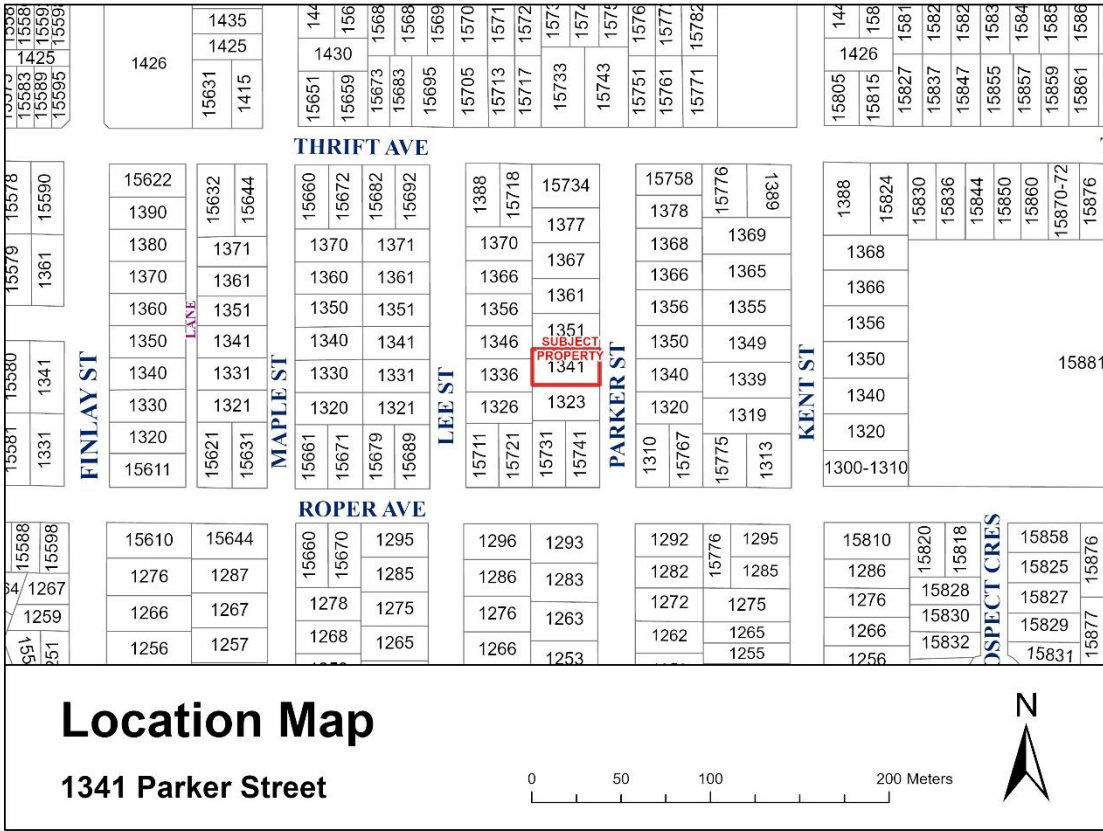


ATTACHMENT D

1341 Parker Street

(City File: 22-029)

- Location Map and Ortho Map (illustrating the location and context of the property)
- Legal Survey
- Architectural Drawings
- Arborist Report



LOT CALCULATIONS

CIVIC ADDRESS: LOT-112, 1341 PARKER STREET
WHITE ROCK, B.C.

ZONING: RT-1

LOT AREA: 8088.96 SQ.FT. [751.49m²]

PERMITTED FLOOR AREA RATIO: 50% x 8088.96 SQ.FT. [751.49m²]
= 4044.48 SQ.FT. [375.74m²]

PROPOSED FLOOR AREA RATIO: LOT-1 (MAIN + NET TOP FL.)
= 2007.17 SQ.FT. [186.47m²]
LOT-2 (MAIN + NET TOP FL.)
= 2007.17 SQ.FT. [186.47m²]
LOT-1+LOT-2 = (2007.17+2007.17)SQ FT
= 4014.34 SQ FT [372.94m²]

PERMITTED LOT COVERAGE: 45.00%
45.00% x 8088.96 SQ.FT. [751.49m²]
= 3640.03 SQ.FT. [338.17m²]

PROPOSED LOT COVERAGE: 32.10%
LOT-1 + LOT-2 = (1298.33+1298.33)SQ FT
= 2596.66 SQ.FT. [241.24m²]

PERMITTED BUILDING HEIGHT: 7.70M

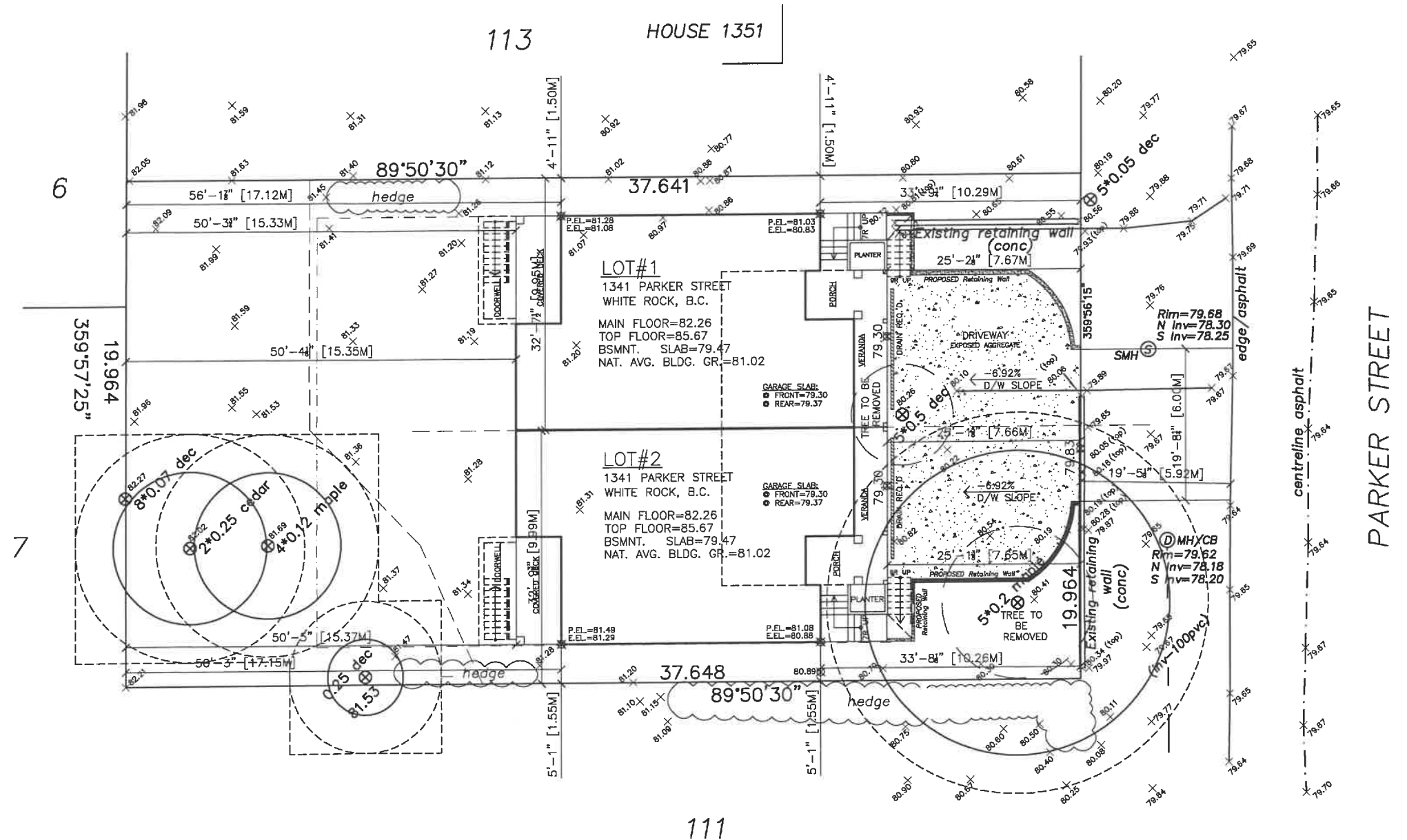
PROPOSED BUILDING HEIGHT: 7.69M

ATTACHMENT D



OCP AMENDMENT & REZONING - FROM RS-1 TO RT-1

REQUIREMENT	RS-1 ALLOWABLE/REQUIRED	RT-1 ALLOWABLE/REQUIRED	PROVIDED
LOT SIZE	15.0M X 27.4M 464 SQ.M	18.0M X 30.5M 742.0M	19.964M X 37.45M 751.49 SQ.M.
SETBACKS FRONT REAR EXTERIOR SIDE INTERIOR SIDE -WITH WINDOWS	7.5M 7.5M 7.5M 1.5M	7.5M 7.5M 3.8M 1.5M	7.65 15.33 1.5 1.5
BUILDING HEIGHT	7.7M	7.7M	7.69M
SOUTH FACADE HEIGHT	UPPER FLOOR MAX. 80% OF MAIN FLOOR	N/A	
SITE COVERAGE	40% 300.60 SQ.M.	45% 338.17 SQ.M.	32.10% 241.24 SQ.M.
RESIDENTIAL FAR	0.50 375.75 SQ.M.	0.50 375.75 SQ.M.	372.94 SQ.M.
PARKING	3 SPACES	2 PER DWELLING	2 PER DWELLING
DENSITY	1 UNIT	2 UNITS	2 UNITS



RECEIVED

FEB 02 2023

PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

THESE PLANS CONFORM TO REQUIREMENTS
IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



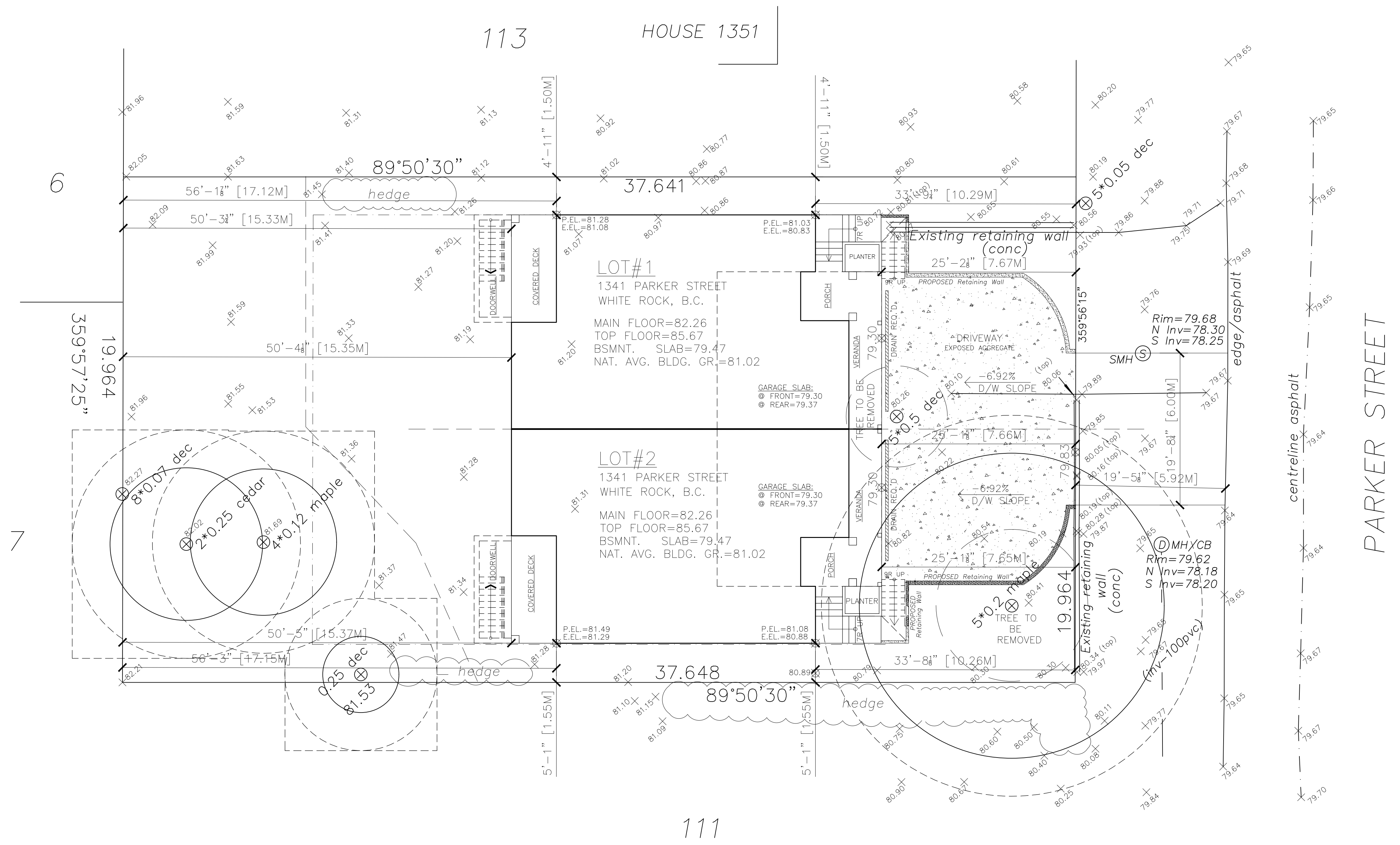
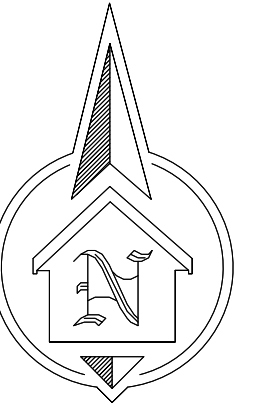
TITLE	DWN:	V.P.S	DRAWING NO.
PROPOSED RESIDENCE FOR SUKHVIR BADHESA LOT# 112, 1341 PARKER STREET WHITE ROCK, B.C.	SCALE:	1/8" = 1'-0"	DD22-8797 -P1
	DATE:	AUG-11-2022	
	CHKD:	P.K	
	PHONE:	778-683-2344	

