



THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL. AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012

dg13enterprises@gmail.com

15495 Oxenham Ave
White Rock, B.C.

FRONT ELEVATION

Project number PVDL-18-1142

Date 18 JAN 2019

Drawn by HB

Checked by GS

A0

Scale 1/2" = 1'-0"

11/23/2022 1:23:24 PM

ZONING CALCULATIONS:
15495 OXENHAM AVE, WHITE ROCK - RS1 Zone

Lot Area = 8215 SQFT

Allowed Lot Coverage = 3696.75 SQFT

Allowed FAR = 4107 SQFT

Proposed Lot Coverage = 3253.40 SQFT

Proposed FAR = 4105.39 SQFT

MAIN FLOOR AREA: 2543.56 SQFT

UPPER FLOOR AREA: 2096.83 SQFT

OPEN TO BELOW + STAIRS: 535 SQFT

NET UPPER FLOOR: 1561.83 SQFT

PORCH-1 : 55.55 SQFT

PORCH-2: 60.65 SQFT

COVERED DECK-1 @ MAIN FLOOR: 221.47 SQFT

COVERED DECK-2 @ MAIN FLOOR: 210.83 SQFT

COVERED DECK-3 @ MAIN FLOOR: 76.92 SQFT

COVERED DECK-4 @ MAIN FLOOR: 74.00 SQFT

COVERED DECK @ UPPER FLOOR: 219.50 SQFT

MAIN FLOOR: 2543.56 SQFT

UPPER FLOOR: 1561.83 SQFT

TOTAL: 4105.39 SQFT

BASEMENT AREA: 2183.28 SQFT

GARAGE-1 : 397.67 SQFT

GARAGE-2: 394.92 SQFT

SUNKEN WELL-1 : 129.00 SQFT

SUNKEN WELL-2: 186.67 SQFT

ENERGY EFFICIENCY REQUIREMENTS (PART 9 BLDG):

- PRESCRIPTIVE METHOD USED

- WITH HRV

- VENTILATION METHOD: 9.32.3.4.(4) – Independently distributed HRV system

AIR BARRIER SYSTEM:


Will consist of flexible sheet materials

Shall have all joints lap not less than 50mm

sealed with a non-hardening type sealant and

be structurally supported

As per 9.36.2.10(5)†(6) of BCBC2018

MATERIAL LIST			
MATERIAL	COLOR	SUPPLIER	SAMPLE
HARDIE BOARD	NAVAJO BEIGE	JAMES HARDIE	
STONE	CALMA	veneerstone	
LONGBOARD	SADDLE	KLASSEN BLDG.	

② Driveway Cross Section
1/4" = 1'-0"

NOTE:
CHECK ALIGNMENT OF DRIVEWAY
LET-DOWN PRIOR TO CONSTRUCTION

NOTE:
OWNER/BUILDER CHECK & VERIFY
WITH SURVEYOR TO LAY HOUSE ON
LOT BEFORE CONSTRUCTION. IF ANY
ADJUSTMENT HAS TO BE DONE, IT
SHOULD BE NOTIFIED TO AND
APPROVED BY DESIGNER.

MUST MAINTAIN
EXISTING GRADES
@ PROP. LINES

① Site Plan
1/8" = 1'-0"

THESE PLANS CONFORM TO BCBC 2018


CONSTRUCTION SHALL FOLLOW LOCAL
BUILDING BY-LAWS ALONG WITH THESE
PLANS.

CONTRACTOR MUST CONFIRM ALL
DIMENSIONS PRIOR TO START OF
CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR
ANY ERRORS AND OMISSIONS IN THESE
PLANS. IT IS THE BUILDER/OWNER'S
RESPONSIBILITY TO REVIEW AND VERIFY
THE WHOLE PLAN (i.e. ALL LEVELS,
DIMENSIONS, STRUCTURAL ADEQUACIES)
PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS
AND
MODIFICATIONS TO THESE DRAWINGS
SHALL NOT BE CARRIED OUT WITHOUT
WRITTEN PERMISSION FROM PRO VILLA
DESIGNS LTD. THIS DRAWING IS THE
EXCLUSIVE PROPERTY OF PVDL AND CAN
ONLY BE REPRODUCED WITH PVDL'S
WRITTEN PERMISSION.
PLEASE NOTE THAT THIS DRAWING IS FOR
PERMIT APPLICATION PURPOSES AND NOT
INTENDED TO BE ISSUED FOR
CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs

#108- 8299 129 Street

Surrey, B.C. V3W 0A6

Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES

PH.- 778-237-0012

dg13enterprises@gmail.com

No.	Description	Date

15495 Oxenham Ave

White Rock, B.C.

