISH: PAINTED	THICKER TRIM USED ON RIGHT FRONT COVD DECK HEADER.
	FX-02	FRONT DECKS	SUPPLIED BY CONTRACTOR	PRODUCT: ALUMINUM GLASS RAILING COLOR RAILING: WHITE COLOR GLASS: CLEAR RAILING FINISH: MATTE	
	FX-03	ROOFS	SUPPLIED BY CONTRACTOR	PRODUCT: 5X5 ALUMINUM GUTTERS COLOR: DARK GREY FINISH: MATTE	
	FX-04	REAR ONLY	SUPPLIED BY CONTRACTOR	PRODUCT: ALUMINUM RAILING COLOR RAILING: WHITE RAILING FINISH: STANDARD	
	FX-05	DECKS	SUPPLIED BY CONTRACTOR	PRODUCT: WOOD PANELLED COLUMNS COLOR: WHITE FINISH: GLOSSY	
	PT-01	ENTRANCE DOOR	SUPPLIED BY CONTRACTOR	PRODUCT: EXTERIOR DOOR COLOR: DARK BROWN FINISH: STAIN (OR BEST CHOICE)	IMPORTANT: SUB-CONTRACTOR TO PAINT TEST WALLS OF ALL COLORS FOR CLIENT APPROVAL PRIOR TO PAINTING ENTIRE SPACE. USE APPROPRIATE PAINT TYPE FOR APPLICATION. CONTRACTOR TO PROVIDE ALTERNATIVE MANUFACTURER ONLY AS APPROVED BY DESIGNER.

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**2 REAR ELEVATION**  
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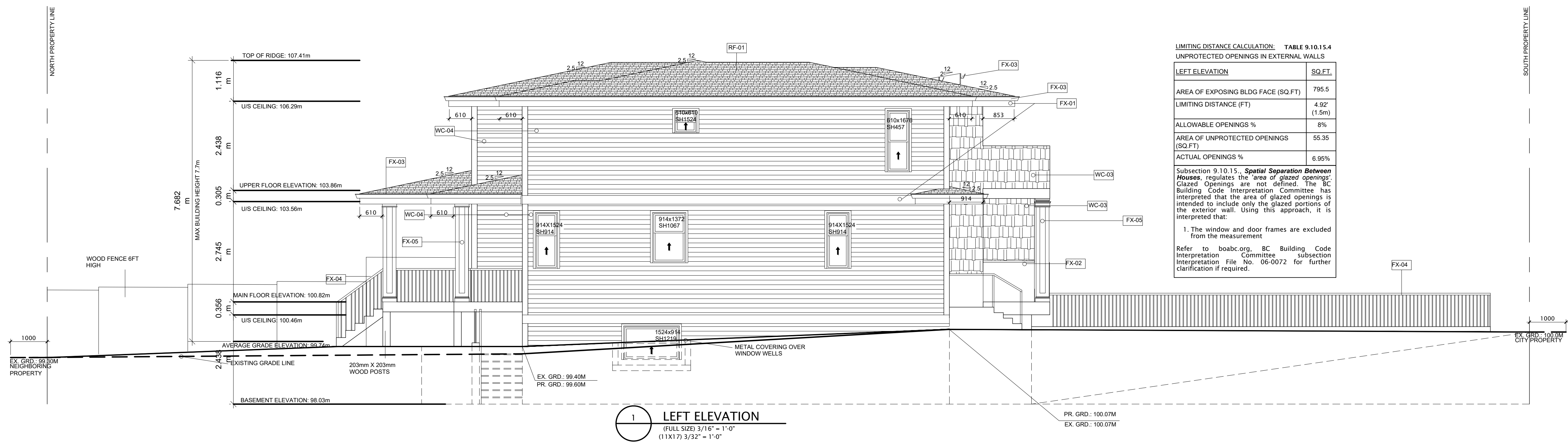
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**DRAWING CONTENTS**  
 FRONT & REAR ELEVATIONS

**DRAWN BY:** MOVADO HOMES  
**CHECKED BY:** MOVADO HOMES  
**SCALE:** AS SHOWN

**DATE:** 06.09.2021  
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**A5**



**1 LEFT ELEVATION**  
 (FULL SIZE) 3/16" = 1'-0"  
 (11X17) 3/32" = 1'-0"

**LIMITING DISTANCE CALCULATION: TABLE 9.10.15.4**  
 UNPROTECTED OPENINGS IN EXTERNAL WALLS

LEFT ELEVATION	SQ.FT.
AREA OF EXPOSING BLDG FACE (SQ.FT)	795.5
LIMITING DISTANCE (FT)	4.92 (1.5m)
ALLOWABLE OPENINGS %	8%
AREA OF UNPROTECTED OPENINGS (SQ.FT)	55.35
ACTUAL OPENINGS %	6.95%

Subsection 9.10.15., *Spatial Separation Between Houses*, regulates the "area of glazed openings". Glazed Openings are not defined. The BC Building Code Interpretation Committee has interpreted that the area of glazed openings is intended to include only the glazed portions of the exterior wall. Using this approach, it is interpreted that:

1. The window and door frames are excluded from the measurement.

Refer to boabc.org, BC Building Code Interpretation Committee subsection Interpretation File No. 06-0072 for further clarification if required.