DHILLON DESIGNS LTD.
UNIT 215-12830-80th AVE.
SURREY, B.C. V3W 3A8
PHONE: (604) 590-2808
FAX: (604) 590-2878
EMAIL: info@dhillondesigns.ca

LOT CALCULATIONS

CIVIC ADDRESS:	LOT-112, 1341 PARKER STREET WHITE ROCK, B.C.
ZONING:	RT-1
LOT AREA:	8088.96 SQ.FT. [751.49m ²]
PERMITTED FLOOR AREA RATIO:	50% x 8088.96 SQ.FT. [751.49m ²] = 4044.48 SQ.FT. [375.74m ²]
PROPOSED FLOOR AREA RATIO:	LOT-1 (MAIN + NET TOP FL.) = 2007.17 SQ.FT. [186.47m ²] LOT-2 (MAIN + NET TOP FL.) = 2007.17 SQ.FT. [186.47m ²] LOT-1+LOT-2 = (2007.17+2007.17)SQ FT = 4014.34 SQ FT [372.94m ²]
PERMITTED LOT COVERAGE:	45.00% 45.00% x 8088.96 SQ.FT. [751.49m ²] = 3640.03 SQ.FT. [297.81m ²]
PROPOSED LOT COVERAGE:	32.10% LOT-1 + LOT-2 = (1298.33+1298.33)SQ FT = 2596.66 SQ.FT. [241.24m ²]
PERMITTED BUILDING HEIGHT:	7.70M
PROPOSED BUILDING HEIGHT:	7.69M

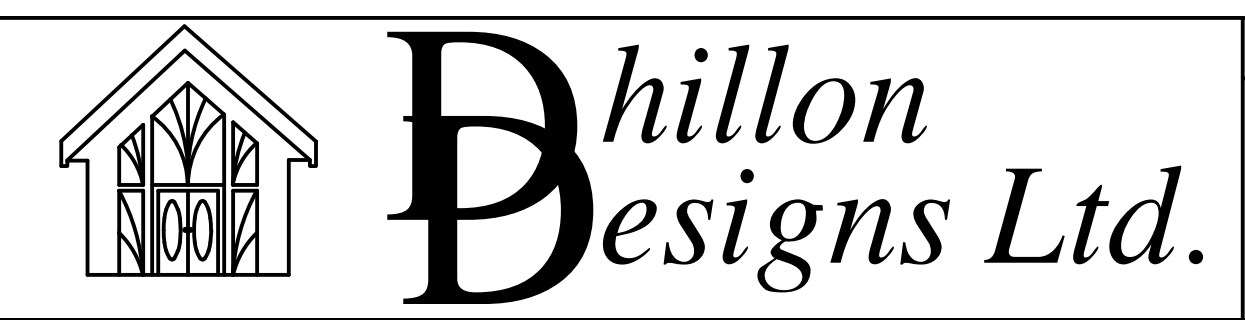
ATTACHMENT D



PARKER STREET

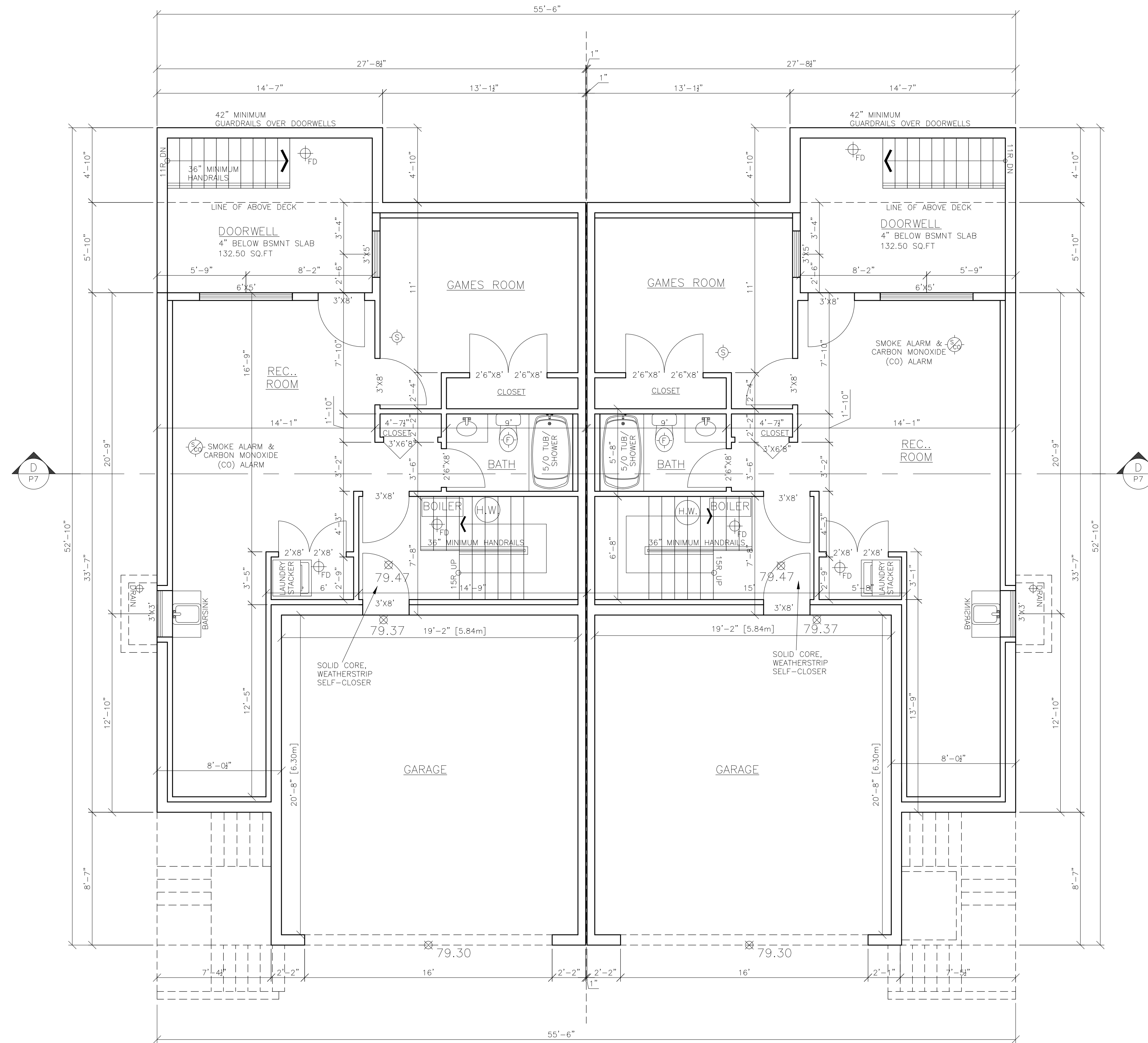
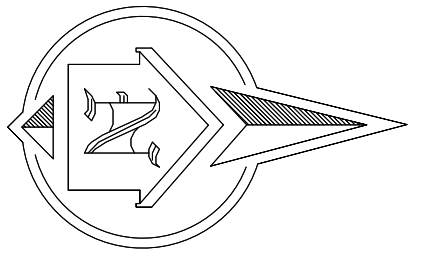
THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



TITLE	PROPOSED RESIDENCE FOR SUKHVIR BADHESA LOT# 112, 1341 PARKER STREET WHITE ROCK, B.C.
DWN:	V.P.S
SCALE:	1/8" = 1'-0"
DATE:	AUG-11-2022
CHKD:	P.K
PHONE:	778-683-2344

DRAWING NO.	DD22-8797 -P1
DHILLON DESIGNS LTD. UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.co	



BASEMENT FLOOR
SCALE: 1/4" = 1'
8'-0" CEILING

BASEMENT FLOOR AREA = 1185.51 SQ.FT. [110.14m²]
GARAGE AREA = 425.29 SQ.FT. [39.51m²]
NET BASEMENT FLOOR AREA = 760.22 SQ.FT. [70.63m²]

BASEMENT FLOOR
SCALE: 1/4" = 1'
8'-0" CEILING

BASEMENT FLOOR AREA = 1185.51 SQ.FT. [110.14m²]
GARAGE AREA = 425.29 SQ.FT. [39.51m²]
NET BASEMENT FLOOR AREA = 760.22 SQ.FT. [70.63m²]

NOTE:

- FOOTING AND FOUNDATION PLAN AS PER STRUCTURAL ENGINEER'S DRAWING
- RADIANT HEAT

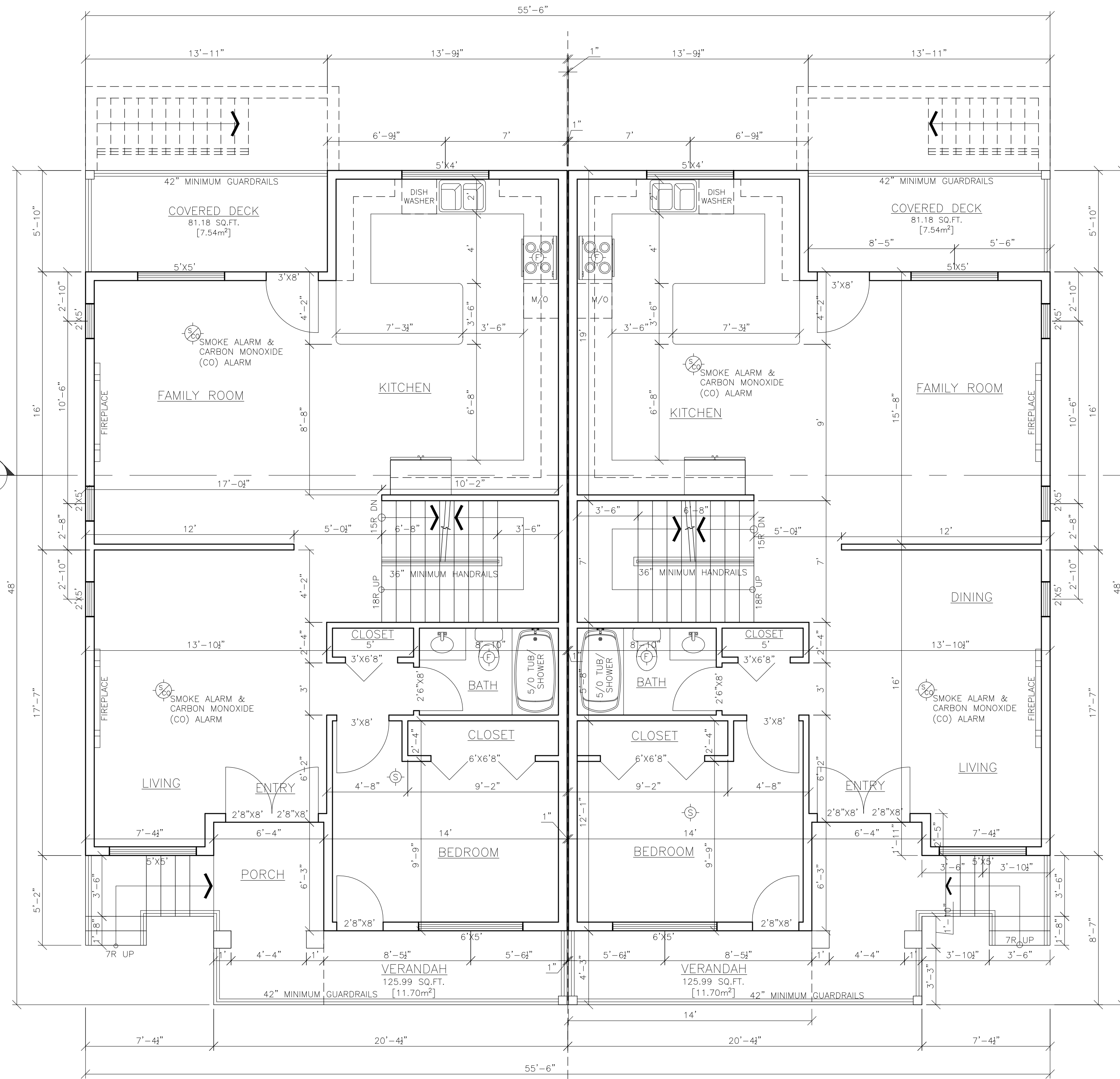
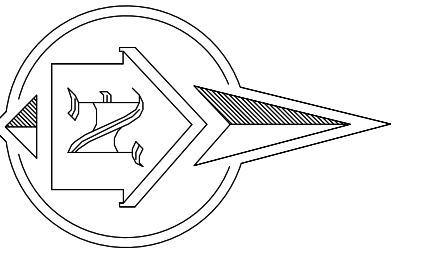
LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FLOOR DRAIN
- FAN

