

November 25, 2022

Jordan Pelzman, Planning & Development Assistant II
City of White Rock
15322 Buena Vista Avenue
White Rock, BC V4B 1Y6

Dear Mr. Pelzman

Reference: Development Variance Permit Application (22-026) - 13836 Marine Drive

Summary of Public Information Meeting

Date: November 17, 2022
Time: 5:30 – 6:30 PM
Location: Gallery of the White Rock Community Centre (15154 Russell Avenue)

Various information boards were set up for public viewing. Representatives for the property owner as well as a city representative were present to explain the application and answer any questions.



| | |
|------------------------------------|----|
| Total Notification letters sent: | 43 |
| Total attendees: | 4 |
| Written comments received to date: | 4 |
| No Response: | 39 |

| | | |
|----------------------|-----------|---|
| Summary of Comments: | Opposed | 2 |
| | Undecided | 2 |

Copies of the notification letter, sign in sheet, and written comments are attached to this meeting summary.

To assist those attendees who were undecided, the builder offered to put up temporary mock ups of the proposed chimneys to allow them the opportunity to see the actual variance impact. This was done November 23, 2022.

Attendees were advised that if these chimneys were used for physical venting they would be allowed without a variance being required. As these 2 chimneys are not proposed to be attached to a physical fireplace they are deemed architectural features and thus a variance has been applied for.



The two comments in opposition were not related to this physical design or location, rather general disagreement with any height variance on principle.

Please let me know if you need any further information or clarification. Thank you.

Sincerely,

Handwritten signature of Randy Dick in green ink.

Randy Dick, B.Comm, RI
Prossimo Development Consulting Ltd.

NOTICE OF PUBLIC INFORMATION MEETING

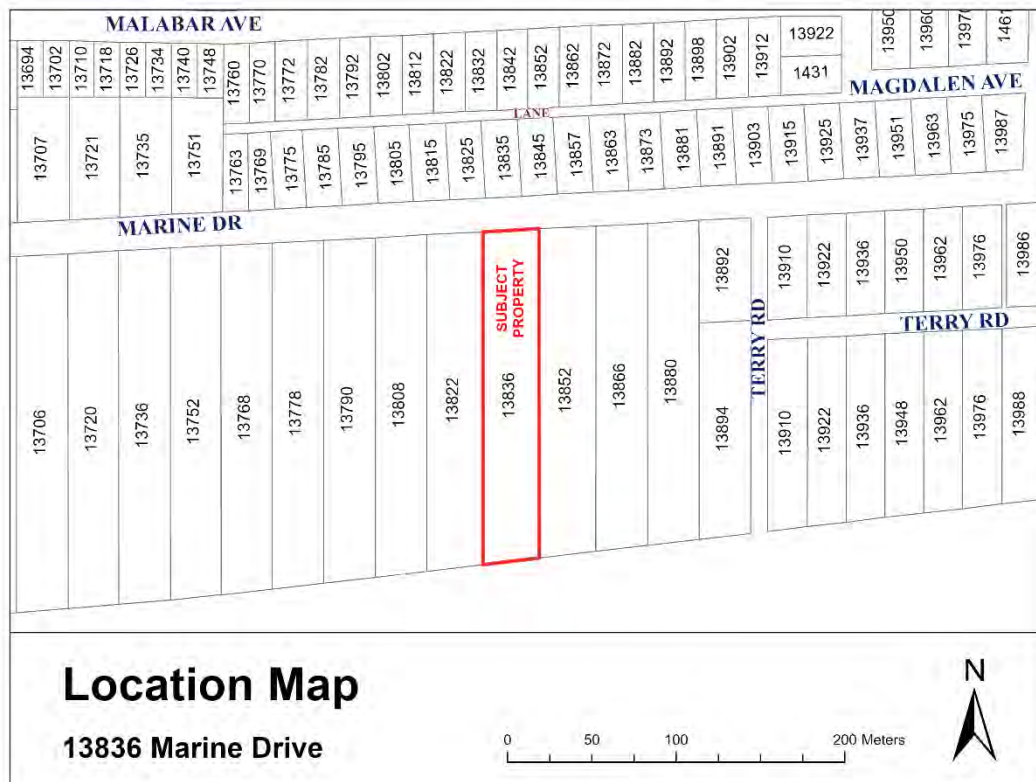
Development Variance Permit – File No. 22-026