SITE PLAN, NOTES & CALCULATIONS

Project number	PVDL-18-1142
Date	18 JAN 2019
Drawn by	HB
Checked by	GS

A1

ScaleAs indicated

11/23/2022 1:23:25 PM



THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012

dg13enterprises@gmail.com

15495 Oxenham Ave
White Rock, B.C.

FRONT & RIGHT
ELEVATIONS

Project number PVDL-18-1142

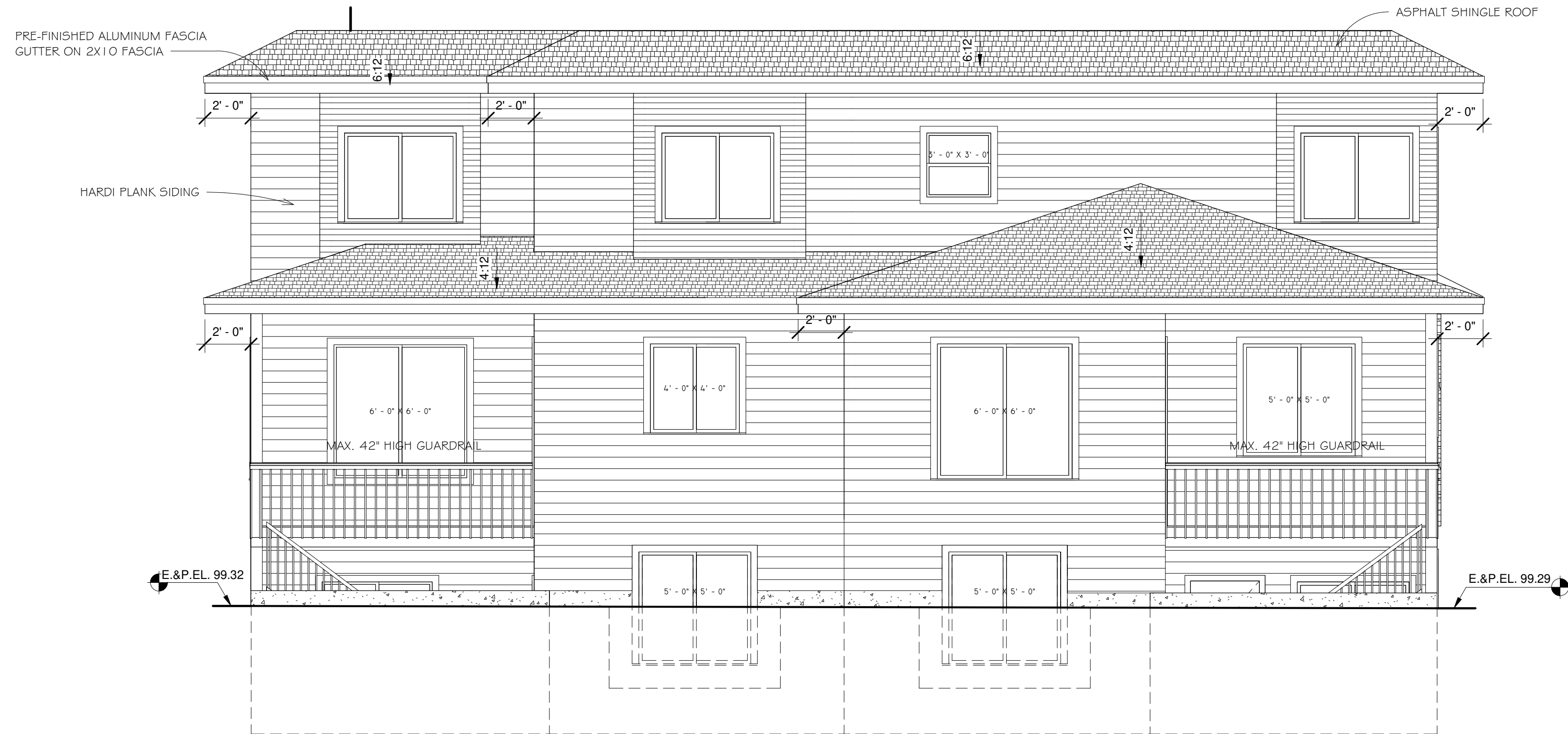
Date 18 JAN 2019

Drawn by HB

Checked by GS

A2

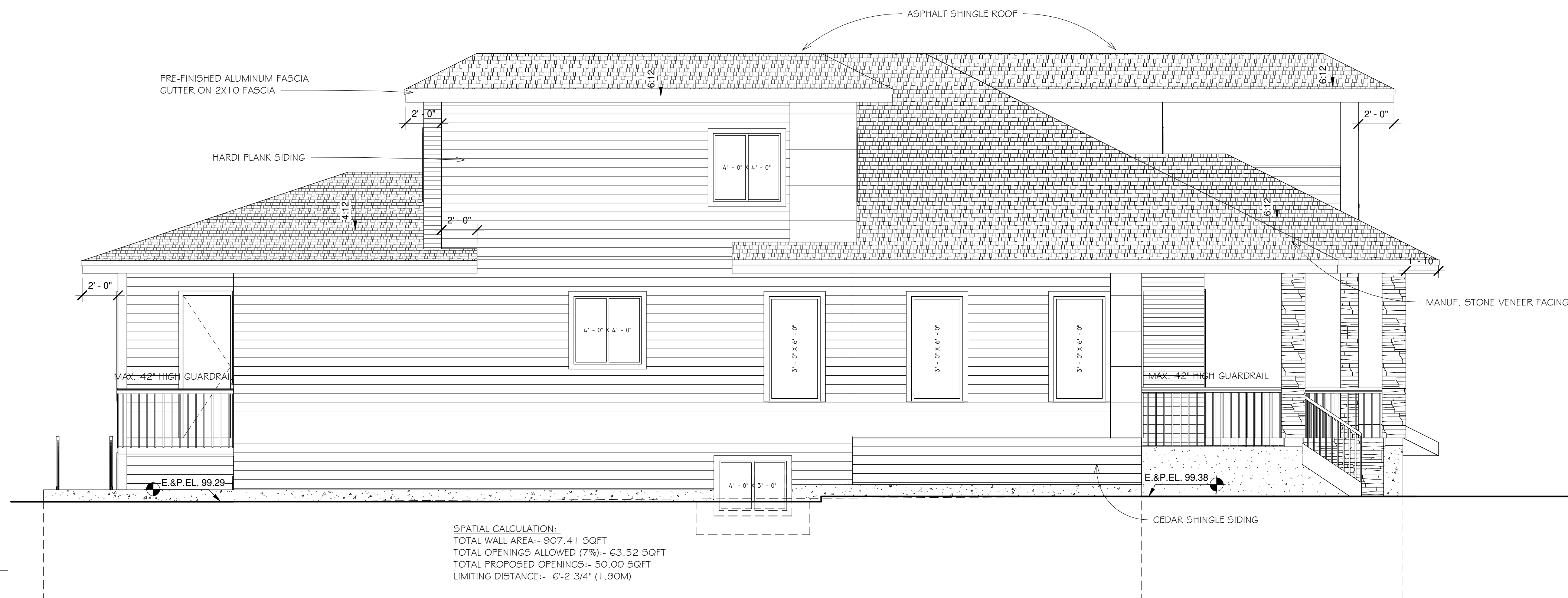
Scale 1/4" = 1'-0"



1 Rear Elevation
1/4" = 1'-0"

THIS HOME IS DESIGNED TO COMPLY WITH SECTION 9.36.2 -9.36.4 OF B.C. BUILDING CODE 2018
ENERGY EFFICIENCY REQUIREMENTS FOR CLIMATE ZONE 4
- DWELLING TO BE VENTILATED IN COMPLIANCE TO 9.32.3.5 BY INDEPENDENTLY DISTRIBUTED HRV SYSTEM
BUILDING SPECIFICATIONS:
- VENTILATION AND DUCTING MUST BE PROVIDED PER B.C.B.C 2018 SECTION 9.32
- AIR BARRIER TO BE INSTALLED PER B.C.B.C 2018 SECTION 9.36
- ALL INSULATION TO BE INSTALLED PER B.C.B.C 2018 SECTION 9.36
- GARAGE DOOR W/ MINIMUM NOMINAL R.S.I. 1.1
- ALL ACCESS HATCHES TO UNCONDITIONED SPACES: MAX. U-VALUE OF 2.6
- ALL WINDOWS & DOORS: MAX. U-VALUE OF 1.8 EXCEPT FOR 1 ENTRY UNIT
- ALL SKYLIGHTS: MAX. U-VALUE OF 2.9

BC SOLAR HOT WATER READY REGULATION NOTES:
- PROVIDE 2-50MM(DIAMETER) ELECTRICAL CONDUITS (WHICH ARE ABLE TO ACCOMODATE THE INSTALLATION OF INSULATED PLUMBING SERVICES FOR A SOLAR DOMESTIC HOT WATER SYSTEM IN COMPLIANCE WITH CAN/CSA-F383) FROM THE FUTURE SYSTEM LOCATION TO THE ATTIC SPACE NEAR A ROOF AREA DESIGNATED FOR A MIN. 100 sq.ft. SOLAR COLLECTOR (WITH A MINUM DIMENSION OF 8'-10")
- CONDUITS MUST BE ACCESSIBLE FROM BOTH ENDS AND CAPPED OR SEALED AT BOTH ENDS TO PREVENT WATER INGRESS AND AIR LEAKAGE.
- IDENTIFY CONDUITS WITH PERMANENT, DISTINCT, AND EASILY RECOGNIZED MARKINGS.
- TRUSS MANUFACTURER AND P.ENG TO ACCOUNT FOR AN ADDITIONAL 0.2 kpa OF LOAD OR GREATER FUTURE SOLAR COLLECTOR.