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	TITLE	DWN:	V.P.S	DRAWING NO.	DHILLON DESIGNS LTD.
						PROPOSED RESIDENCE FOR SUKHVIR BADHESA LOT# 112, 1341 PARKER STREET WHITE ROCK, B.C.			DD22-8797-P2	UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca





NOTE:
-RADIANT HEATING

LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FAN
- FLOOR DRAIN

MAIN FLOOR

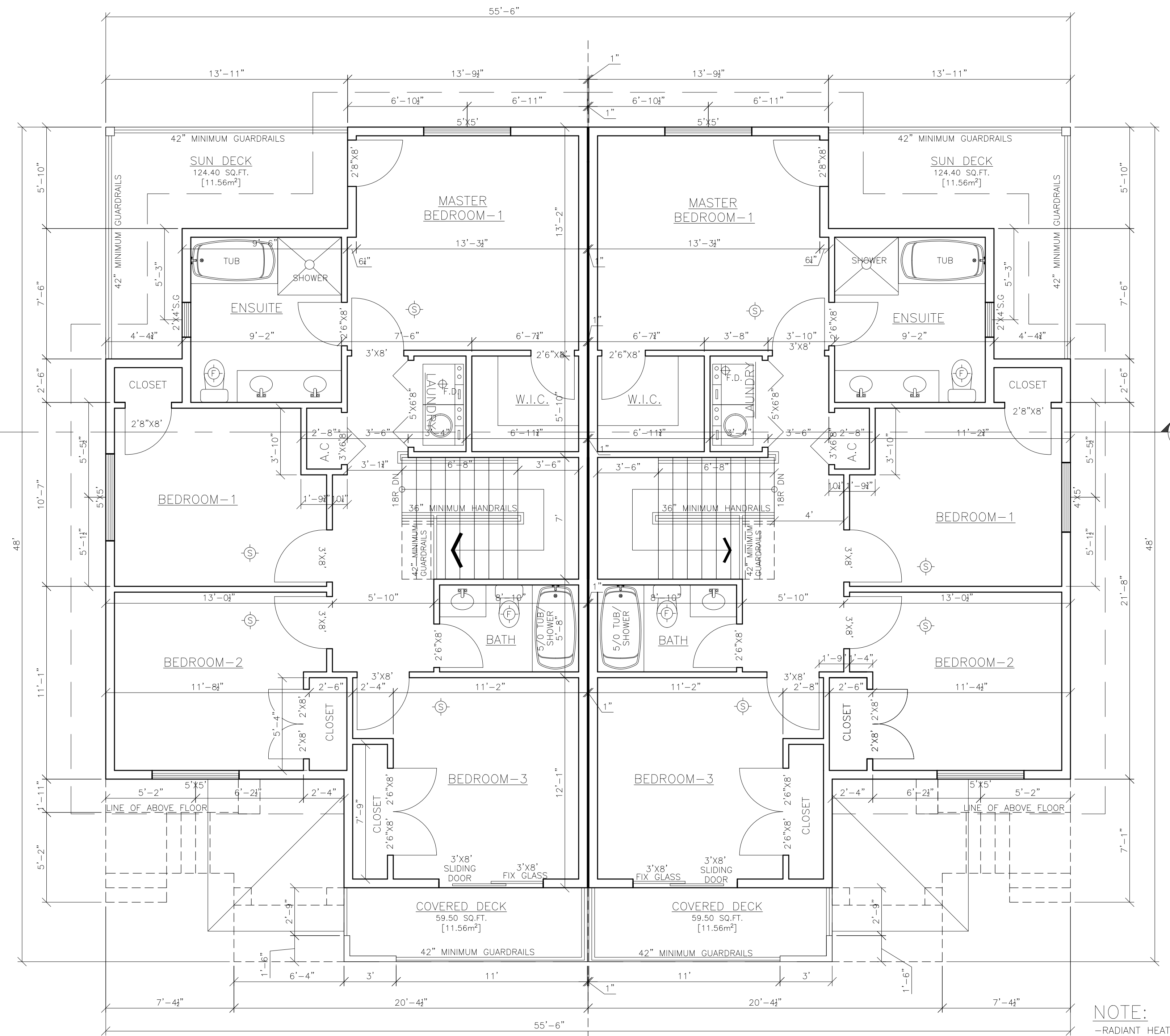
SCALE: 1/4" = 1'
10'-0" CEILING

MAIN FLOOR AREA = 1059.51 SQ.FT. [98.43m²]

MAIN FLOOR

SCALE: 1/4" = 1'
10'-0" CEILING

MAIN FLOOR AREA = 1059.51 SQ.FT. [98.43m²]



TOP FLOOR

SCALE: 1/4" = 1'
8'-0" CEILING

TOP FLOOR AREA = 1012.41 SQ.FT. [94.06m²]
STAIRS AREA = 64.75 SQ.FT. [6.02m²]
NET TOP FL. AREA = 947.66 SQ.FT. [88.04m²]

TOP FLOOR

SCALE: 1/4" = 1'
8'-0" CEILING

TOP FLOOR AREA = 1012.41 SQ.FT. [94.06m²]
STAIRS AREA = 64.75 SQ.FT. [6.02m²]
NET TOP FL. AREA = 947.66 SQ.FT. [88.04m²]

NOTE:
-RADIANT HEATING

NOTE:

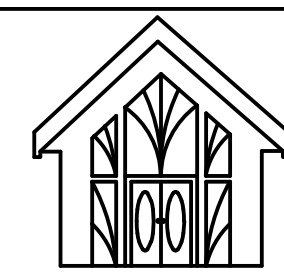
-ALL PARALLEL BEAMS, HANGERS AND TRUSSES ARE TO BE ENGINEERED.

LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FAN
- FLOOR DRAIN

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



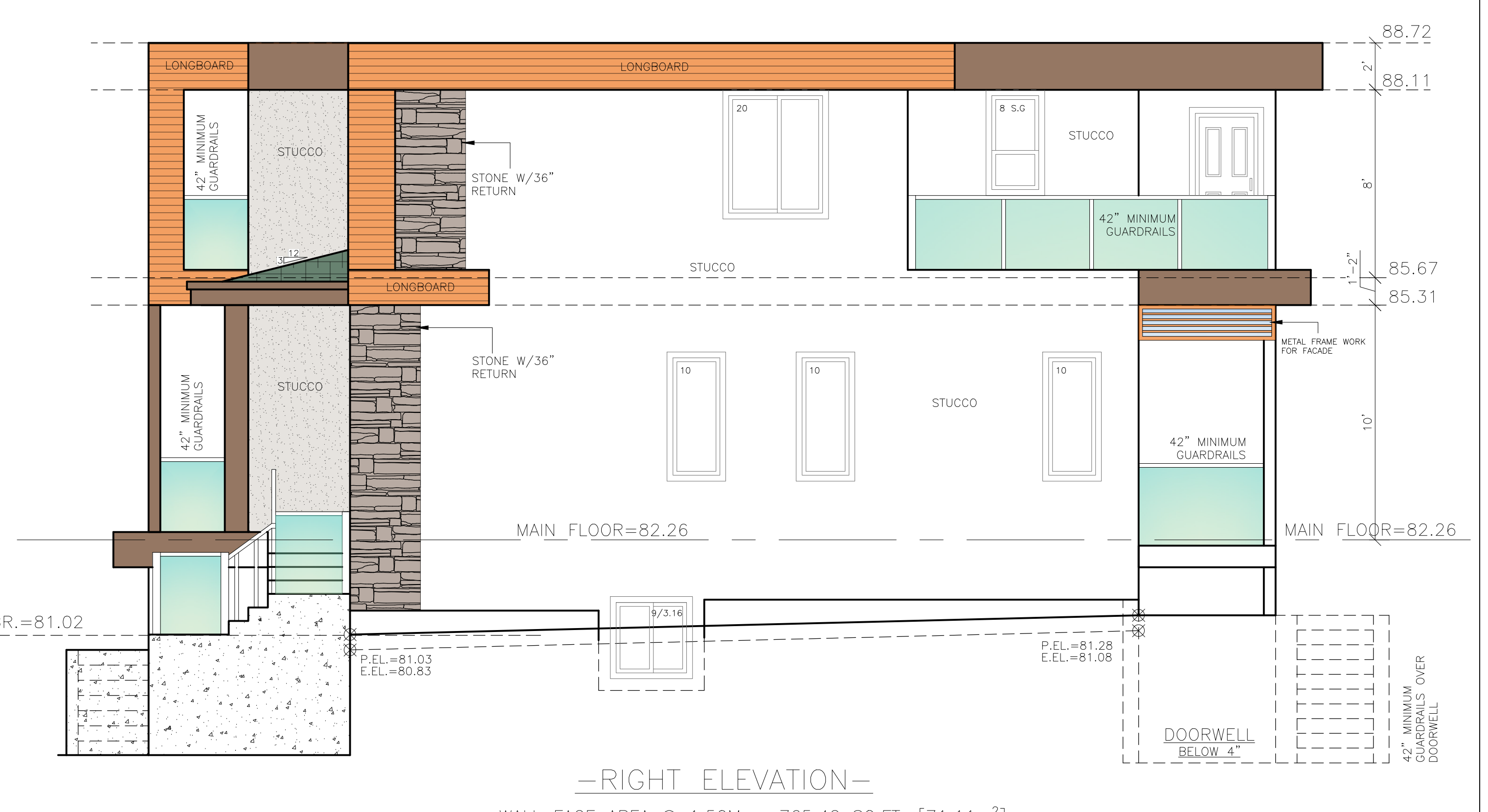
Dhillon Designs Ltd.

TITLE	DWN:	DRAWING NO.
PROPOSED RESIDENCE FOR SUKHVIR BADHESA LOT# 112, 1341 PARKER STREET WHITE ROCK, B.C.	V.P.S.	DD22-8797-P3
SCALE: 1/4" = 1'-0"	DATE: AUG-11-2022	
CHKD: P.K.	PHONE: 778-683-2344	