Subject Property – 13836 Marine Drive

PLEASE TAKE NOTICE THAT a Public Information Meeting will be hosted by the **APPLICANT** in the Gallery of the White Rock Community Centre (15154 Russell Avenue) on **November 17, 2022, from 5:30pm to 6:30pm** to discuss an application for the property at 13836 Marine Drive (see location map below).

The City of White Rock has received a Development Variance Permit (DVP) application to request relief from the 7.7m maximum permitted height requirement for a principal building as per the Zoning Bylaw, 2012, No. 2000.

The applicant has proposed additional exterior architectural features (decorative chimneys and ironwork) on their new single-family home which would project 2.13m beyond the maximum permitted height for a principal building. The proposal seeks a variance to allow a maximum permitted height of 9.83m for a principal building.



Planning and Development Services

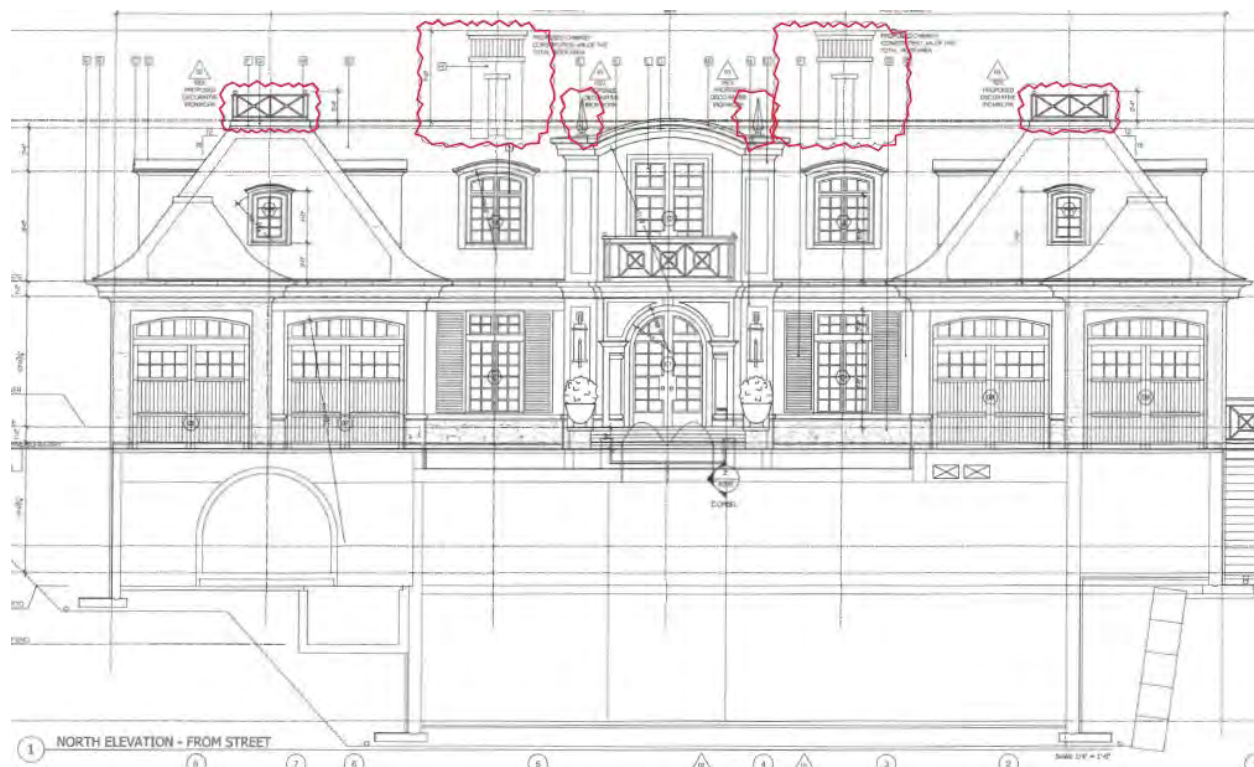
P: 604.541.2136 | F: 604.541.2153

City of White Rock

15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

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www.whiterockcity.ca



For more information, please contact Planning and Development Services at 604-541-2136 or planning@whiterockcity.ca.

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PUBLIC INFORMATION MEETING SIGN-IN SHEET

Development Variance Permit – File No. 22-026

Subject Property – 13836 Marine Drive

5:30pm to 6:30pm, November 17, 2022

| | Name* (Please Print) | Address* | Postal Code* |
|----|----------------------|--------------------|--------------|
| 1 | Hong Yang Tan | 13802 Malabar Ave. | V4B2X9 |
| 2 | RAJANI BHARDWAJ | 13812 MALABAR AVE | V4B2X9 |
| 3 | John Lumsick | 15821 Pacific Ave | V4B 1S8 |
| 4 | Baljitheer Chhabra. | 13873 Marine Dr | V4B1A3 |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |
| 9 | | | |
| 10 | | | |
| 11 | | | |
| 12 | | | |

**Please note that this sign-in sheet will be disclosed to the public and presented to Mayor and Council as part of the information package attached to this application. Any personal information or commentary you provide will become public record.*

PUBLIC INFORMATION MEETING FEEDBACK FORM

Development Variance Permit – File No. 22-026

Subject Property – 13836 Marine Drive

5:30pm to 6:30pm, November 17, 2022

Please note that your completed feedback form will be disclosed to the public and presented to Mayor and Council as part of the information package attached to this development proposal application. Any personal information or commentary you provide on this document will form part of the public record.