2 Left Elevation
1/4" = 1'-0"

SPATIAL CALCULATION:
TOTAL WALL AREA:- 907.41 SQFT
TOTAL OPENINGS ALLOWED (7%):- 63.52 SQFT
TOTAL PROPOSED OPENINGS:- 50.00 SQFT
LIMITING DISTANCE:- 6'-2 3/4" (1.90M)

THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND **NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.**



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012

dg13enterprises@gmail.com

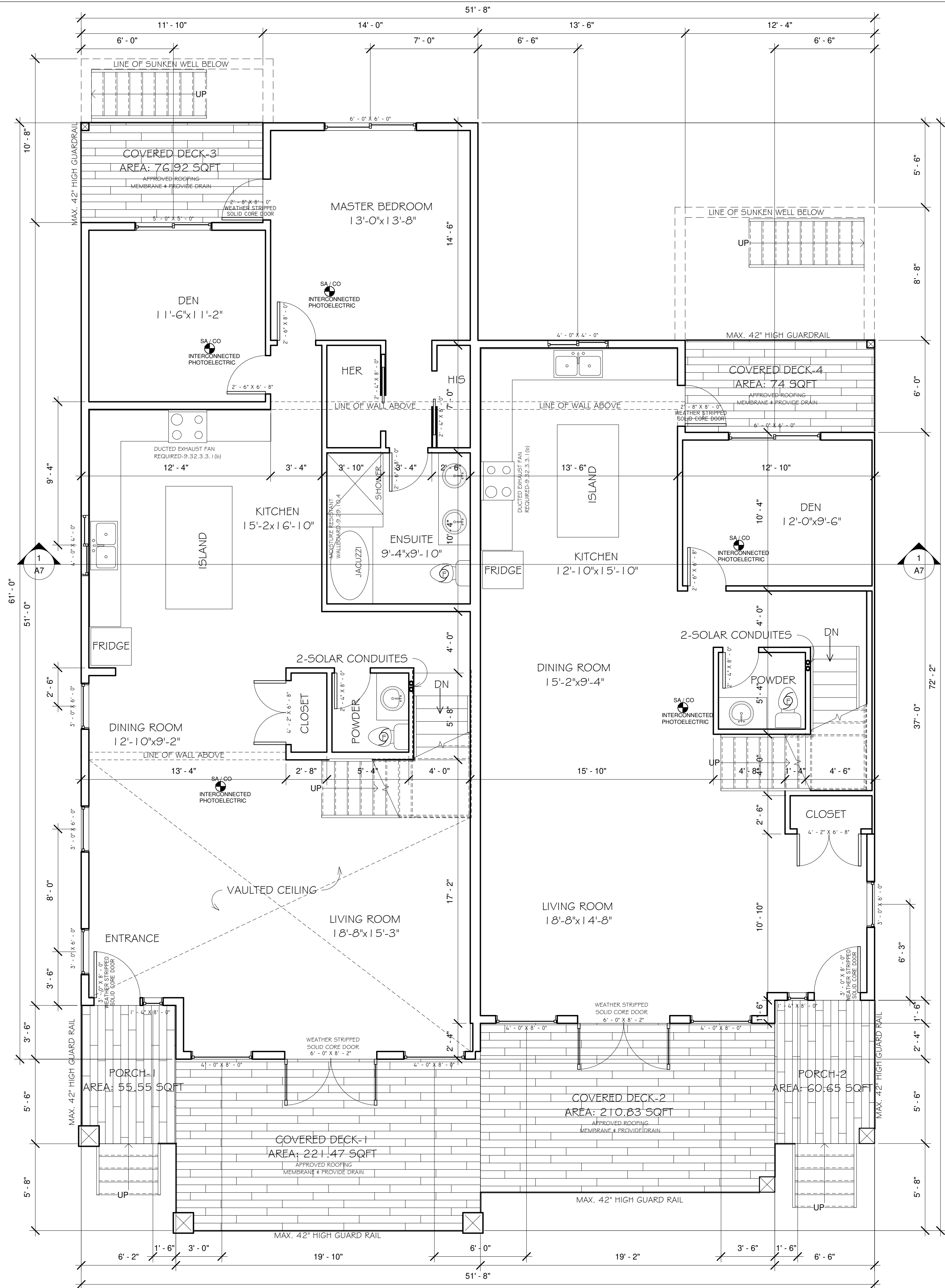
15495 Oxenham Ave
White Rock, B.C.

REAR & LEFT
ELEVATIONS

Project number PVDL-18-1142
Date 18 JAN 2019
Drawn by HB
Checked by GS

A3

Scale 1/4" = 1'-0"



MAIN FLOOR AREA: 2543.56 SQFT

UPPER FLOOR AREA: 2096.83 SQFT
OPEN TO BELOW + STAIRS: 535 SQFT
NET UPPER FLOOR: 1561.83 SQFT

PORCH-1: 55.55 SQFT
PORCH-2: 60.65 SQFT
COVERED DECK-1 @ MAIN FLOOR: 221.47 SQFT
COVERED DECK-2 @ MAIN FLOOR: 210.83 SQFT
COVERED DECK-3 @ MAIN FLOOR: 76.92 SQFT
COVERED DECK-4 @ MAIN FLOOR: 74.00 SQFT
COVERED DECK @ UPPER FLOOR: 219.50 SQFT

MAIN FLOOR: 2543.56 SQFT
UPPER FLOOR: 1561.83 SQFT
TOTAL: 4105.39 SQFT

BASEMENT AREA: 2183.28 SQFT
GARAGE-1: 397.67 SQFT
GARAGE-2: 394.92 SQFT
SUNKEN WELL-1: 129.00 SQFT
SUNKEN WELL-2: 186.67 SQFT