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CONFIRM LOT DIMENSIONS, GRADE ELEVATIONS AND LOCATION OF ALL BUILDINGS, STRUCTURES, EASEMENTS, SIDEWALK COVENANTS, SWALES AND RIGHT OF WAYS IF ANY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER MANAGEMENT TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION.

ALL FINISHED GRADES TO SLOPE DOWN FROM THE BUILDING AT A MINIMUM OF 1% TO ENSURE SUCCESSFUL RUN-OFF OF SURFACE WATER.

REVISIONS:		
DATE	ISSUED FOR	REV
06.21.2021	DP SUBMISSION	
05.02.2022	INTERDEPARTMENT COMMENTS	
08.08.2022	ADP COMMENTS	
11.30.2022	ADP COMMENTS	



**LEGAL DESCRIPTION:**  
 LT 9/ SEC 11/ NWD/  
 PL NWP11821/ TWP 1

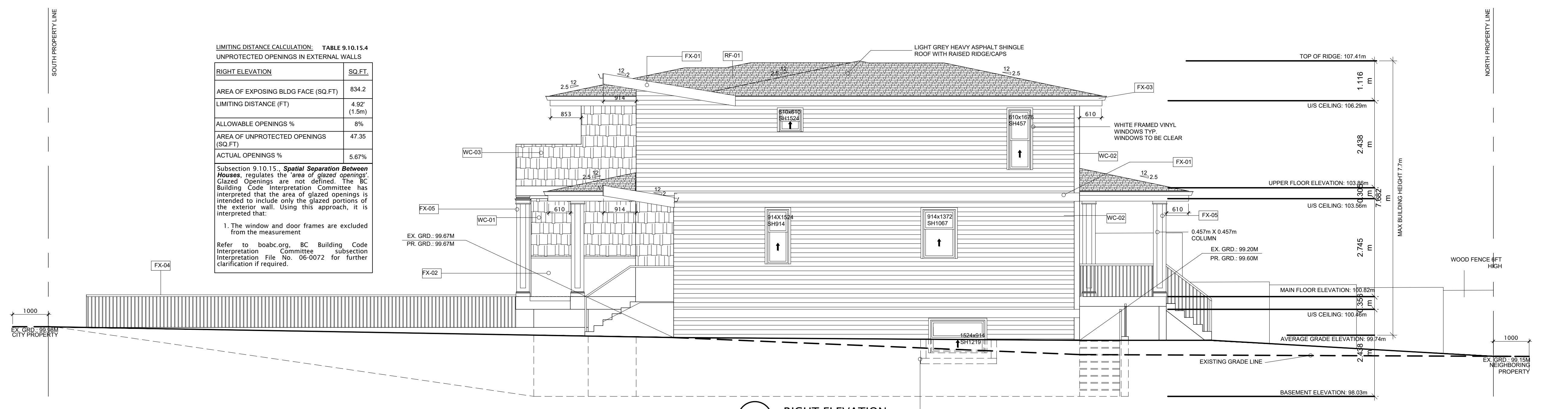
**PROJECT DESCRIPTION:**  
 PROPOSED DUPLEX DWELLING

