

THE CORPORATION OF THE
CITY OF WHITE ROCK

DEVELOPMENT PERMIT NO. 421



1. Development Permit No. 421 is issued to 1124902 B.C Ltd. as the owner and shall apply only to ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description:

Lot 3 Section 11 Township 1 New Westminster District Plan, 16655
PID: 005-767-121
(1559 Maple Street)

Lot 4 Section 11 Township 1 New Westminster District Plan, 16655
PID: 010-236-538
(1549 Maple Street)

Lot 5 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-236-554
(1539 Maple Street)

Lot 6 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-144-048
(1529 Maple Street)

Lot 7 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-236-589
(15631 Russell Avenue)

Lot 8 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-236-597
(1509 Maple Street)

As indicated on Schedule A, including a consolidation of these six lots.

2. Development Permit No. 421 is issued pursuant to the authority of Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, the "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, and in conformity with the procedures prescribed by the "City of White Rock Planning Procedures Bylaw, 2017, No. 2234" as amended.

3. The terms, conditions and guidelines as set out in "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, that relate to the "East Side Large Lot Infill Development Permit Area" shall apply to the area of land and premises hereinbefore described and which are covered by this Development Permit.

4. Permitted Uses of Land, Buildings and Structures

Land, buildings, and structures shall only be used in accordance with the provisions of the "CD-66 Comprehensive Development Zone (1539 Maple Street)" of the "White Rock Zoning Bylaw, 2012, No. 2000" as amended.

5. Dimensions and Siting of Buildings and Structures on the Land

All buildings and structures to be constructed, repaired, renovated, or sited on said lands shall be in substantial compliance with the Plans prepared by Ankenman Marchand Architects, dated Aug. 19, 2021 attached hereto in accordance with the provisions of Section 491 of the *Local Government Act*:

Schedule B	Site Plan
Schedule C	Building Elevations
Schedule D	Renderings
Schedule E	Landscaping Plans

These Plans form part of this development permit.

6. Terms and Conditions:

- a) The applicant shall enter into a Servicing Agreement to provide frontage improvements and on-site works and services in accordance with Section 506 of the *Local Government Act* and to the acceptance of the Director of Engineering and Municipal Operations;
- b) The applicant shall provide landscaping for the development in substantial compliance with the Landscape Plans (Schedule E) to the acceptance of the Director of Planning and Development Services and the Director of Engineering and Municipal Operations;
- c) The permittee must also submit an estimate for the cost of landscaping, along with securities in the amount of \$358,305 (i.e., being 125% of the cost of landscaping as presented in a cost estimate prepared by Van der Zalm & Associates and stamped September 2, 2021) to the City prior to the issuance of a building permit;
- d) Rooftop mechanical equipment shall be screened from view to the acceptance of the Director of Planning and Development Services; and
- e) The hydro kiosk is to be located on site to the acceptance of the Director of Planning and Development Services.

7. In the interpretation of the Development Permit all definitions of words and phrases contained in Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, and the "White Rock Official Community Plan Bylaw, 2017, No. 2220", as amended, shall apply to this Development Permit and attachments.

8. Where the holder of this Permit does not obtain the required building permits and commence construction of the development as outlined in this Development Permit within two years after the date this Permit was authorized by Council, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized further time extension of the Permit.
9. This permit does not constitute a subdivision approval, a tree management permit, a demolition permit, or a building permit.

Authorizing Resolution passed by the Council for the City of White Rock on the _____ day of _____, 20__.