MAIN FLOOR
TOTAL FLOOR AREA: 2543.56 SQFT
9'-0" HIGH CEILING
RADIANT HEAT

① Main Floor Plan
1/4" = 1'-0"

THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL. AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012
dg13enterprises@gmail.com

15495 Oxenham Ave
White Rock, B.C.

MAIN FLOOR PLAN

Project number PVDL-18-1142
Date 18 JAN 2019
Drawn by HB
Checked by GS

A4

Scale 1/4" = 1'-0"

THESE PLANS CONFORM TO BCBC 2018

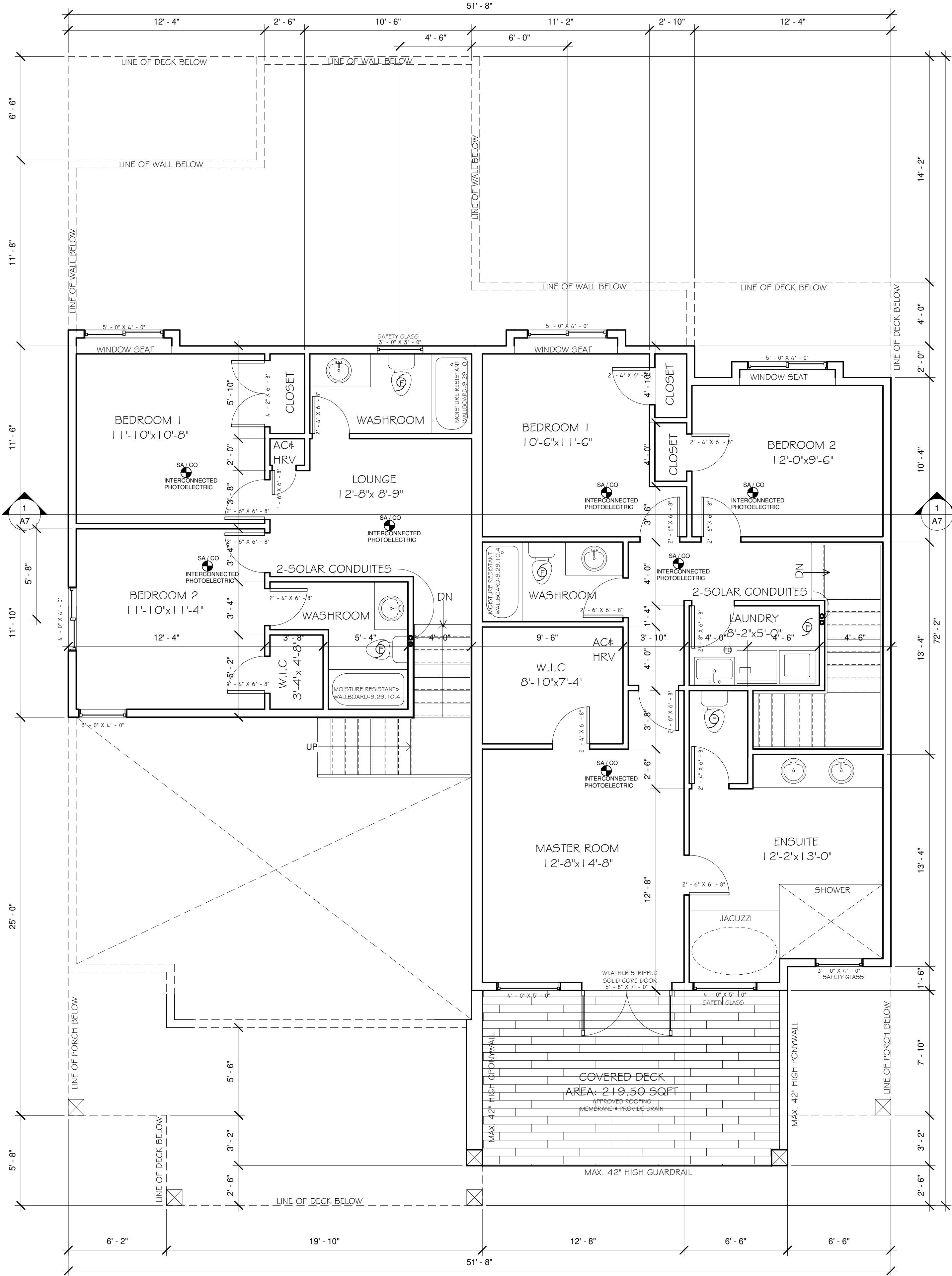
CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND **NOT** INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



MAIN FLOOR AREA: 2543.56 SQFT

UPPER FLOOR AREA: 2096.83 SQFT
OPEN TO BELOW + STAIRS: 535 SQFT
NET UPPER FLOOR: 1561.83 SQFT

PORCH-1: 55.55 SQFT
PORCH-2: 60.65 SQFT
COVERED DECK-1 @ MAIN FLOOR: 221.47 SQFT
COVERED DECK-2 @ MAIN FLOOR: 210.83 SQFT
COVERED DECK-3 @ MAIN FLOOR: 76.92 SQFT
COVERED DECK-4 @ MAIN FLOOR: 74.00 SQFT
COVERED DECK @ UPPER FLOOR: 219.50 SQFT

MAIN FLOOR: 2543.56 SQFT
UPPER FLOOR: 1561.83 SQFT
TOTAL: 4105.39 SQFT

BASEMENT AREA: 2183.28 SQFT
GARAGE-1: 397.67 SQFT
GARAGE-2: 394.92 SQFT
SUNKEN WELL-1: 129.00 SQFT
SUNKEN WELL-2: 186.67 SQFT

UPPER FLOOR
TOTAL FLOOR AREA: 1561.83 SQFT
9'-0" HIGH CEILING
RADIANT HEAT

ALL PARALLAM BEAMS,
HANGERS AND TURSSSES
ARE TO BE ENGINEERED
TRUSSES AS PER
MANUFACTURER
FRAMER TO CHECK THE
SIZE OF THE WINDOW AT
SITE AFTER TURSSSES