**PROJECT LOCATION:**  
 15439 OXENHAM AVE  
 WHITE ROCK BC.

**DRAWING CONTENTS**  
 LEFT & RIGHT ELEVATIONS

DRAWN BY: MOVADO HOMES	DATE: 06 09 2021
CHECKED BY: MOVADO HOMES	JOB NO.: 200131
SCALE: AS SHOWN	TOTAL SHEETS: 6

**A6**



**2 RIGHT ELEVATION**  
 (FULL SIZE) 3/16" = 1'-0"  
 (11X17) 3/32" = 1'-0"

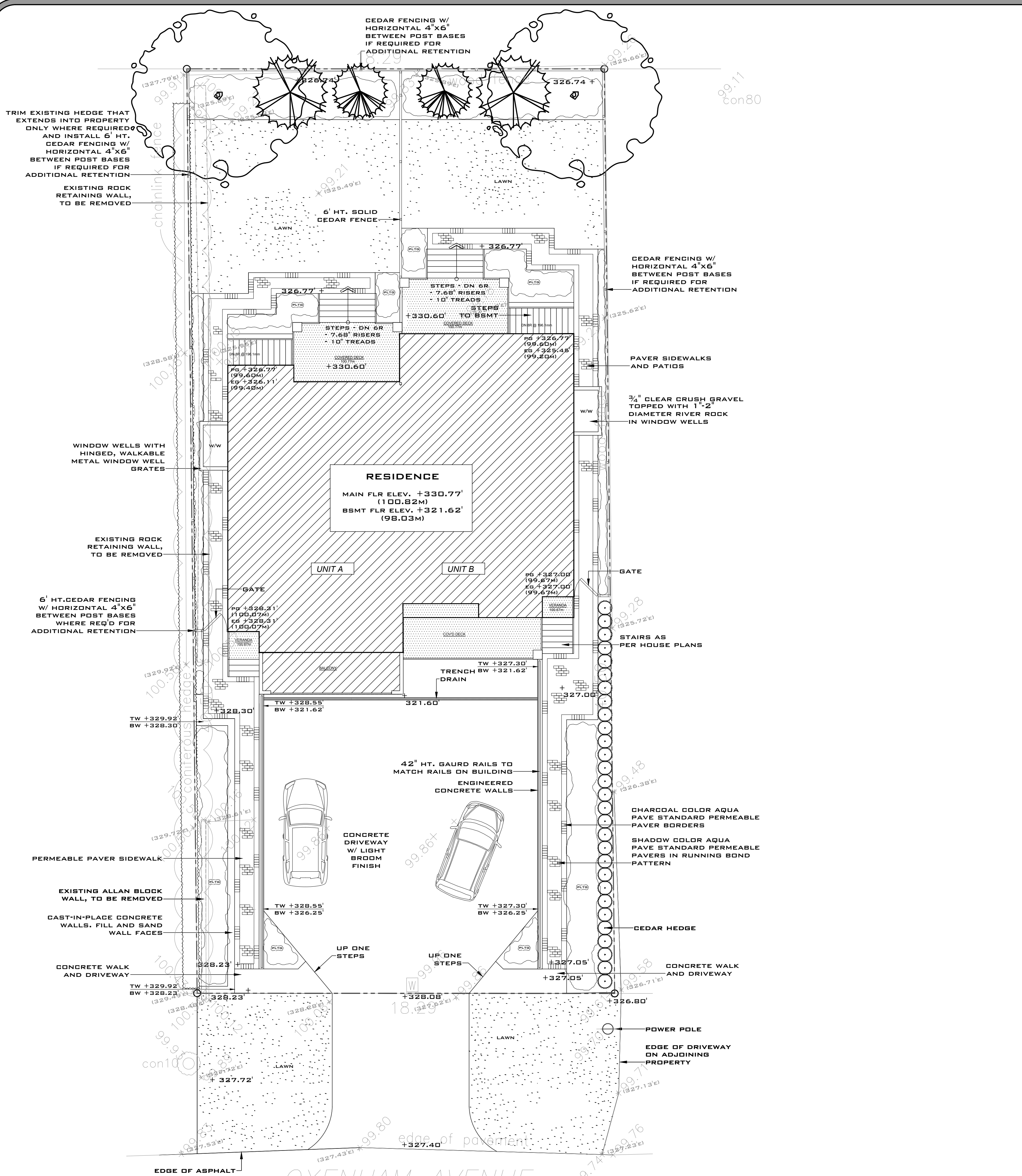
**LIMITING DISTANCE CALCULATION: TABLE 9.10.15.4**  
 UNPROTECTED OPENINGS IN EXTERNAL WALLS

RIGHT ELEVATION	SQ.FT.
AREA OF EXPOSING BLDG FACE (SQ.FT)	834.2
LIMITING DISTANCE (FT)	4.92 (1.5m)
ALLOWABLE OPENINGS %	8%
AREA OF UNPROTECTED OPENINGS (SQ.FT)	47.35
ACTUAL OPENINGS %	5.67%