DHILLON DESIGNS LTD.
UNIT 215-12830-80th AVE.
SURREY, B.C. V3W 3A8
PHONE: (604) 590-2808
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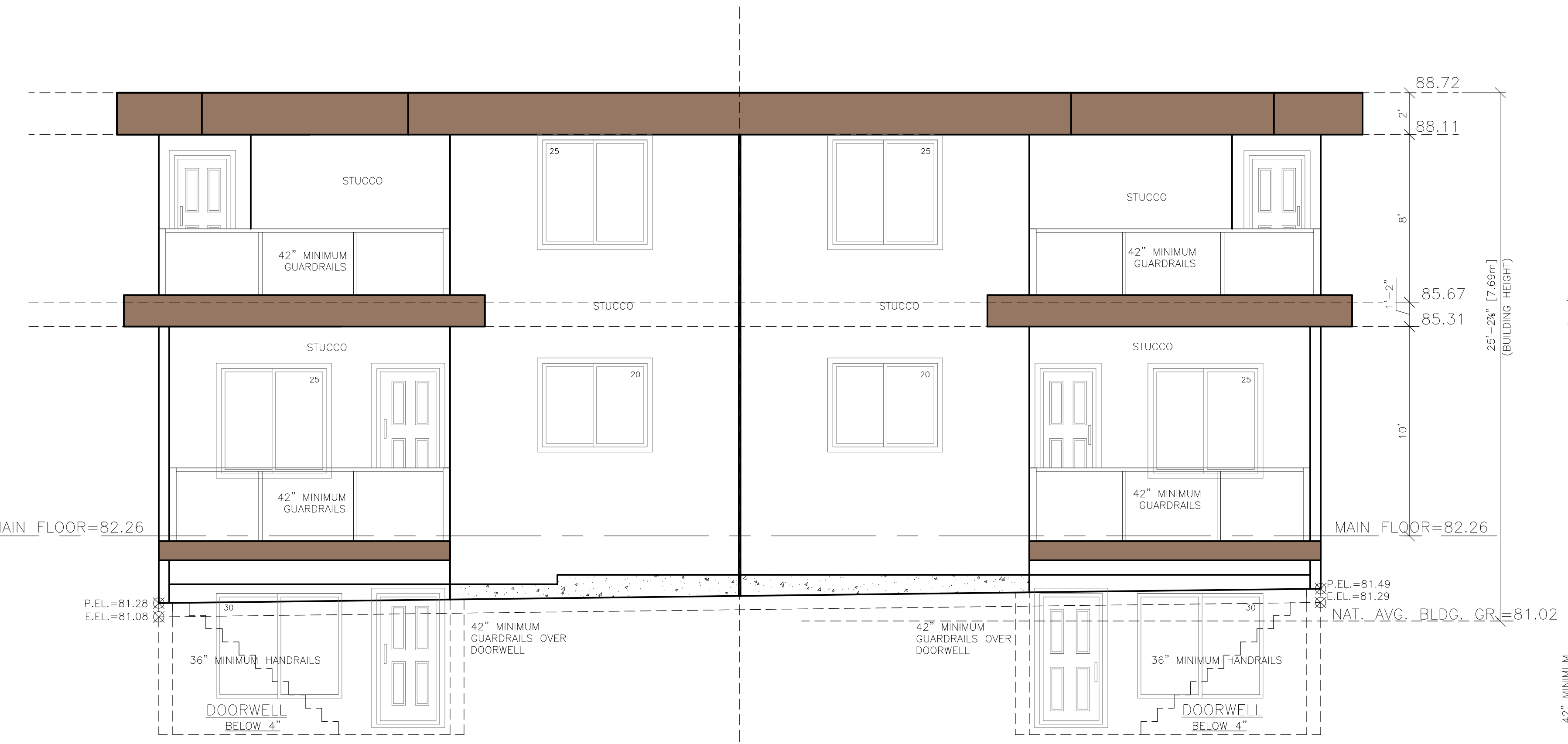


-FRONT ELEVATION-

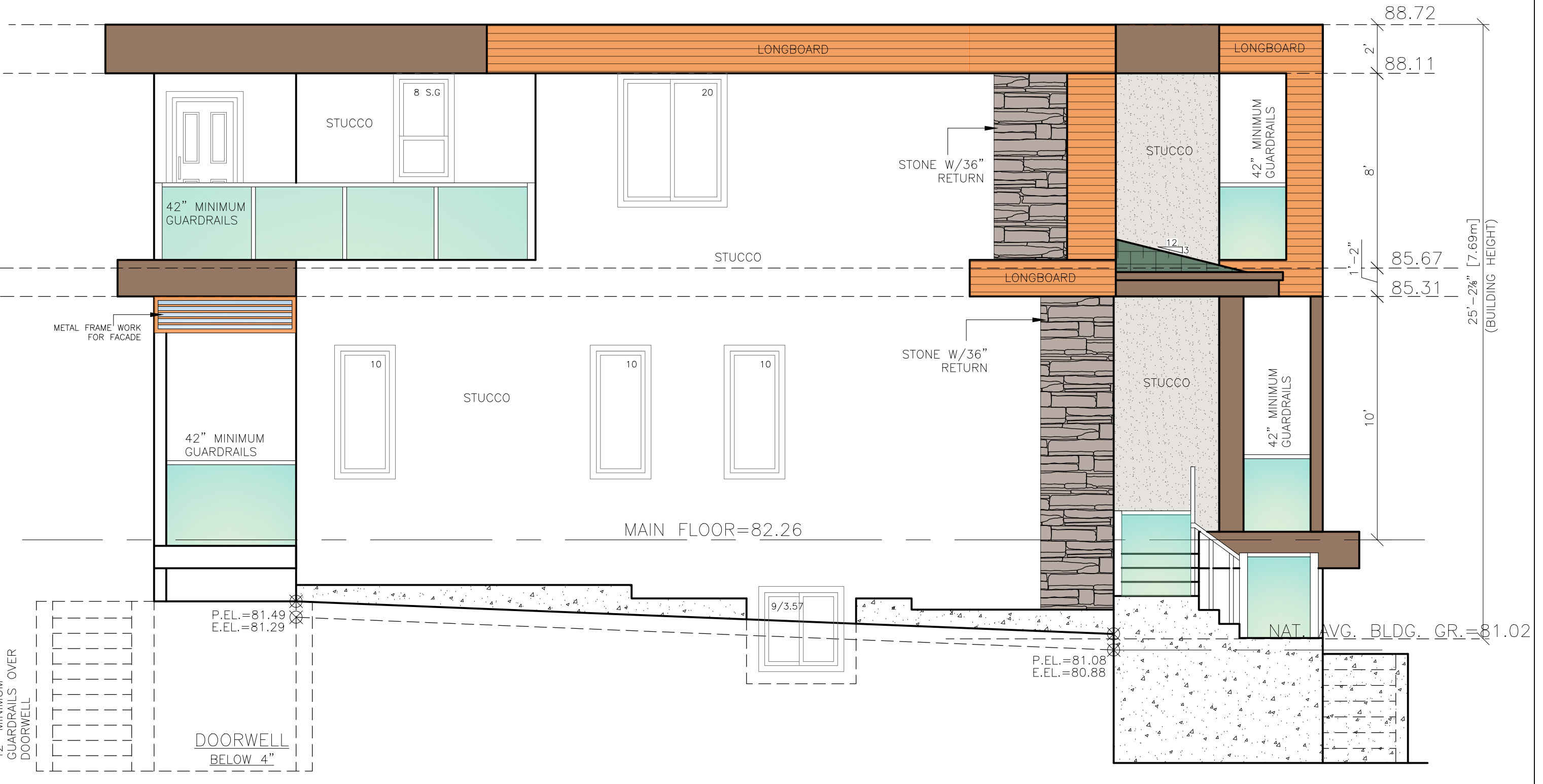


-RIGHT ELEVATION-

WALL FACE AREA @ 1.50M = 765.42 SQ.FT. [71.11m²]
 ALLOWABLE AREA @ 8.00% = 61.23 SQ.FT. [5.69m²]
 ACTUAL AREA = 61.16 SQ.FT. [5.39m²]



-REAR ELEVATION-



-LEFT ELEVATION-

WALL FACE AREA @ 1.55M = 818.28 SQ.FT. [76.02m²]
 ALLOWABLE AREA @ 8.152% = 66.71 SQ.FT. [6.20m²]
 ACTUAL AREA = 61.57 SQ.FT. [5.72m²]

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE

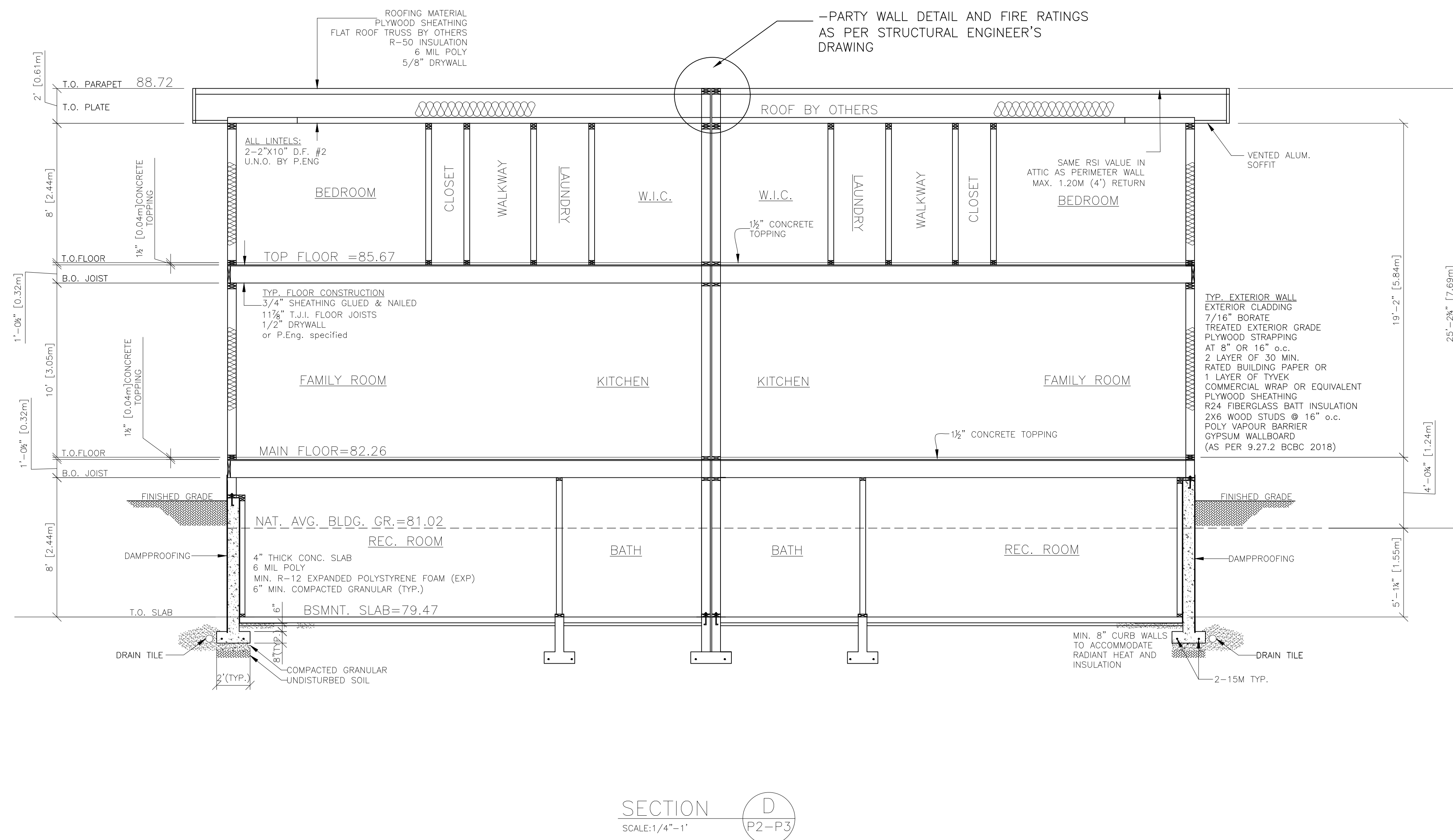


TITLE
 PROPOSED RESIDENCE FOR
 SUKHVIR BADHESA
 LOT# 112, 1341 PARKER STREET
 WHITE ROCK, B.C.

DWN: V.P.S.
SCALE: 1/4"=1'-0"
DATE: AUG-11-2022
CHKD: P.K.
PHONE: 778-683-2344

DRAWING NO.
 DD22-8797-P4

DHILLON DESIGNS LTD.
 UNIT 215-12830-80th AVE.
 SURREY, B.C. V3W 3A8
 PHONE: (604) 590-2808
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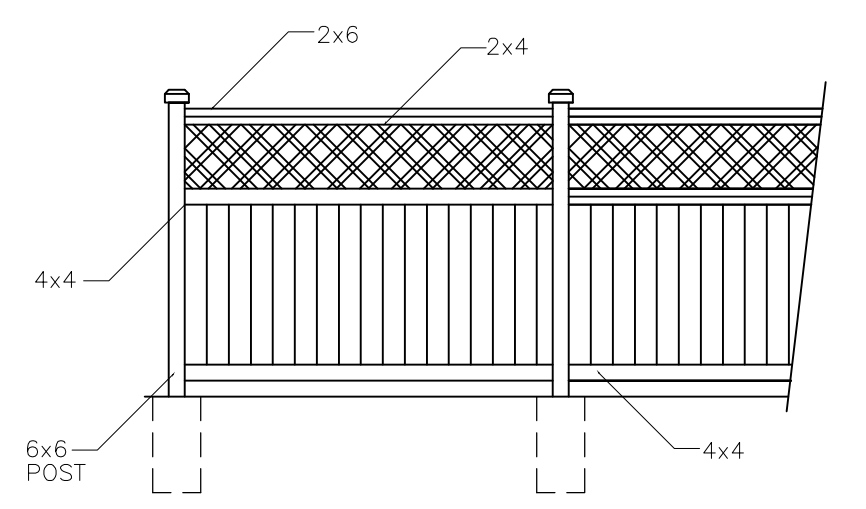
SECTION D
SCALE: 1/4" = 1'
P2-P3