1 Upper Floor Plan
1/4" = 1'-0"



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012

dg13enterprises@gmail.com

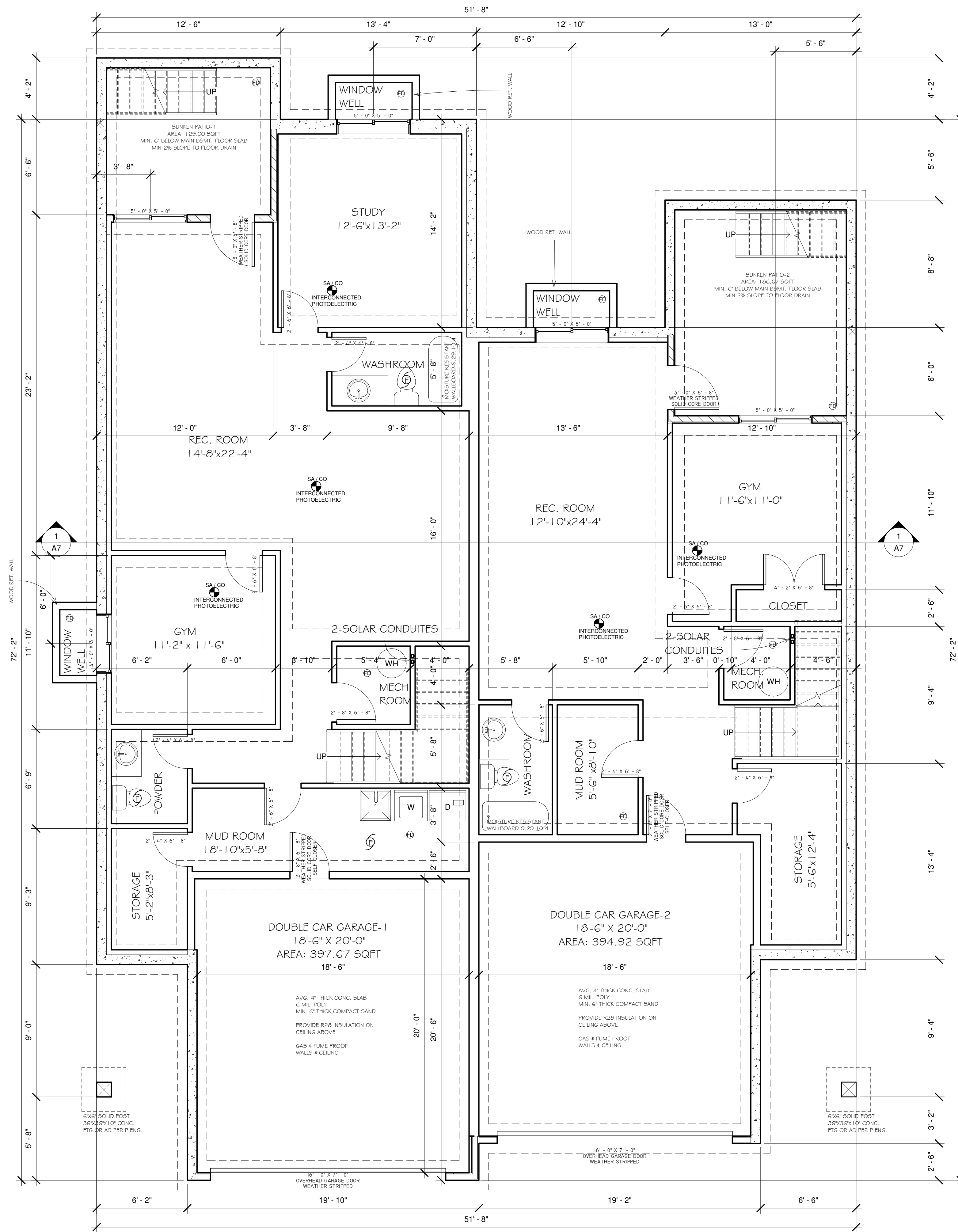
15495 Oxenham Ave
White Rock, B.C.

UPPER FLOOR PLAN

Project number PVDL-18-1142
Date 18 JAN 2019
Drawn by HB
Checked by GS

A5

Scale 1/4" = 1'-0"



MAIN FLOOR AREA: 2543.56 SQFT

UPPER FLOOR AREA: 2096.83 SQFT
OPEN TO BELOW + STAIRS: 535 SQFT
NET UPPER FLOOR: 1561.83 SQFT

PORCH-1: 55.55 SQFT
PORCH-2: 60.65 SQFT
COVERED DECK-1 @ MAIN FLOOR: 221.47 SQFT
COVERED DECK-2 @ MAIN FLOOR: 210.83 SQFT
COVERED DECK-3 @ MAIN FLOOR: 76.92 SQFT
COVERED DECK-4 @ MAIN FLOOR: 74.00 SQFT
COVERED DECK @ UPPER FLOOR: 219.50 SQFT

MAIN FLOOR: 2543.56 SQFT
UPPER FLOOR: 1561.83 SQFT
TOTAL: 4105.39 SQFT

BASEMENT AREA: 2183.28 SQFT
GARAGE-1: 397.67 SQFT
GARAGE-2: 394.92 SQFT
SUNKEN WELL-1: 129.00 SQFT
SUNKEN WELL-2: 186.67 SQFT

BASEMENT FLOOR
TOTAL FLOOR AREA: 2183.28 SQFT
8'-0" HIGH CEILING
RADIANT HEAT

1 Basement Floor Plan
1/4" = 1'-0"

THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012
dg13enterprises@gmail.com

15495 Oxenham Ave
White Rock, B.C.

BASEMENT FLOOR
PLAN

Project number PVDL-18-1142
Date 18 JAN 2019
Drawn by HB
Checked by GS

A6

Scale 1/4" = 1'-0"