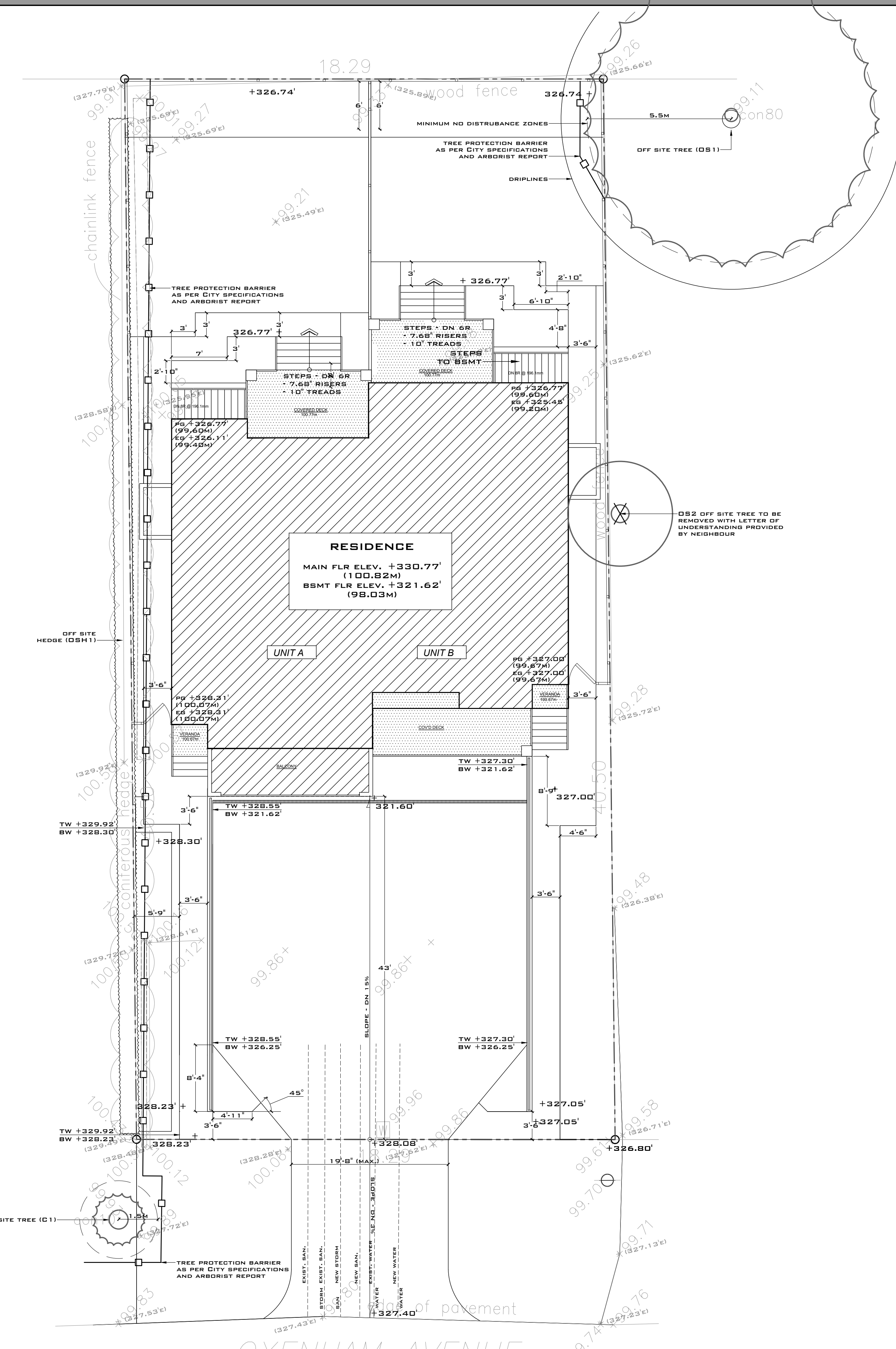
Subsection 9.10.15., *Spatial Separation Between Houses*, regulates the "area of glazed openings". Glazed Openings are not defined. The BC Building Code Interpretation Committee has interpreted that the area of glazed openings is intended to include only the glazed portions of the exterior wall. Using this approach, it is interpreted that:

1. The window and door frames are excluded from the measurement.

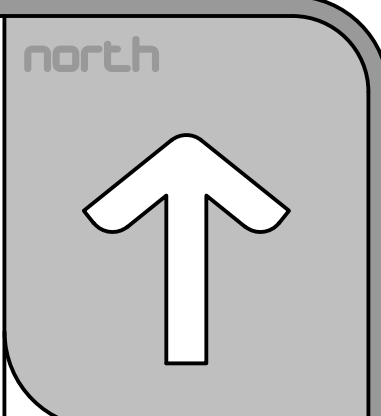
Refer to boabc.org, BC Building Code Interpretation Committee subsection Interpretation File No. 06-0072 for further clarification if required.