NOTE:
-RADIANT HEATING
ON ALL FLOORS

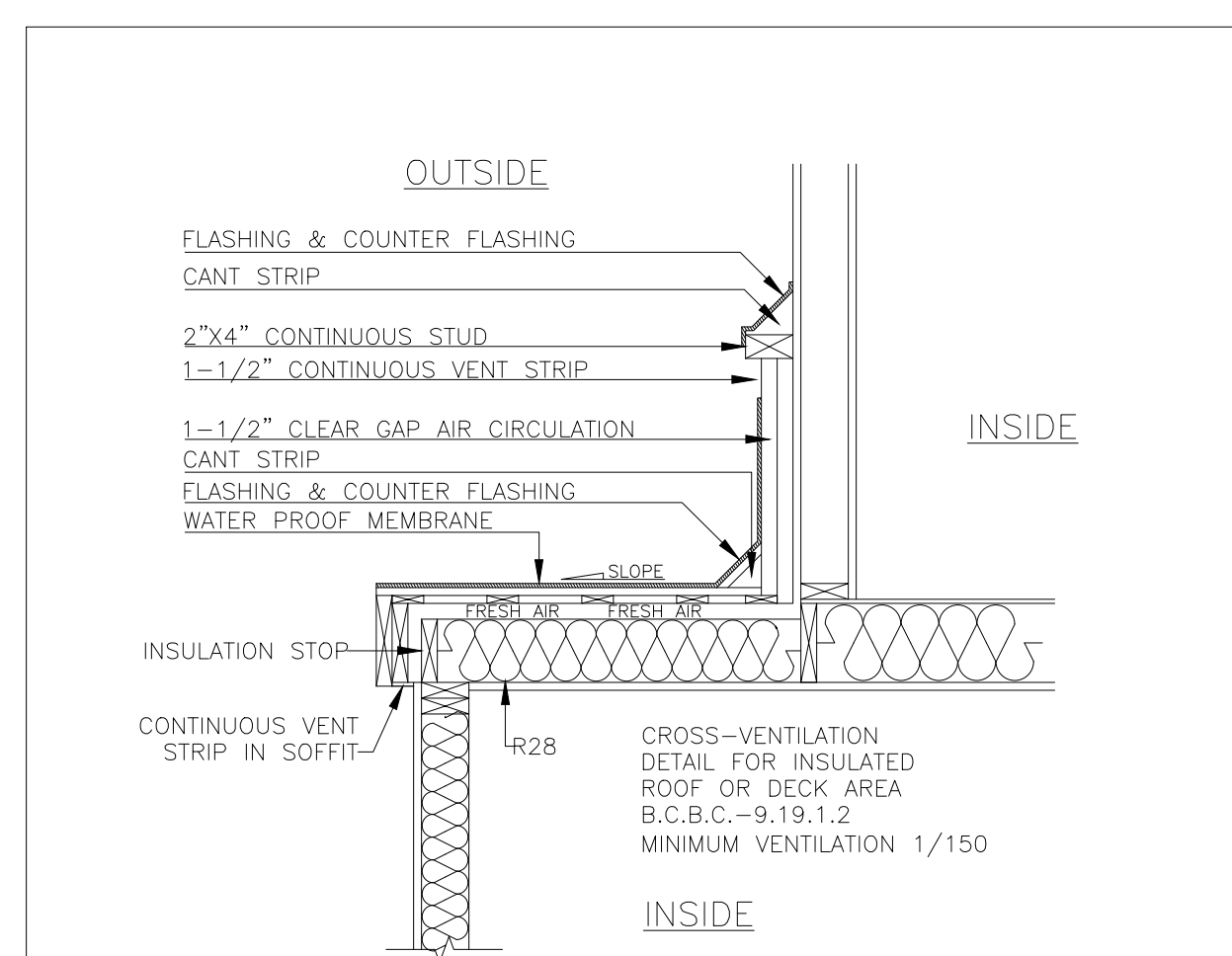
CONSIDERATION MUST BE GIVEN TO THE FOLLOWING AT THE TIME OF CONSTRUCTION:

- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS.
- DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED.
- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED.
- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE.
- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT.
- INDOOR POOLS ARE COVERED OR HAVE ON HRV/DEHUMIDIFIER.
- HVAC AND SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.10. AND 9.36.4.2.
- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS.
- SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS.

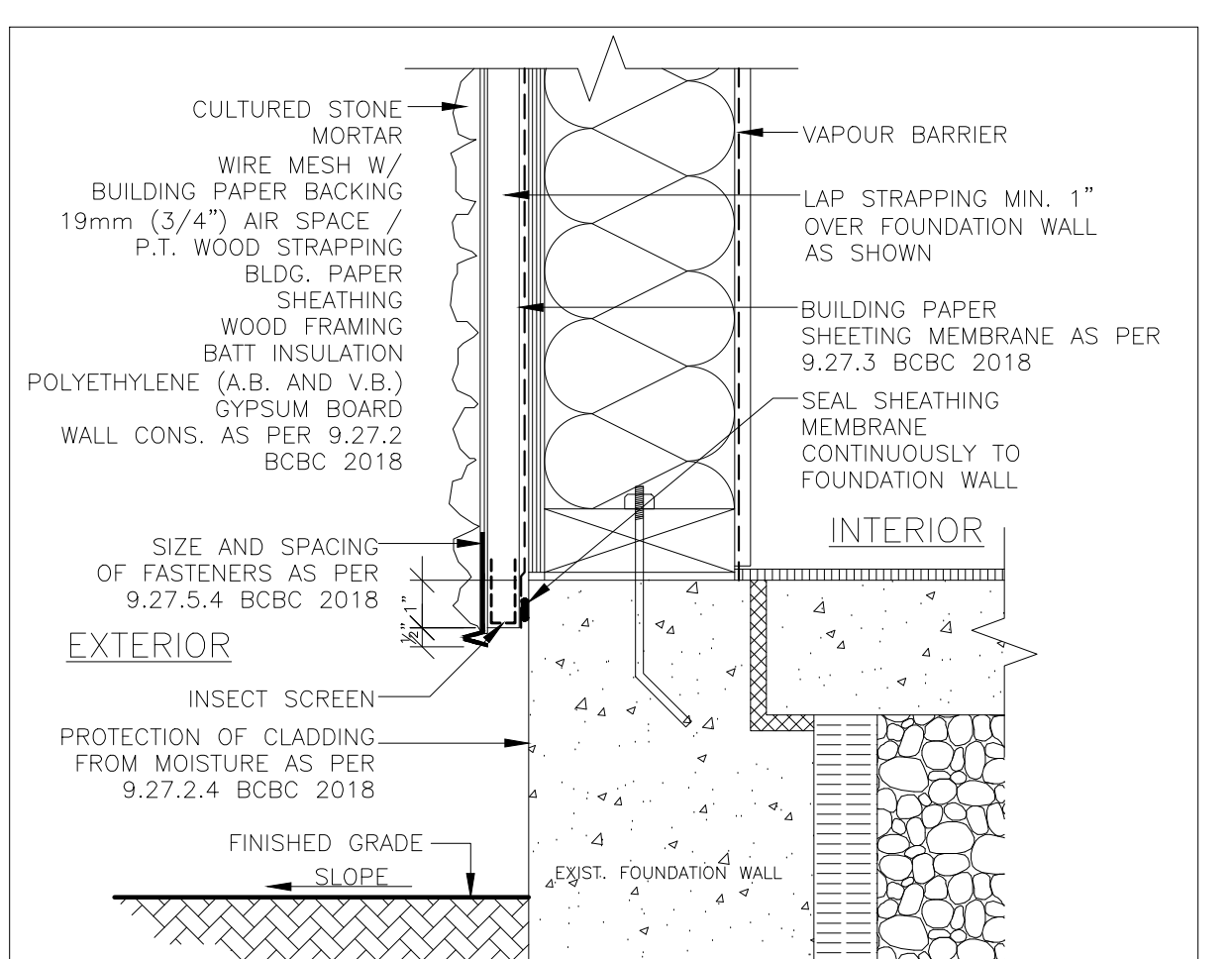
NOTES:
FENCES ARE NOT REQUIRED, BUT WHERE USED:
01. THE FENCE IS CONSTRUCTED OF TREATED MATERIAL AND SUITABLY STAINED.
02. FENCES ON THE SIDE OF THE SINGLE FAMILY DWELLING ARE LOCATED AT LEAST 1.8 METERS (6.0 FEET) BEHIND THE FRONT FACE OF THE SINGLE FAMILY DWELLING.
03. THE FENCE STRUCTURE IS SUBSTANTIALLY AS FOLLOWS.



FENCE DETAIL
SCALE: 1/4" = 1'



TYPICAL CROSS-VENTILATION DETAIL
SCALE: 1/2" = 1'



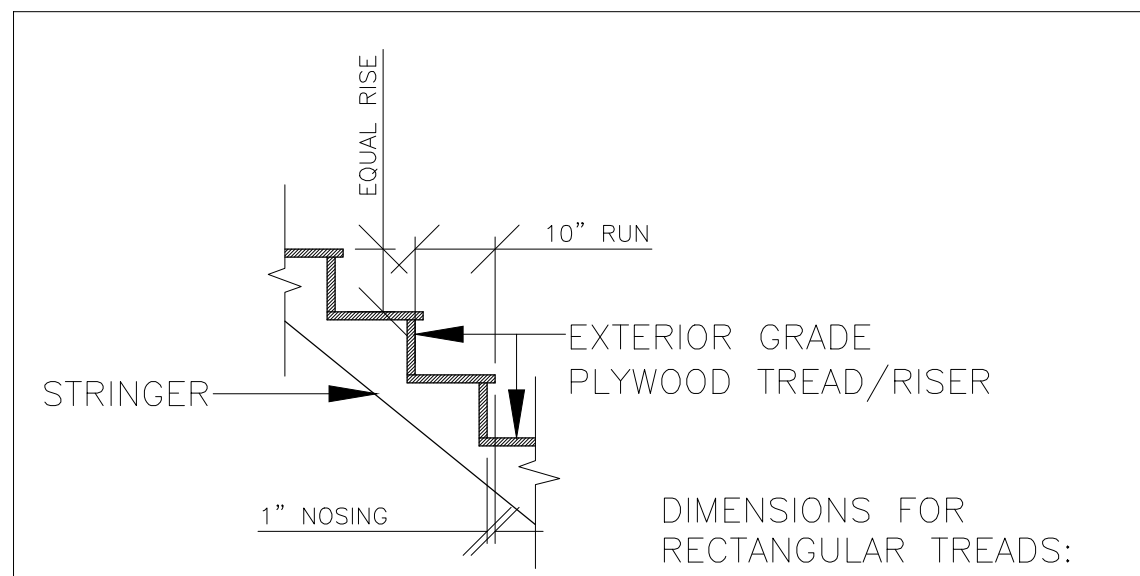
CULTURED STONE AT RAIN SCREEN WALL
NOT TO SCALE

GENERAL INFORMATION			
COMPLIANCE PATH	<input checked="" type="checkbox"/> PRESCRIPTIVE	<input type="checkbox"/> PRESCRIPTIVE WITH TRADE-OFFS	<input type="checkbox"/> PERFORMANCE
VENTILATION DESIGN (ACTIVE OR PASSIVE, AIRFLOWS, HRV, CRAWLSPACE VENTILATION SCHEME, ETC.)			
HEATING TYPE	<input type="checkbox"/> FORCED AIR	<input checked="" type="checkbox"/> HYDRONIC	<input type="checkbox"/> ELECTRIC

CONSTRUCTION AND EFFECTIVE RSI VALUE FOR ALL ENVELOPE ASSEMBLIES WITH OR WITHOUT A HEAT-RECOVERY VENTILATOR (ZONE 4<3000)		
ABOVE-GROUND OPAQUE BUILDING ASSEMBLIES	REQUIRED EFFECTIVE INSULATION RSI (R) VALUE	ACTUAL EFFECTIVE INSULATION RSI (R) VALUE
CEILING BELOW ATTICS	6.91 (39.23)	7.01 (39.23)
CATHEDRAL CEILING & FLAT ROOFS	4.67 (26.52)	4.67 (26.52)
WALLS	2.78 (15.78)	3.11 (17.0)
FOUNDATION WALLS	1.99 (11.30)	2.15 (12.2)
FLOORS OVER UNHEATED SPACES	4.67 (26.52)	4.67 (26.52)
BELOW-GRADE OR IN CONTACT WITH THE GROUND BUILDING ASSEMBLIES	RSI (R) VALUE	RSI (R) VALUE
BELOW FROST LINE	UNINSULATED	
ABOVE FROST LINE	1.96 (11.13)	1.96 (11.13)
HEATED FLOORS	2.32 (13.17)	2.32 (13.17)
SLAB-ON-GRADE WITH ON INTEGRAL FOOTING	1.96 (11.13)	1.96 (11.13)
FENESTRATION AND DOORS	U VALUE	U VALUE
FENESTRATION AND DOORS	1.80	1.80
SKYLIGHTS	2.90	N/A

NOTES:

1. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, LATEST EDITION.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. 3.A231 LATEST EDITION.
5. CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
6. ALL FRAMING AND NAILING SHALL CONFORM TO B.C. BUILDING CODE PART 9 AND DESIGN TO CSA LATEST EDITION.
7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
8. WOOD TRUSSES SHALL BE DESIGN AND SEALED BY P.ENG. REGISTERED IN B.C.
9. ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA 0121 LATEST EDITION.
10. OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
11. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.