THESE PLANS CONFORM TO BCBC 2018

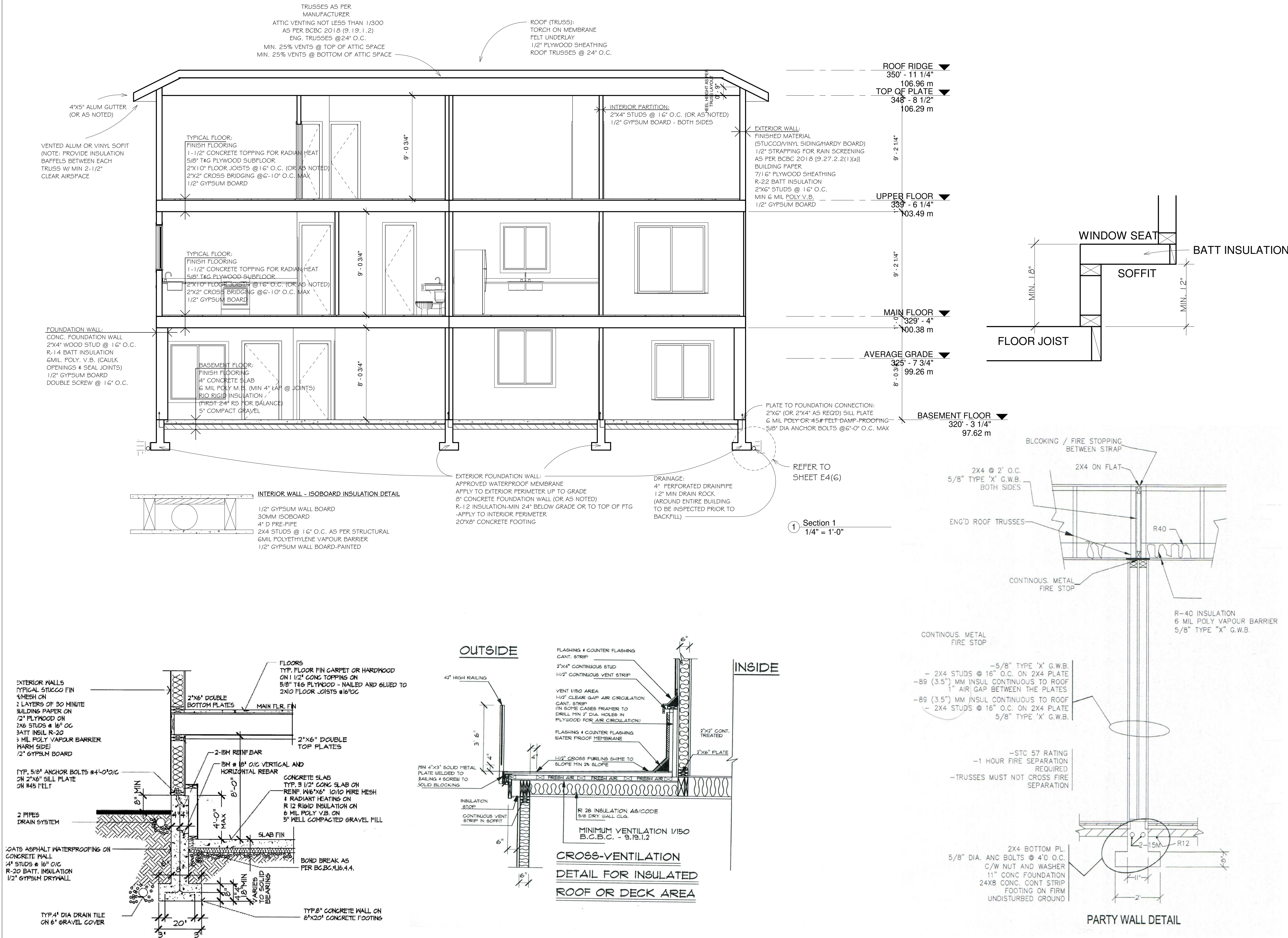
CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012

dg13enterprises@gmail.com

No.	Description	Date

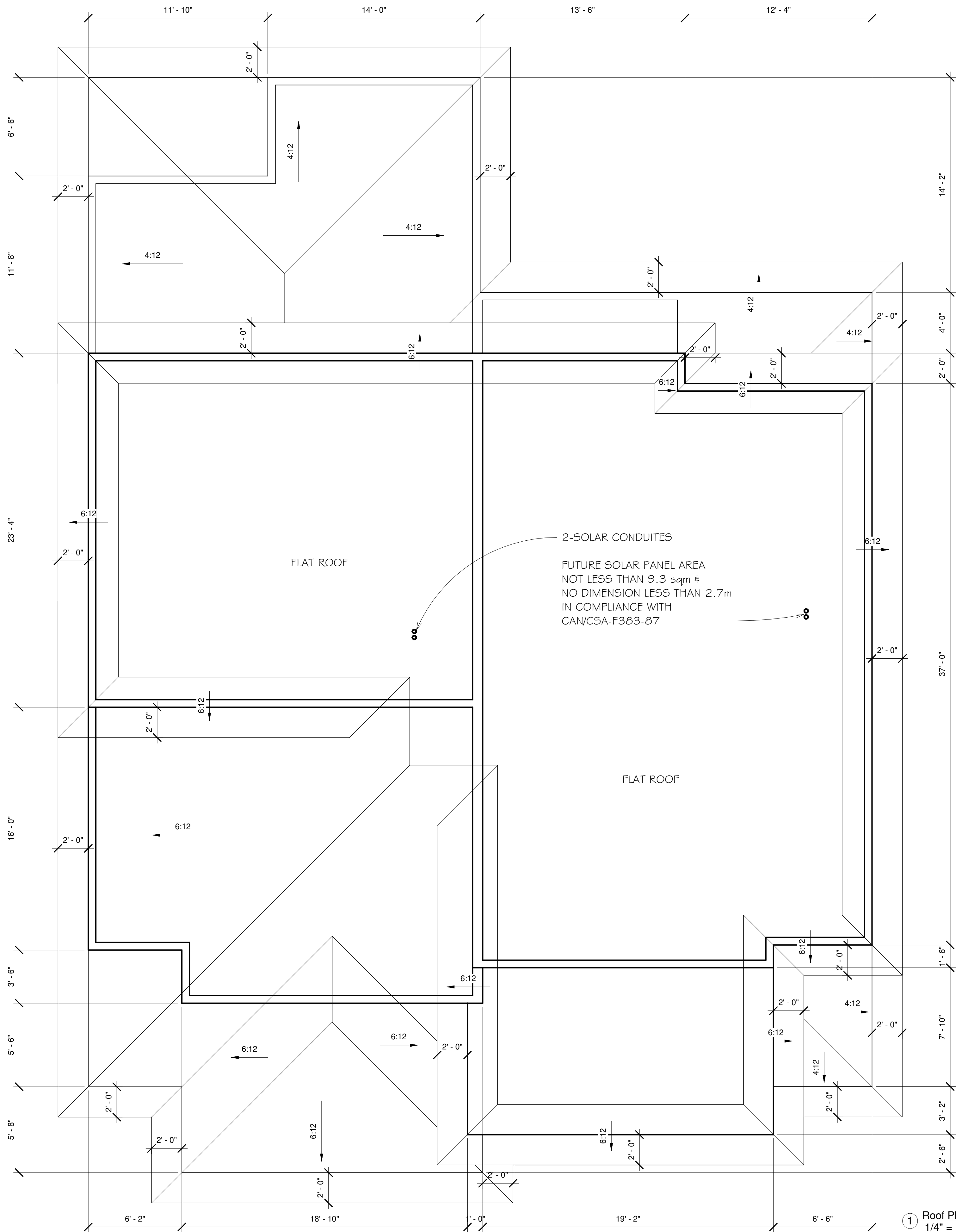
15495 Oxenham Ave
White Rock, B.C.