**MARKED GRADES**  
 + 100.00' PROPOSED GRADES  
 + (100.00') APPROXIMATE EXISTING GRADES  
 < 100.00' > INTERPOLATED GRADES  
 TW = TOP OF WALL (WITHOUT CAP, IF A WALL WITH CAPS)  
 BW = BOTTOM OF WALL AT FINISHED GRADE



OXENHAM AVENUE



**client**  
 PRIVATE RESIDENCE  
 PROJECT ADDRESS:  
 15439  
 OXENHAM AVENUE  
 WHITE ROCK, BC

**project**  
 OVERALL  
 LANDSCAPE DESIGN  
 MASTER PLAN  
 DIMENSION/GRADING  
 PLAN

**project #**  
 BK616-21

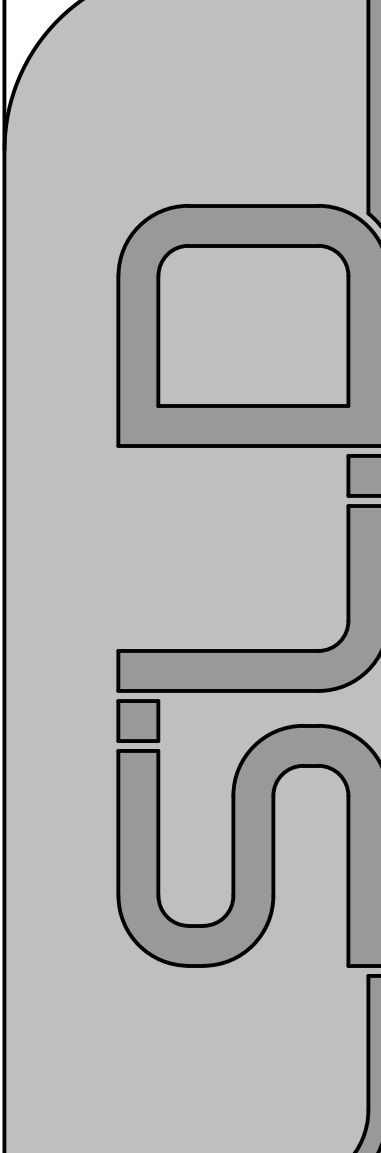
**page #**  
 1 OF 2

**scale**  
 1/8" = 1'-0"

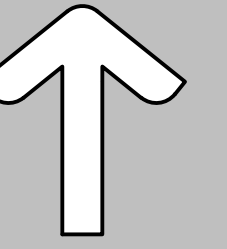
**date**  
 JUNE 6, 2021

**revisions**  
 MARCH 29, 2022  
 MAY 2, 2022  
 AUG 21, 2022  
 SEPT 19, 2022  
 DEC 6, 2022  
 FEB 15, 2023

**NOTE:**  
 ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF THE PROJECT. ANY  
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER ALL DIMENSIONS SHOWN ON THIS PLAN.  
 ALL DIMENSIONS ARE TO BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 ALSO BE RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND REGULATIONS.  
 ALL WORK TO BE PERFORMED IN ACCORDANCE WITH LOCAL, PROVINCIAL, AND FEDERAL STANDARDS, CURRENT EDITION.  
 ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE CITY OF WHITE ROCK, BC, AND THE PROVINCE OF BRITISH COLUMBIA.  
 THE DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OF THE BUILDING OR THE STRUCTURE OF THE BUILDING.  
 ALL DIMENSIONS TO BE PROVIDED BY THE ARCHITECT OR THE CLIENT.  
 SURFACE WATER NOT TO BE DRAINAGE ONTO ADJACENT PROPERTIES



Samara Landscape Design info@samaralandscape.com 604-308-7963



PLANT LIST

<b>EXPOSURE (EXP.):</b>	<b>TYPE:</b>
S-sun	B-biennial Gr-ornamental grass
Sh-shade	C-coniferous P-perennial
PSh-part shade	D-deciduous S-shrub
	E-evergreen T-tree
	V-vine G-ground cover

-SUPPLIED PLANTS SHALL CONFORM TO B.C.L.N.A. & B.C.S.L.A. STANDARDS  
 -PLANT SUBSTITUTIONS SHALL BE APPROVED BY SAMARA LANDSCAPE DESIGN  
 -PLANT QUANTITIES ON PLAN AND PLANTLIST TO BE VERIFIED BY CONTRACTOR