1. Please provide your name and address below:

Name: Henry Yang Tan

Address: 13802 Malabar Ave.

2. What is your position on the development proposal application? (Please circle your preferred response)

I SUPPORT the proposal

I am UNDECIDED on the proposal

I OPPOSE the proposal

3. Please provide your comments below:

I will go to the construction site
and then make the decision.

Thank you for your participation.

If you have any questions, please contact the following:

Applicant (Prossimo Development Consulting Ltd.): 778-918-2010

Planning and Development Services: 604-541-2136 or planning@whiterockcity.ca

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1. Please provide your name and address below:

Name: John Lawrence

Address: 15821 Pacific Ave, White Rock

2. What is your position on the development proposal application? (Please circle your preferred response)

I SUPPORT the proposal

I am UNDECIDED on the proposal

I OPPOSE the proposal

3. Please provide your comments below:

Heights are one of the most important and
controversial issues in White Rock, they need
to apply equally everywhere

Thank you for your participation.

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1. Please provide your name and address below:

Name: Baljinder Chhabra

Address: 13873 - Marine Dr White Rock

2. What is your position on the development proposal application? (Please circle your preferred response)

I **SUPPORT** the proposal

I am **UNDECIDED** on the proposal

I **OPPOSE** the proposal

3. Please provide your comments below:

The Building Code should not be changed according to Personal Case. If - this will be supported by us then someone will come again and will try to amend the rules.

So I strongly oppose this proposal.

Thank you for your participation.

If you have any questions, please contact the following:

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1. Please provide your name and address below:

Name: RAJANI BHARDWAJ

Address: 13812 MALABAR AVE. WHITE ROCK, B.C. V4B 2X9

2. What is your position on the development proposal application? (Please circle your preferred response)

I SUPPORT the proposal

I am **UNDECIDED** on the proposal

I OPPOSE the proposal

3. Please provide your comments below:

Thank you for your participation.

If you have any questions, please contact the following:

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