CROSS-SECTIONS & DETAILS

Project number	PVDL-18-1142
Date	18 JAN 2019
Drawn by	HB
Checked by	GS

A7

Scale 1/4" = 1'-0"



GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE MEASUREMENTS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND DESIGNER SHALL BE INFORMED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 - CONSTRUCTION MUST COMPLY WITH B.C. BUILDING CODE 2018, ELECTRICAL B.C. CODE 2018, PLUMBING B.C. CODE 2018 AND WINDOWS AND GLAZING B.C. CODE 2018.
 - EXACT LOCATION OF THE BUILDING MUST BE CONFIRMED WITH LOCAL AUTHORITIES OR SURVEYOR. ADJUST SITES GRADES AS REQUIRED.
 - FOOTINGS MUST BE TAKEN DOWN FROST LEVEL TO UNDISTURBED SUBSTRATA. INTERIOR FACE OF CONCRETE (FOOTINGS AND WALLS) MUST BE INSULATED WITH 25mm (1") OF RIGID INSULATION.
 - PROVIDE 8" CLEARANCE BETWEEN GRADE AND SIDING
 - CONCRETE OF FOOTINGS OR WALLS MUST HAVE #4S FELT AND MUST BE ANCHORED WITH 1/2" DIA. BOLTS 4'- 0" O.C.
 - ALL FOOTINGS ARE TO EXTEND 18" BELOW GRADE MINIMUM.
 - PROVIDE VENTILATION TO ROOMS IN COMPLIANCE WITH B.C.B.C. SECTION 9.35
 - WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS
 - DWELLING SECURITY AS OUTLINED IN B.C.B.C. SECTION 9.6.8.
 - ANCHOR POSTS TO FOOTING TO RESIST UPLIFT
 - GLASS IN WINDOWS & DOORS TO BE DOUBLE GLAZED SAFETY GLASS.
 - WINDOW FRAMES TO BE THERMALLY BROKEN.
 - TUBS WITH SHOWERS MUST HAVE A MIN. HEIGHT OF 3'11" FROM TUB RIM.
 - 1" NOSING REQUIRED ON TREADS LESS THAN 10"
 - R10 RIGID INSULATION REQUIRED UNDER ENTIRE SLAB AREA FOR SLABS WITH RADIANT HEATING
 - CROSS BRIDGING REQUIRED @ 70" o/c MAX. OR GLUE & NAIL PANEL SUBFLOOR
 - LINO OR EQUAL REQUIRED TO BATHROOM FLOORS
 - GLASS IN ENTRANCE, SHOWER AND SLIDING DOORS ARE TO BE SAFETY GLASS.
 - MIRRORED DOORS AT ENTRANCES TO WALK-IN CLOSETS ARE TO BE BACKED W/ SOLID MATERIAL AS PER #9.6.5.3.
 - FLASHING MUST BE PROVIDED OVER ALL EXTERIOR OPENINGS.
 - PROVIDE WEATHER-STRIPPING FOR ALL EXTERIOR DOORS.
 - PROVIDE CAULKING AROUND ALL EXTERIOR OPENINGS.
 - FLASH ALL CHANGES OF MATERIAL ON EXTERIOR WALLS.
 - ALL EXTERIOR AND GARAGE ELECTRICAL OUTLETS TO BE WATERPROOFED.
 - PROVIDE WEATHER-STRIPPING FOR ALL EXTERIOR DOORS.
 - PROVIDE CAULKING AROUND ALL EXTERIOR OPENINGS.
 - FLASH ALL CHANGES OF MATERIAL ON EXTERIOR WALLS.
 - ALL EXTERIOR AND GARAGE ELECTRICAL OUTLETS TO BE WATERPROOFED.
 - PROVIDE 2" CLEAR SPACE BETWEEN FIREPLACE AND FRAMING.
 - PROVIDE TEMPERED GLASS WHEN DISTANCE BETWEEN GLASS AND FINISH FLOOR IS LESS THAN 8"
 - HEADERS AND TRIMMERS MUST COMPLY WITH B.C. BUILDING CODE 2018.
 - ALL JOIST HANGERS TO HAVE A RESISTANCE OF 2000 Lbs. Ref. STRUCTURAL ENG. UNLESS OTHERWISE NOTED.
 - ALL LINTELS NOT SPECIFIED ARE 2x12 DOUBLE.
 - ATTIC OR CRAWL SPACE ACCESS TO BE HATCHED AND INSULATED. MINIMUM SIZE 20x28" & WEATHERSTRIPPED.
 - PROVIDE SCREENED VENTILATION TO ALL ATTIC SPACES AS REQUIRED 1:300
 - PROVIDE BRACING TO ALL CORNERS.
 - PROVIDE 2" CONTINUOUS SCREENED VENTILATION AT SOFFITS.
 - BALCONY RAILINGS TO BE MINIMUM 36" OVER FINISH FLOORS.
 - CONFIRM ALL ROUGH OPENINGS OF WINDOWS AND DOORS
 - OWNER OR CONTRACTOR SHALL OBTAIN MANUFACTURER CERTIFICATE, AND SHOP DRAWINGS FOR GLUE-LAMINATED BEAMS
 - OWNER OR CONTRACTOR SHALL OBTAIN MANUFACTURER CERTIFICATE FOR TRUSSES.
 - FOR INSTALLATION, REFER TO SHOP DRAWINGS, SKYLIGHTS TO BE INSTALLED ACCORDING TO SHOP DRAWINGS BY OTHERS.
 - DOUBLE JOIST UNDER ALL WALLS RUNNING IN THE SAME DIRECTION OF FLOOR JOIST
 - ALL FRAMING ELEMENTS MUST BE No 2 DOUBLAS FIR.
 - REGISTERED STRUCTURAL ENGINEER SUBMITS LETTER OF UNDERTAKING FOR REVIEW, DESIGN AND SUPERVISION OF STRUCTURAL COMPONENTS, ALSO SEISMIC & WIND DESIGN AS PER CWC GUIDE.
- MISCELLANEOUS
1. FINISH GRADES ON SITE TO DIRECT ANY SURFACE WATER FLOW FROM THE BUILDING.
 2. WHERE A WINDOW OPENS TO A WINDOW WELL THE OPERATION OF THE SASH SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULD RESTRICT ESCAPE IN CASE OF EMERGENCY.
 - 3.PROVIDE BUILDING AND SITE DRAINAGE AS PER LOCAL REQUIREMENTS.
 - 4.ALL DOWNSPOUTS WILL TO CONNECTED TO DRAIN PIPES INSTALLED ALL AROUND THE PROPOSED BUILDING.

THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012

dg13enterprises@gmail.com

No.	Description	Date

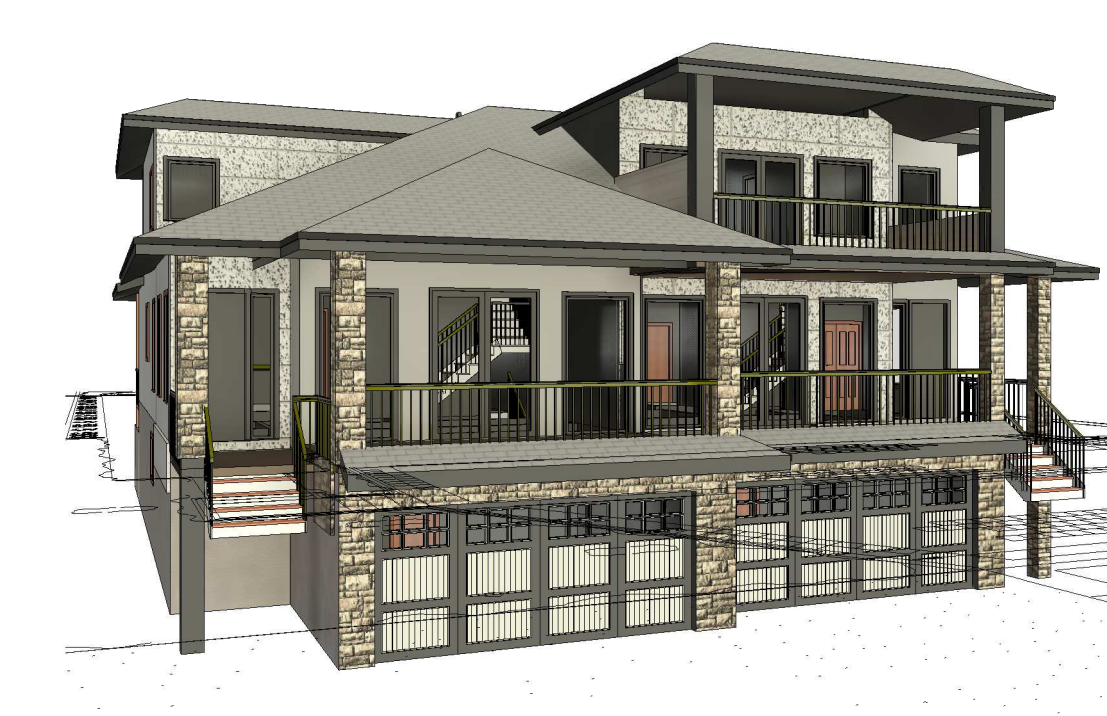
15495 Oxenham Ave
White Rock, B.C.

ROOF PLAN

Project number	PVDL-18-1142
Date	18 JAN 2019
Drawn by	HB
Checked by	GS

A8

Scale	1/4" = 1'-0"
-------	--------------



② 3D View 2



① 3D View 1



③ 3D View 3



④ Front Elevation Rendering
3/8" = 1'-0"

THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL. AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION.

PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070

info@villadesigns.ca

www.villadesigns.ca

DG ENTERPRISES
PH.- 778-237-0012
dg13enterprises@gmail.com

No.	Description	Date


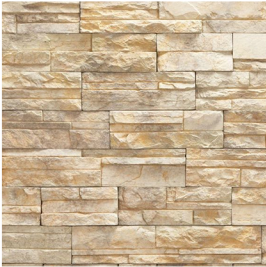



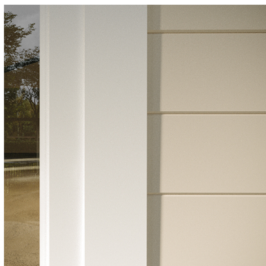
15495 Oxenham Ave
White Rock, B.C.

3D Views

Project number	PVDL-18-1142
Date	18 JAN 2019
Drawn by	HB
Checked by	GS

A10

Scale	3/8" = 1'-0"
-------	--------------

SAMPLE	MATERIAL/NAME	COLOR
	HARDIE BOARD (JAMES HARDIE)	NAVAJO BEIGE
	STONE (VENEERSTONE)	CALMA
	SHINGLE ROOF	DRIFTWOOD
	ALUMINUM FASCIA GUTTER	DOVE GRAY
	GARAGE DOORS PAINTED	CHARCOAL #565656
	VINYL FRAMED WINDOWS C/W 2X6 WOOD TRIM	WHITE



+ 100.00' PROPOSED GRADES
+ (100.00'e) EXISTING GRADES FROM BCLS
+ < 100.00' > INTERPOLATED GRADES
TW = TOP OF WALL (WITHOUT CAP, IF A WALL WITH CAPS)
BW = BOTTOM OF WALL AT FINISHED GRADE

PROJECT ADDRESS:
5495
XENHAM AVENUE
WHITE ROCK, BC

FREE REMOVAL PLAN MASTER PLAN

မိုးမိုး

scale

DEC. 17, 2020

editions

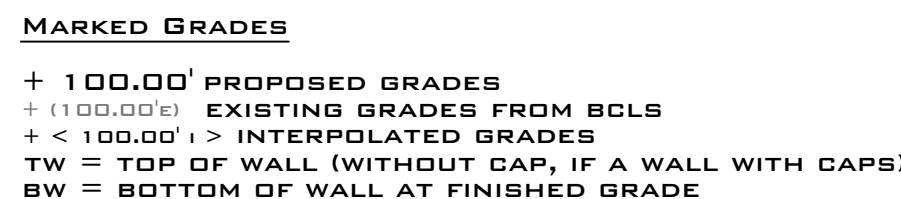
0V 22, 2022

ALL MEASUREMENTS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REPORTED TO SAMARA LANDSCAPE DESIGN. WRITTEN DIMENSIONS SUPERCEDE ALL SCALED DIMENSIONS. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS OR ENGINEERING

REQUIRED, AND SHALL ALSO BE RESPONSIBLE FOR REQUESTING ALL REQUIRED INSPECTIONS. ANY WALL EXCEEDING 4' IN HEIGHT MUST BE ENGINEERED TO MEET ALL CURRENT AISC STEEL DESIGN STANDARDS. CURRENT EDITION BOTTOM OF WALL (TW) REFERS TO FINISHED GRADE AT BOTTOM OF WALL, AND DOES NOT INCLUDE FOOTING DEPTH. CONCRETE SHALL BE INSTALLED UNDER ALL HAND SURFACES TO ALLOW FOR ELECTRICAL AND IRRIGATION INSTALLATION. FINISHED GRADES SHALL HAVE A MINIMUM 2% SLOPE AWAY FROM THE BUILDING TO ALLOW FOR SURFACE WATER RUN-OFF. SURFACE WATER NOT TO BE DRAINED ONTO ADJACENT PROPERTIES.

Samara Landscape Design info@samaradesign.com 604.308.7963

Samara Landscape Design



TREES							
	Acer palmatum atropurpureum	2	6cm cal	per plan	DT	S,Sh	Red Japanese Maple/ red-purple deeply lobed lvs, great fall colour
	Chamaecyparis nootkanensis pendula	4	3m ht.	per plan	CT	S	Weeping Nootka Cypress/ bright green, graceful weeping habit
	Styrax japonicus	2	6cm cal	per plan	DT	S, PSh	Japanese Snowbell/ fragrant white bell flws- June, fan-like form