KEY	BOTANICAL NAME	QTY.	SIZE	SPACING	TYP	EXP	COMMON NAME / REMARKS
(1)	<i>Astilbe simplicifolia</i> 'Sprite'	7	1 gal	1'6"oc	P	Sh, PSh	Astilbe/ delicate shell-pink fluffy fw spikes-summer, dark bronze-grn lacy lvs
(2)	Azalea (Encore) 'Autumn Angel'	7	3 gal	4'0"oc	ES	S, PSh	Evergreen Azalea/ white trumpet flws repeat spring, summer, fall - dwarf form
(3)	<i>Carex morrowii</i> aurea variegata	23	1 gal	1'6"oc	Gr	S, Sh	Variegated Japanese Sedge/ cream grn striped lvs, clump forming variety
(4)	<i>Erica carnea</i> 'Springwood Pink'	3	1 gal	2'0"oc	ES	S, PSh	Winter Heath/ clear rose bell shaped fw clusters-Dec
(5)	<i>Hemerocallis</i> 'Catherine Woodbury'	26	1 gal	2'0"oc	P	S, PSh	Daylily/ fragrant, pink lily flws with green center-July, grass lvs
(6)	<i>Heuchera micrantha</i> 'Palace Purple'	6	1 gal	1'6"oc	P	S, PSh	Coral Bells/ deep purple to bronze lvs, pink summer flws
(7)	<i>Hosta undulata</i> 'Albo-Marginata'	4	1 gal	1'6"oc	P	Sh, PSh	Plantain Lily/ fleshy two-tone grn wavy lvs, creamy-white edge, lilac flws-summer
(8)	<i>Lonicera pileata</i>	6	3 gal	4'6"oc	ES	S, PSh	Privet Honeysuckle/ small green lvs, small translucent purple berries Aug.
(9)	<i>Pachysandra terminalis</i> variegata	88	4" pot	1'0"oc	EG	Sh	Variegated Japan. Spurge/ white flws-spring, grn/white lvs
(10)	<i>Rhododendron</i> 'Unique'	6	3 gal	4'0"oc	ES	S, PSh	Cream trumpet fw clusters-late April, pink buds, medium size
(11)	<i>Spiraea japonica</i> 'Gold Mound'	10	2 gal	3'0"oc	DS	S, PSh	Dwarf Spirea/ yellow lvs, flat pink fw clusters-summer, low form
(12)	<i>Thuja occidentalis</i> smaragd	29	4' ht.	2'0"oc	CS	S, PSh	Emerald (Danish) Cedar/ rich emerald green, pyramidal form