TYP. STAIR DETAIL
SCALE: 1/2" = 1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



TITLE
PROPOSED RESIDENCE FOR
SUKHVIR BADHESA
LOT# 112, 1341 PARKER STREET
WHITE ROCK, B.C.

DWN: V.P.S.
SCALE: 1/4" = 1'-0"
DATE: AUG-11-2022
CHKD: P.K.
PHONE: 778-683-2344

DRAWING NO.
DD22-8797-P5

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CLIMATE ZONE 4

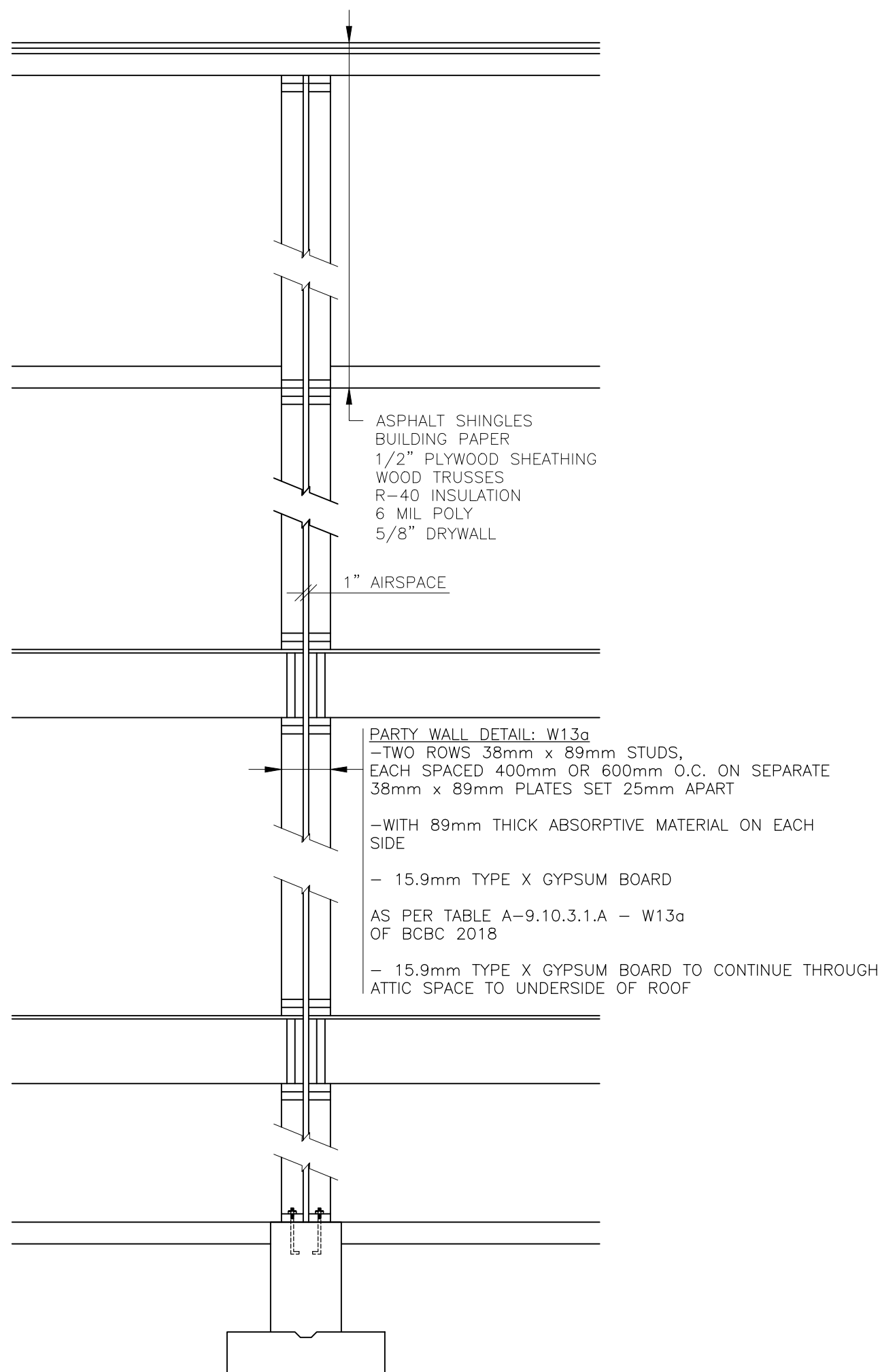
WALLS BETWEEN UNHEATED SPACE AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 2.86 (R-20)	RSI 2.86 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
3. 1/2" GYPSUM WALL BOARD	0.08	
4. 1/2" PLYWOOD SHEATHING	0.11	
5. POLYETHYLENE	-	
6. 1/2" GYPSUM WALL BOARD	0.08	
7. INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.28 (R-22.38)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR WALLS BETWEEN UNHEATED SPACE		RSI 2.62 (R-14.88)

RIM JOIST SPACE (STONE)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C.		RSI 3.75 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 1.5" LUMBER RIM BOARD	0.325	
2. 1/2" PLYWOOD SHEATHING	0.11	
3. SHEATHING MEMBRANE	0.003	
4. STONE	0.03	
5. EXTERIOR AIR FILM	0.03	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.218 (R-22.66)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 2.78 (R-15.8)



PARTY WALL DETAIL

SCALE: 1/2"=1'-0"

ABOVE GRADE WALL ASSEMBLY (STUCCO SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 2.86 (R-20)	RSI 2.86 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. STUCCO	0.16	
3. 1/2" AIR SPACE FOR RAIN SCREEN	-	
4. SHEATHING MEMBRANE	0.11	
5. 1/2" PLYWOOD SHEATHING	-	
6. POLYETHYLENE	0.08	
7. 1/2" GYPSUM WALL BOARD	0.12	
8. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.36 (R-22.84)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)

BELOW GRADE HEATED FLOOR

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
3.5" POURED IN-PLACE CONCRETE SLAB	RSI 2.66 (R-15.1)	RSI 2.42 (R-13.74)
2.5" EXTRUDED POLYSTYRENE INSULATION		
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.16	
2. 3.5" CONCRETE SLAB	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.58 (R-14.64)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE HEATED FLOORS		RSI 2.32 (R-13.2)

RIM JOIST SPACE (STUCCO SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C.		RSI 3.75 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 1.5" LUMBER RIM BOARD	0.325	
2. POLYETHYLENE	0.11	
3. 1/2" PLYWOOD SHEATHING	-	
4. SHEATHING MEMBRANE	-	
5. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
6. STUCCO	0.03	
7. EXTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.375 (R-23.55)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 2.78 (R-15.8)

ABOVE GRADE WALL ASSEMBLY (STONE SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 2.86 (R-20)	RSI 2.86 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. CULTURED STONE	0.008	
3. MORTAR	0.004	
4. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
5. SHEATHING MEMBRANE	-	
6. 1/2" PLYWOOD SHEATHING	0.11	
7. POLYETHYLENE	-	
8. 1/2" GYPSUM WALL BOARD	0.08	
9. INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.372 (R-22.91)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)

CEILING BELOW ATTICS

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
279mm GLASS FIBRE LOOSE FILL INSULATION FOR ATTICS 2x4 BOTTOM CHORD @ 24" O.C.	RSI 7.04 (R-40)	RSI 7.04 (R-40)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. POLYETHYLENE	0.10	
3. 5/8" GYPSUM CEILING BOARD	0.11	
4. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 7.28 (R-41.36)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR CEILING BELOW ATTICS		RSI 6.91 (R-39.2)

ABOVE GRADE WALL ASSEMBLY (6.35mm FIBRE-CEMENT BOARD SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 2.86 (R-20)	RSI 2.86 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. 6.35mm FIBRE-CEMENT BOARD SIDING	0.023	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	0.11	
5. 1/2" PLYWOOD SHEATHING	-	
6. POLYETHYLENE	0.08	
7. 1/2" GYPSUM WALL BOARD	0.12	
8. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.383 (R-22.97)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)

BELOW GRADE WALL ASSEMBLY

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
8" POURED IN-PLACE CONCRETE WALL	RSI 1.99 (R-14)	RSI 1.99 (R-14)
R-14 BATT INSULATION IN 2x4 WOOD FRAMING @ 24" O.C.		
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. DAMPPROOFING	0.21	
2. 1" AIR SPACE	0.16	
3. POLYETHYLENE	-	
4. 1/2" GYPSUM WALL BOARD	0.08	
5. INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.56 (R-17.23)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 1.99 (R-11.3)

RIM JOIST SPACE (6.35MM FIBRE-CEMENT BOARD SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

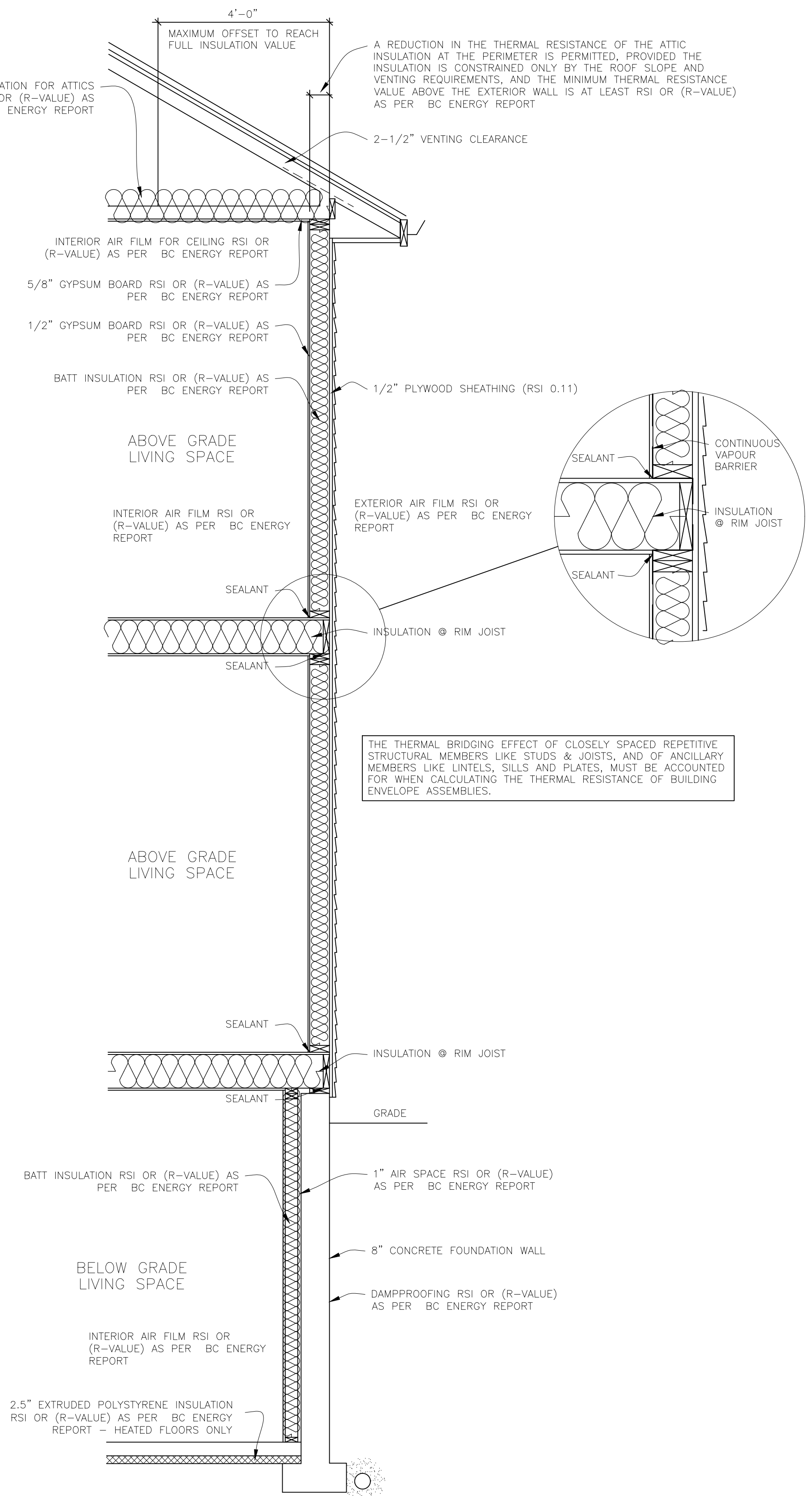
DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C.		RSI 3.75 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 1.5" LUMBER RIM BOARD	0.325	
2. 1/2" PLYWOOD SHEATHING	0.11	
3. AIR BARRIER/SHEATHING MEMBRANE	-	
4. 3/8" CAPILLARY BREAK SPACE	0.15	
5. 6.35MM FIBRE-CEMENT CLADDING	0.023	
6. EXTERIOR AIR FILM	0.03	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.388 (R-23.62)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 2.78 (R-15.8)