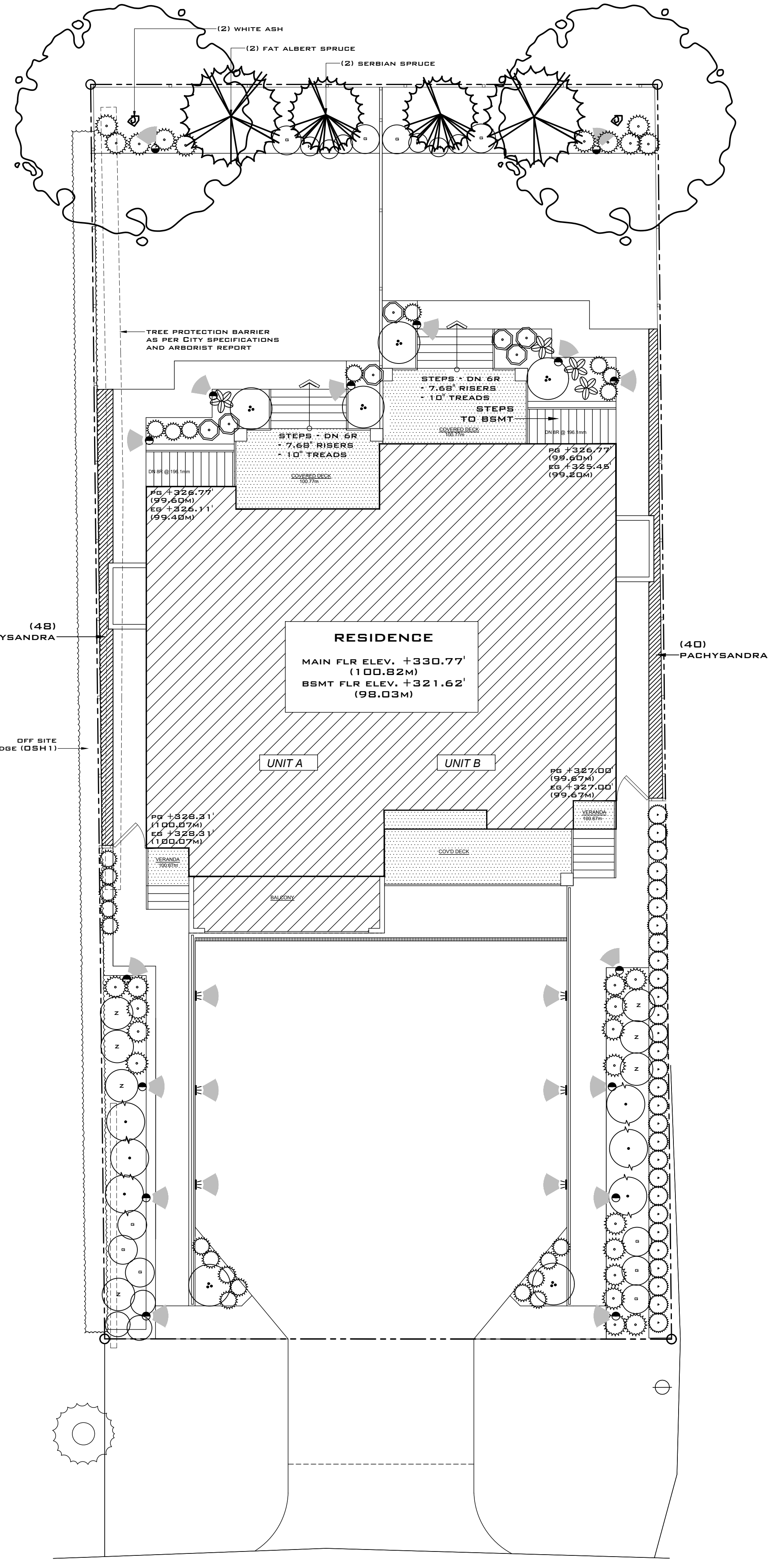
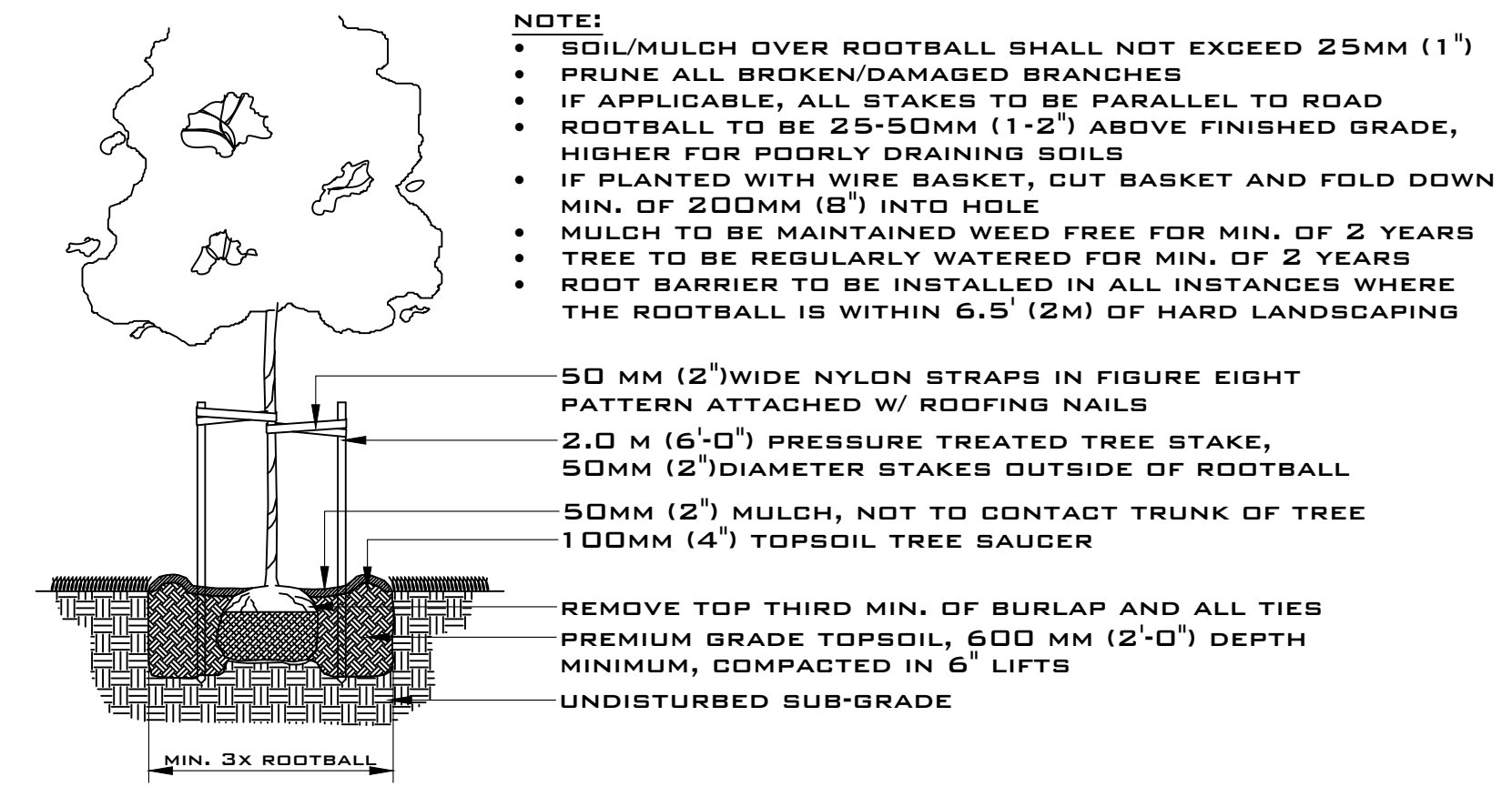
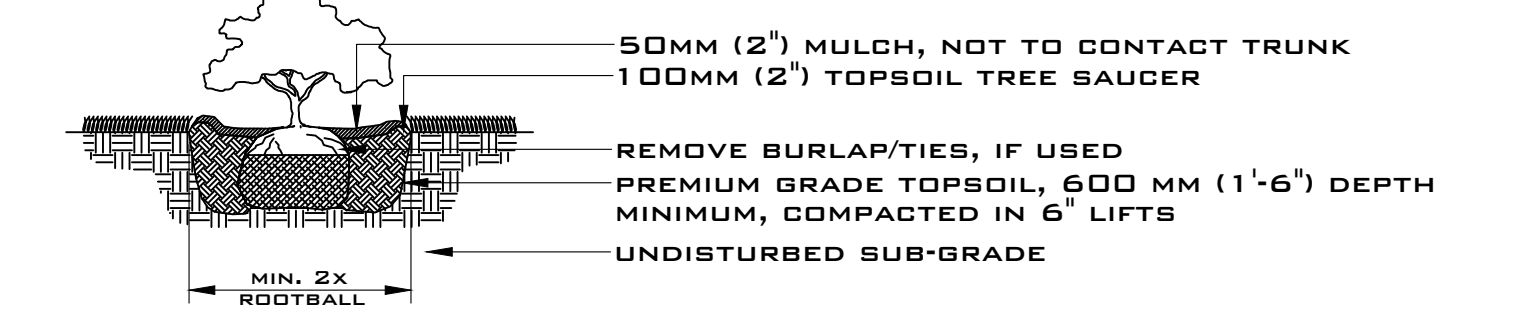
TREES

SYMBOL	BOTANICAL NAME	QTY.	SIZE	SPACING	TYP	EXP	COMMON NAME / REMARKS
(13)	<i>Fraxinus americana</i> 'Autumn Purple'	2	6cm cal	per plan	DT	S, Ps, h	White Ash/ tall broad form, early long lasting red/purple fall color
(14)	<i>Picea omorika</i>	2	3m ht.	per plan	CT	S, PSh	Serbian Spruce/ columnar form, sweeping branches, dark green
(15)	<i>Picea pungens</i> 'Fat Albert'	2	3m ht.	per plan	CT	S, PSh	Fat Albert Blue Spruce/ dense pyramidal form, low branching, blue/green

LIGHTING LEGEND

SYMBOL	FIXTURE	QTY	FINISH	SOURCE	SPREAD	VOLTAGE	COLOR
(16)	PATH LIGHT	14	BLACK	LED	N/A	12V	WARM WHITE
(17)	STEP/WALL LIGHT	6	BLACK	LED	N/A	12V	WARM WHITE
(18)	UPLIGHT	2	BLACK	LED	35°	12V	WARM WHITE
(19)	WIDE ANGLE UPLIGHT	0	BLACK	LED	60°	12V	WARM WHITE
(20)	WELL LIGHT	0	BLACK	LED	N/A	12V	WARM WHITE
(21)	SUBMERSIBLE LIGHT	0	BLACK	LED	N/A	12V	WARM WHITE

- NOTE:**
- SOIL/MULCH OVER ROOTBALL SHALL NOT EXCEED 1" (25MM)
  - PRUNE ALL BROKEN/DAMAGED BRANCHES
  - ROOTBALL TO BE 1'-2" (25-50MM) ABOVE FINISHED GRADE
  - MULCH TO BE MAINTAINED WEED FREE FOR MIN. OF 2 YEARS
  - SHRUB TO BE REGULARLY WATERED FOR MIN. OF 2 YEARS
  - ROOT BARRIER TO BE INSTALLED IN ALL INSTANCES WHERE THE ROOTBALL IS WITHIN 6.5' (2M) OF HARD LANDSCAPING



**NOTE:**

- ALL MEASUREMENTS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF THE PROJECT. ANY WRITTEN DIMENSIONS SHALL BE USED FOR ALL DIMENSIONS.
- THE DESIGN IS FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH B.C.L.N.A. & B.C.S.L.A. STANDARDS. CURRENT EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- ALL PLANTING TO BE PERFORMED IN ACCORDANCE WITH SAMARA LANDSCAPE DESIGN'S PLANTING SPECIFICATIONS.
- ALL PLANTING TO BE PERFORMED IN ACCORDANCE WITH SAMARA LANDSCAPE DESIGN'S PLANTING SPECIFICATIONS.
- SURFACE WATER NOT TO BE DRAINAGE ONTO ADJACENT PROPERTIES