RIM JOIST SPACE W/2 BEARING BLOCKS (6.35MM FIBRE-CEMENT BOARD SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C. IN CAVITY		RSI 3.75 (R-20)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 2-1/2" BEARING BLOCKS(3")	0.65	
2. 1.5" LUMBER RIM BOARD	0.325	
3. 1/2" PLYWOOD SHEATHING	0.11	
4. AIR BARRIER/SHEATHING MEMBRANE	0.15	
5. 3/8" CAPILLARY BREAK SPACE	0.023	
6. 6.35MM (1/4") FIBRE-CEMENT CLADDING	0.03	
7. EXTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 5.038 (R-27.31)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 2.78 (R-15.8)

GLASS FIBRE LOOSE FILL INSULATION FOR ATTICS 279mm @ -0.01875/mm = RSI OR (R-VALUE) AS PER BC ENERGY REPORT



CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE WALL ASSEMBLY DETAIL
SCALE 1/2":1'-0" AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

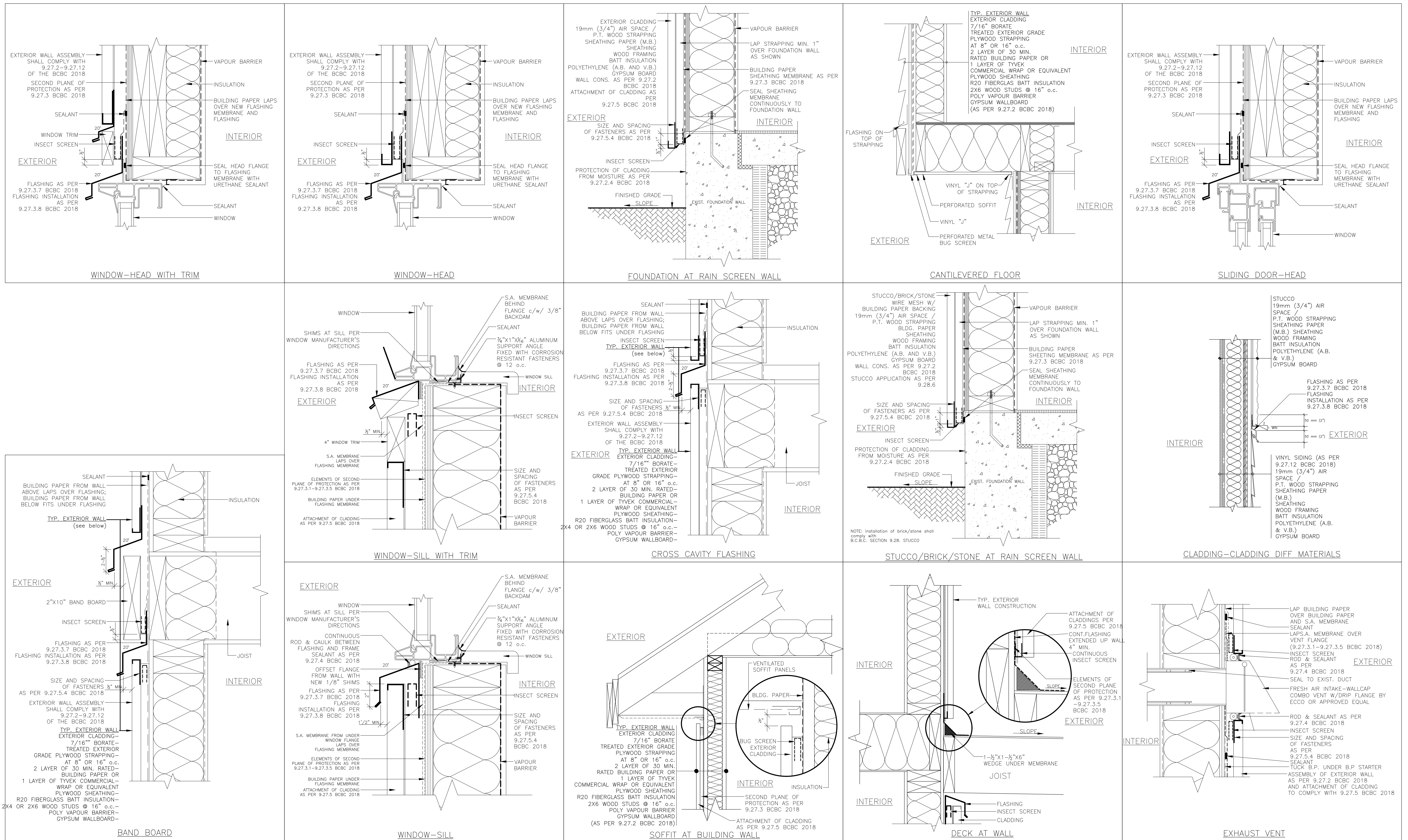
THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE
		1.	ENERGY DETAILS UPDATED		



TITLE	DWN.	DRAWING NO.
PROPOSED RESIDENCE FOR SUKHVIR BADHESA LOT# 112, 1341 PARKER STREET WHITE ROCK, B.C.	V.P.S.	DD22-8797-P6
SCALE: 1/4"=1'-0"	DATE: AUG-11-2022	
CHKD: P.K.	PHONE: 778-683-2344	

DHILLON DESIGNS LTD.
UNIT 215-12830-80th AVE.
SURREY, B.C. V3W 3A8
PHONE: (604) 590-2808
FAX: (604) 590-2878
EMAIL: info@dhillondesigns.ca



THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



TITLE
 PROPOSED RESIDENCE FOR SUKHVIR BADHESA
 LOT# 112, 1341 PARKER STREET
 WHITE ROCK, B.C.

DWN:	V.P.S.
SCALE:	1/4" = 1'-0"
DATE:	AUG-11-2022
CHKD:	P.K.
PHONE:	778-683-2344

DRAWING NO.	DD22-8797-P7
DHILLON DESIGNS LTD. UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca	

Outlook Arborist Services, John Monk 1341 Parker Street, 778-683-2344

Arborist Report prepared for;
Mr. Sukhvir Badhesa
1341 Parkr Street,
White Rock V4B 4S4
778-683-2344
sbadhesa@yahoo.ca



Prepared by: Outlook Arborist Services WR BL #00067438

John Monk

ISA Arborist PN0401

Qualified Tree Risk Assessor

ITA Practical Horticulturalist

ITA Utility Arborist

jmonktrees@gmail.com

604-816-2592

July 14th, 2022

Introduction:

Mr. Badhesa has contacted me after getting a notice of tree cutting without a permit in White Rock.

They have recently purchased this home and he was unaware of tree bylaws and restrictions on what was acceptable to cut or remove.

A mature Japanese purple Maple, *Acer palmatum purpurea* was drastically reduced to the point of little chance of recovering. Trunks will decay even if new shoots develop and eventually cause trunk decline and failures.

This tree was cut to remove from the service wires entering the house and more light to the front window and view south east.

Notified by White Rock to provide new trees to replace this damaged Maple, two replacements are required.

My involvement at this time is to provide new tree planting recommendations for two replacement trees in a suitable location on this property.

Within the rear yard in the north-west area is a section where two new trees will fit quite easily.

As per bylaw section 8, trees must be planted further than 1 meter from the property line. Based on the selected trees and no survey, these need to be planted 1.2 meters or four feet from the north fence to assure they away from the neighbors property.

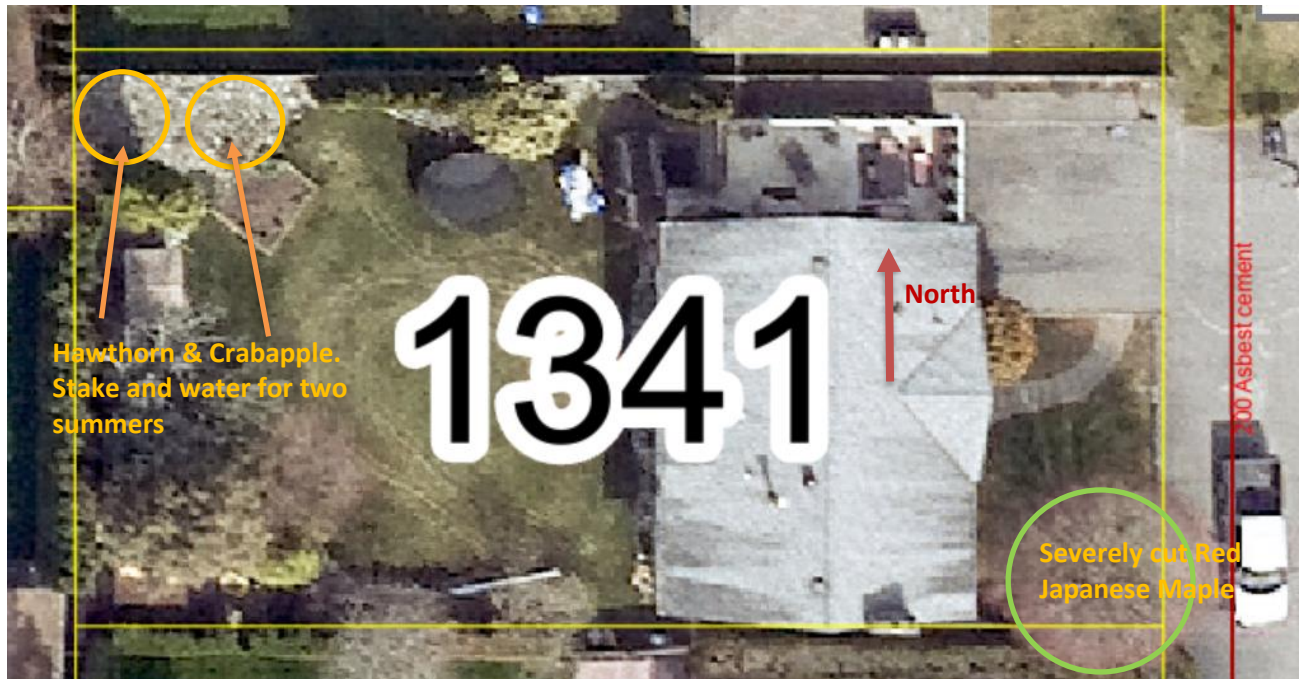
Tree Replacement Plan;

Two trees recommended to re-plant. Deciduous trees are required to be 6 cm trunk calipers (diameter) measured 15 cm above the soil on the trunk.

- Crabapple, "Royalty", *Malus royalty*. Stays under 15 feet and has crimson blossoms. Produces small edible apples and attracts birds. Needs very little care and only minor thinning pruning.
- Lavell Hawthorn, *Craetageous lavalli*. Another good small tree that will produce blossoms and has good dark green leaves. Requires no pruning, easy to grow. Taller than the Crabapple so should be west of the Crabapple 2 meters from the corner.

Both of these tree varieties and species grow to maturity at under 22 feet and approximately 15 feet wide in over 15 years.

The botanical name is italicized to provide to a supplier to obtain correct trees and cultivars.



1341 Parker Street Replacement tree plan.

Plant 1.2 meters (4 feet) from north fence. These trees are readily available and substitutions are not acceptable unless trees are of the same sizes at maturity.

Trees availability during the summer and transplant survival are very poor.

Unless trees of the 6 cm trunk caliper can be obtained in containers, ball and burlap, B&B trees will not be available until the fall.

Purchase and plant in the fall only if this ground is not too wet during the winter.

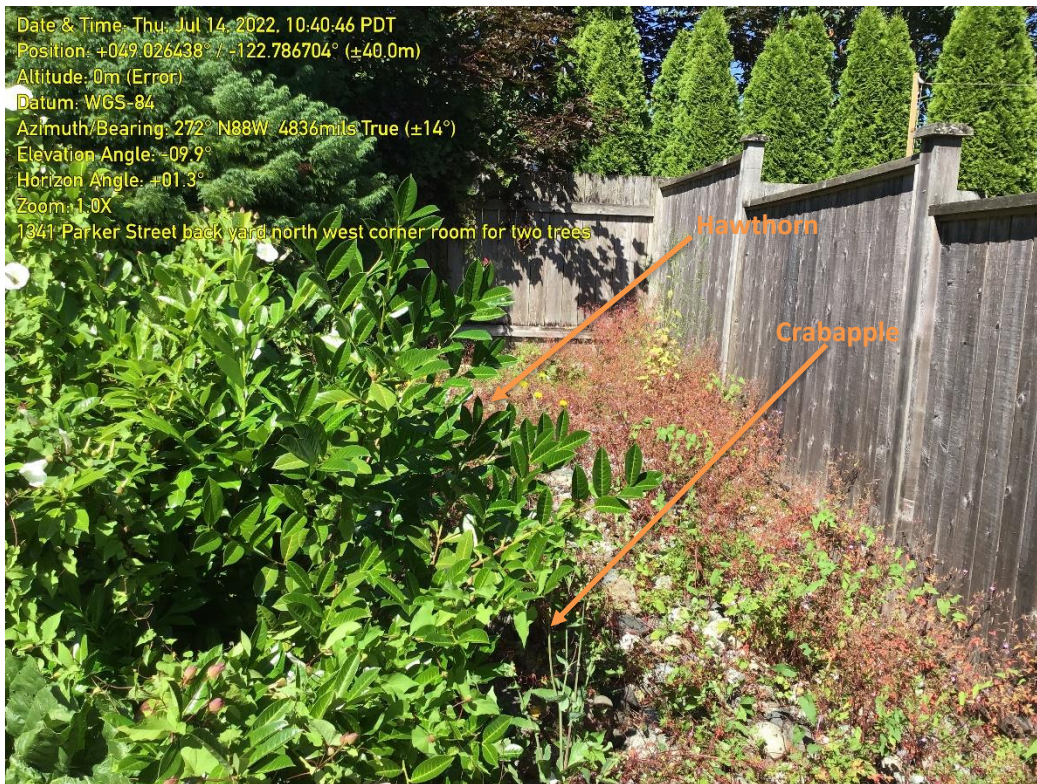
This location appears good, move decorative rocks back in a 1.5 meter area to prepare a planting hole the same depth as the tree at ground level. (Arborist supervision may be required). Stake and water as per BC Landscape Association standards or ISA best practices for tree planting.

Both trees will establish well and take up to the third year to begin to grow very well. Blossoms will be enjoyed by residents here and the neighbors.

Birds will eat the fruit and utilize the trees for habitat.



Rear yard viewed west into the north-west corner. The area here has gone to weeds but was covered in small river rock.



Plant the Hawthorn and Crabapple each 1.2 meters (four feet) from the fence and 3 meters apart. There is room here for both trees.

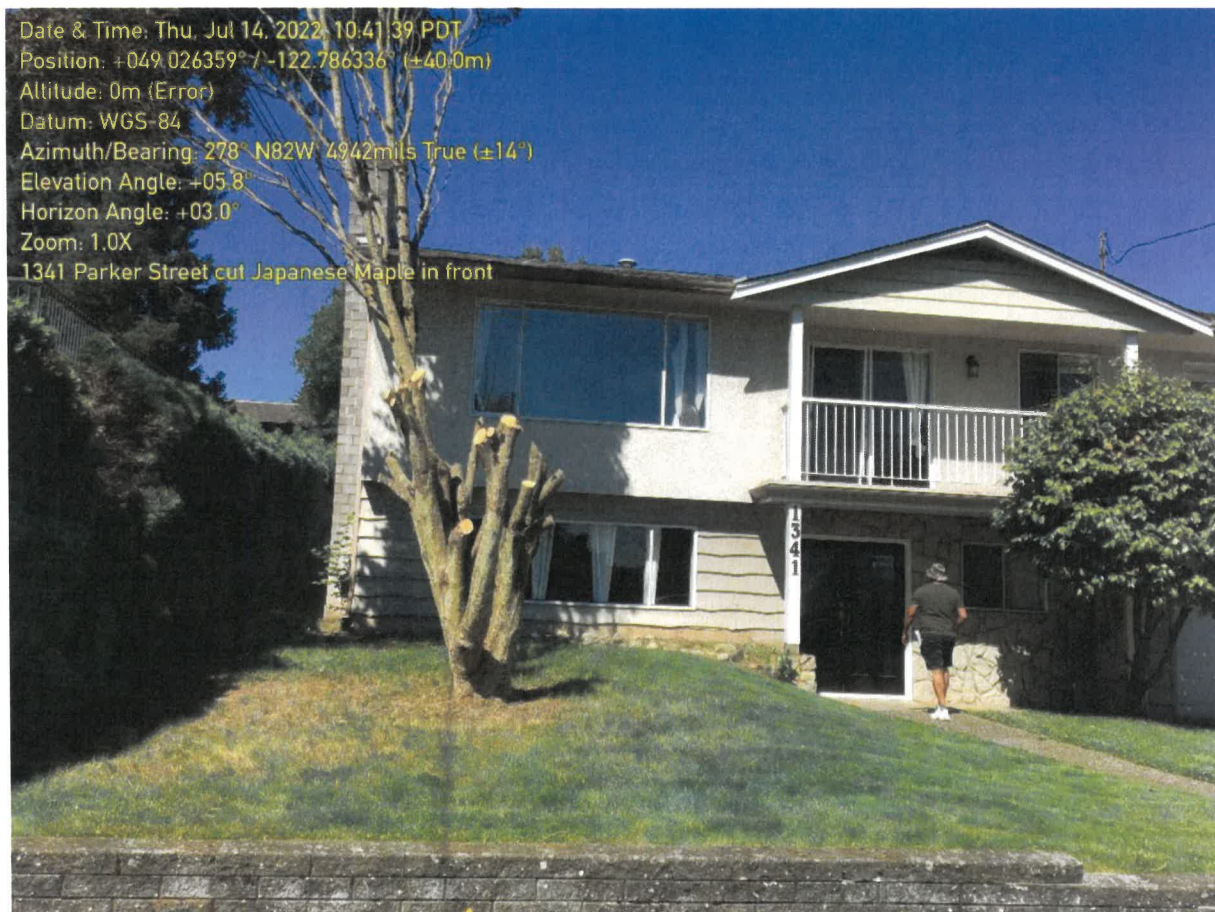
Sincerely,

A handwritten signature in black ink, appearing to read 'John Monk', with a stylized flourish at the end.

John Monk
ISA Arborist PN0401
Tree Risk Assessor # 10685
ITA Utility Arborist
ITA Practical Horticulturalist

Outlook Arborist Services, John Monk 1341 Parker Street, 778-683-2344

Arborist Report for Rezoning application;
C/O Mr. Sukhvir Badhesa
1341 Parker Street,
White Rock V4B 4S4
778-683-2344
sbadhesa@yahoo.ca



Prepared by: Outlook Arborist Services WR BL #00067438

John Monk

ISA Arborist PN0401

Qualified Tree Risk Assessor

ITA Practical Horticulturalist

ITA Utility Arborist

jmonktrees@gmail.com

604-816-2592

July 25th, 2022

Introduction:

Mr. Badhesa has contacted me John Monk to assist with a request by White Rock to produce a Coordinated Site Development Plan (CSDP) for rezoning this property.

Rezoning is from single residence to duplex designation.

For that application, I have filled in the CSDP with as much information as possible I can supply at this time.

This report includes a tree inventory for sizes, condition, placement and retention.

Outlook Arborist Services, Tree Summary								
Location; 1341 Parker Street, White Rock								
st John Monk								
Tree or Tag #	Location on property	Species, common and botanical	DBH (cm)	Height	Condition	Live Crown Ratio	Health & Structure	Tree Protection Barrier
Tag #380	Rear yard, south edge	Mountain Ash, <i>Sorbus aucuparia</i>	35 cmd	6 meters	Fair	70%	Fair, multiple trunks	2.1 meters
Tag #381	Rear yard, south	Japanese Cedar, <i>Cryptomeria japonica</i>	21 cmd	6 meters	Fair, single trunk, foliage is an aurea variety	95%	Fair, excurrent trunk	1.3 meters
Tag #382	Rear yard, north side of tag #381	Japanese Maple, <i>Acer japonica</i>	12cm, 16cm, 10 cm	4 meters	Fair, three main trunks	60%	Fair, some old pruning wounds	2.3 meters
Tag #383	Rear yard, behind Japanese Maple	Eastern Cedar, <i>Juniperus virginiana</i>	32 cm and 23 cmd	7 meters	Fair, two trunks	60%	Fair	3.3 meters
Tag #384	.5 meters from back fence, centered in yard	Mountain Ash, <i>Sorbus aucuparia</i>	multi-stems under 12 cm	4 meters	Dead, covered in Boston Ivy	0%	Dead	N/A
Tag #385	Rear yard, north side	Japanese Cedar, <i>Cryptomeria japonica</i>	26 cmd	5 meters	Fair	90%	Fair	1.6 meters

Trees have been measured and two were missed on the drawing by the surveyor. I have added these trees, tag numbers, checked their conditions and provided fence barrier protection guidelines for eventual old house demolition pending duplex zoning approval.

At this time, no trees need to be disturbed.

I hope this satisfied the request for a tree inventory and their condition and location on this property.

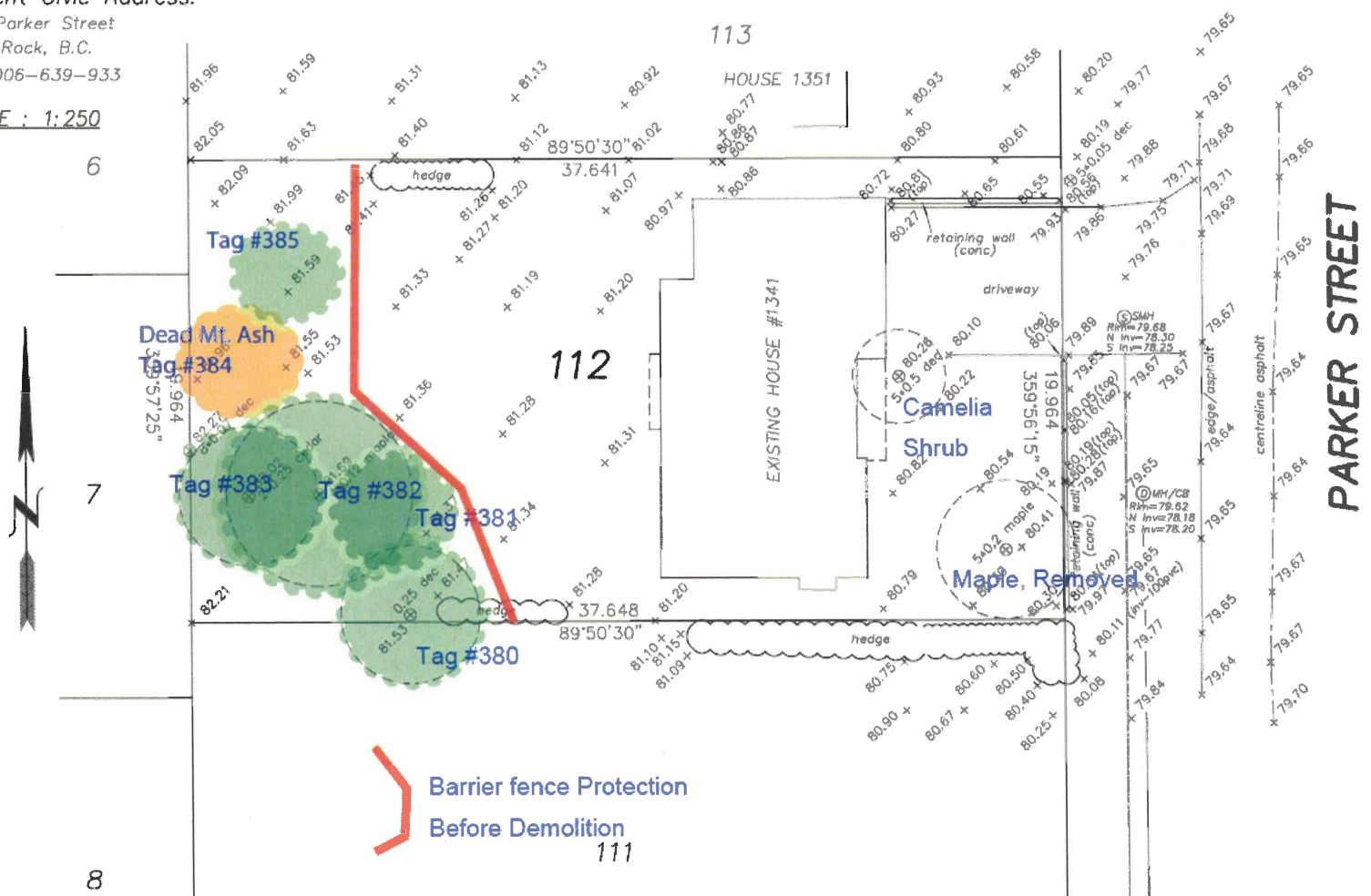
Current Civic Address:

1341 Parker Street

White Rock, B.C.

PID: 006-639-933

SCALE : 1:250



Sincerely,

John Monk
 ISA Arborist PN0401
 Tree Risk Assessor # 10685
 ITA Utility Arborist
 ITA Practical Horticulturalist

Outlook Arborist Services, John Monk 1341 Parker Street, 778-683-2344