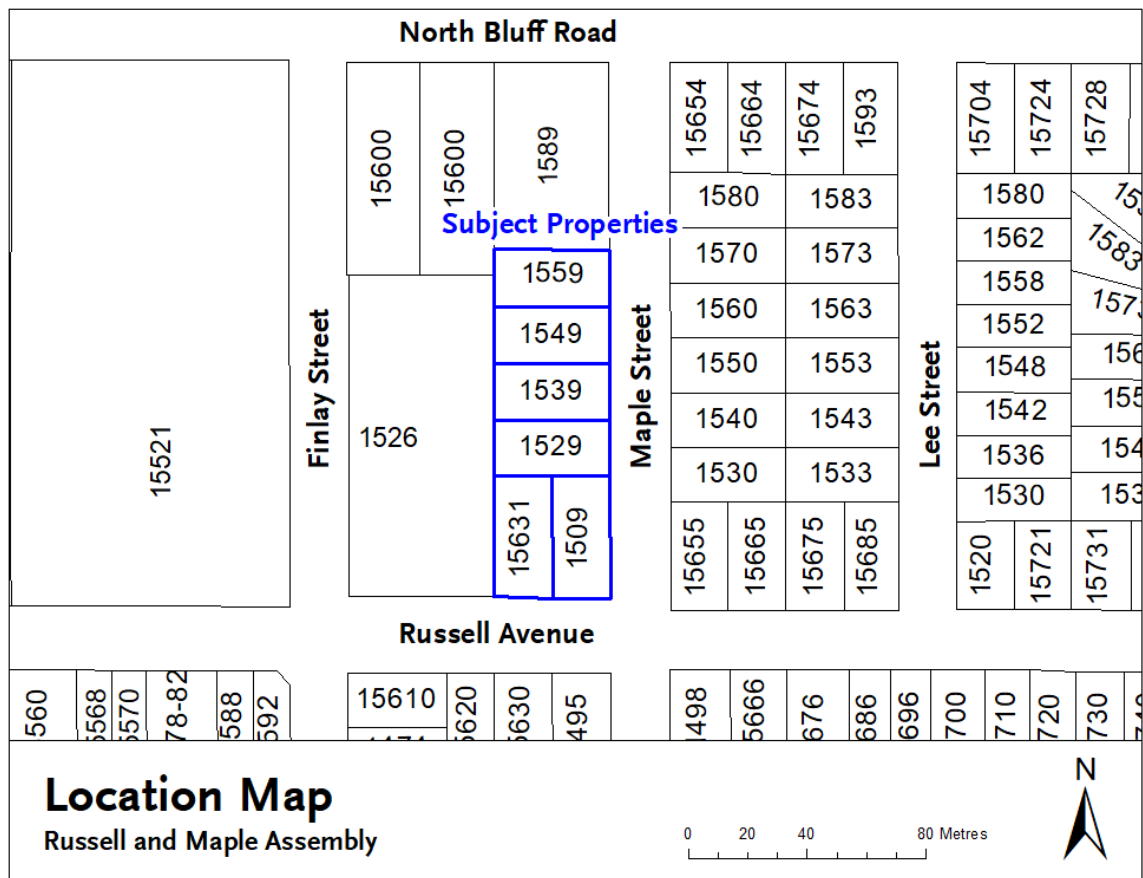
This development permit has been executed at White Rock, British Columbia on the _____ day of _____ 20__.

The Corporate Seal of THE CORPORATION
OF THE CITY OF WHITE ROCK was hereunto
affixed in the presence of:

Mayor
Authorized Signatory

Director of Corporate Administration
Authorized Signatory

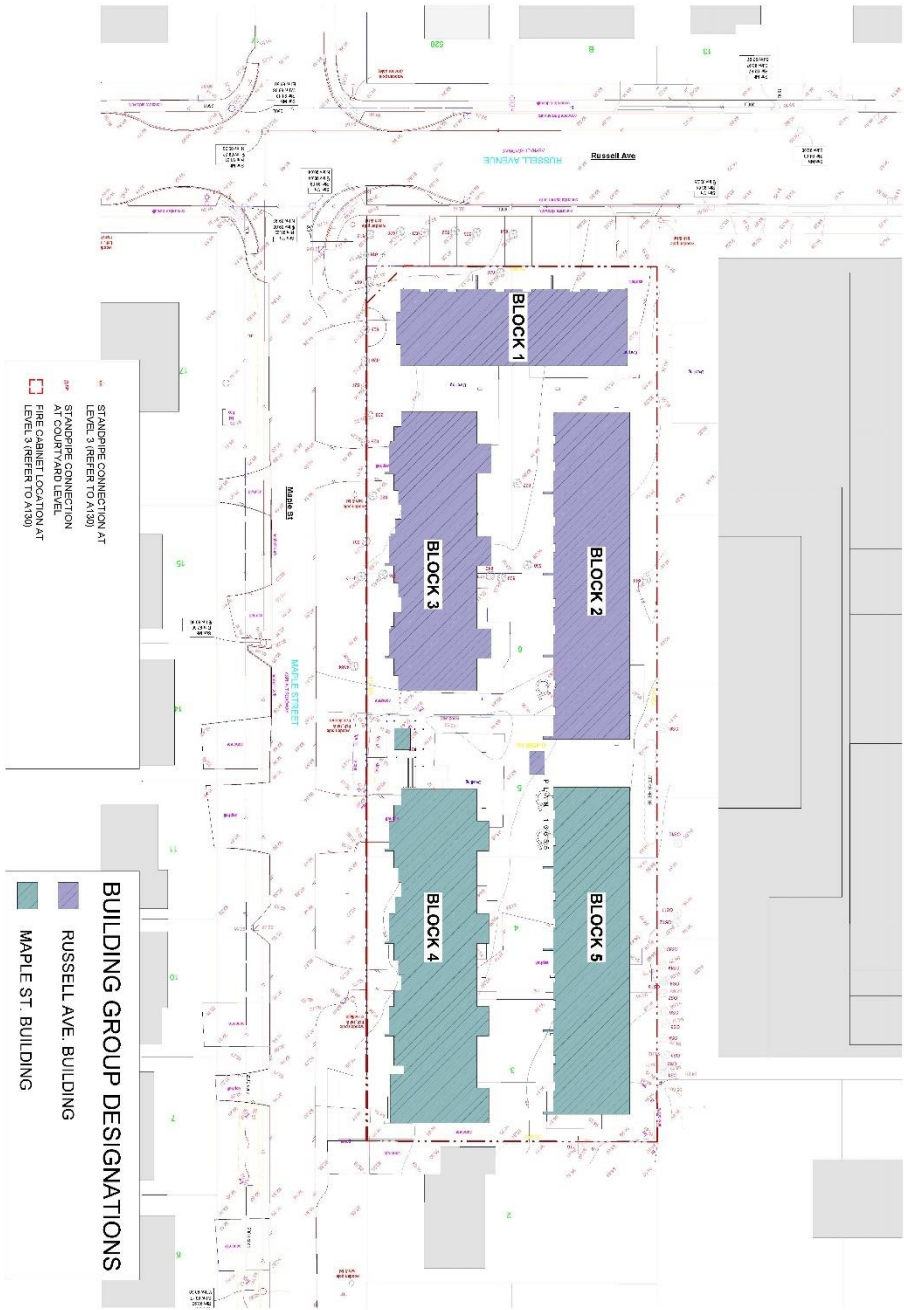
Schedule A – Location Map



Schedule B – Site Plan

Plot Date: 2021-09-02 7:7:33 PM

D:\001 REVIT LOCAL FILES\152_01_MAPN_RHS_OT_50_15631 Russell and 1509 1509 Maple_hunter272A.rvt



ARCHITECTS

ANKENMAN MARCHAND

1509 Maple St. Avenue
Vancouver, BC V5L
872-2005
Tel: (604) 672-2005 ext. 1005
Email: office@ankenmanmarchand.com

Project:
Owner:
RUSSELL AND MAPLE
1530 Russell St
Vancouver, BC V5L
BUILDING FOOTPRINT PLAN
RECONING / DP

DATE: 2021-09-02
DESCRIPTION: SUBMITTAL
DRAWN BY: J. H. H. H.
CHECKED BY: J. H. H. H.
DATE: 2021-09-02

NO.	DATE	DESCRIPTION
1		REVISION

ALL DRAWINGS IN THIS SET TO BE read in conjunction with the project program. Any errors or omissions in the drawings shall be the responsibility of the architect. The architect shall be responsible for the coordination of all drawings and shall ensure that all drawings are consistent with the project program. The architect shall be responsible for the coordination of all drawings and shall ensure that all drawings are consistent with the project program.

ANKENMAN MARCHAND
A011

Schedule C –Elevations

[illegible]



REVISION		Date	Description

Submission	Date received	Description
	2018-02-22 00:00:00	20
	2018-03-07 00:00:00	30
	2017-2018	10000000
	2017-03-23 00:00:00	20
	2017-03-23 00:00:00	30

REVISION	
Log	Date
	Description

All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority.

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Scale:
1/8" = 1'-0"



2. MAPLE ST BUILDING - BLOCK 4 WEST ELEVATION (COURTYARD)
1.05" = 1'-0"

[illegible]

Development Permit 421 – 15631 Russell Avenue, and 1590, 1529, 1539, 1549 & 1559 Maple Street

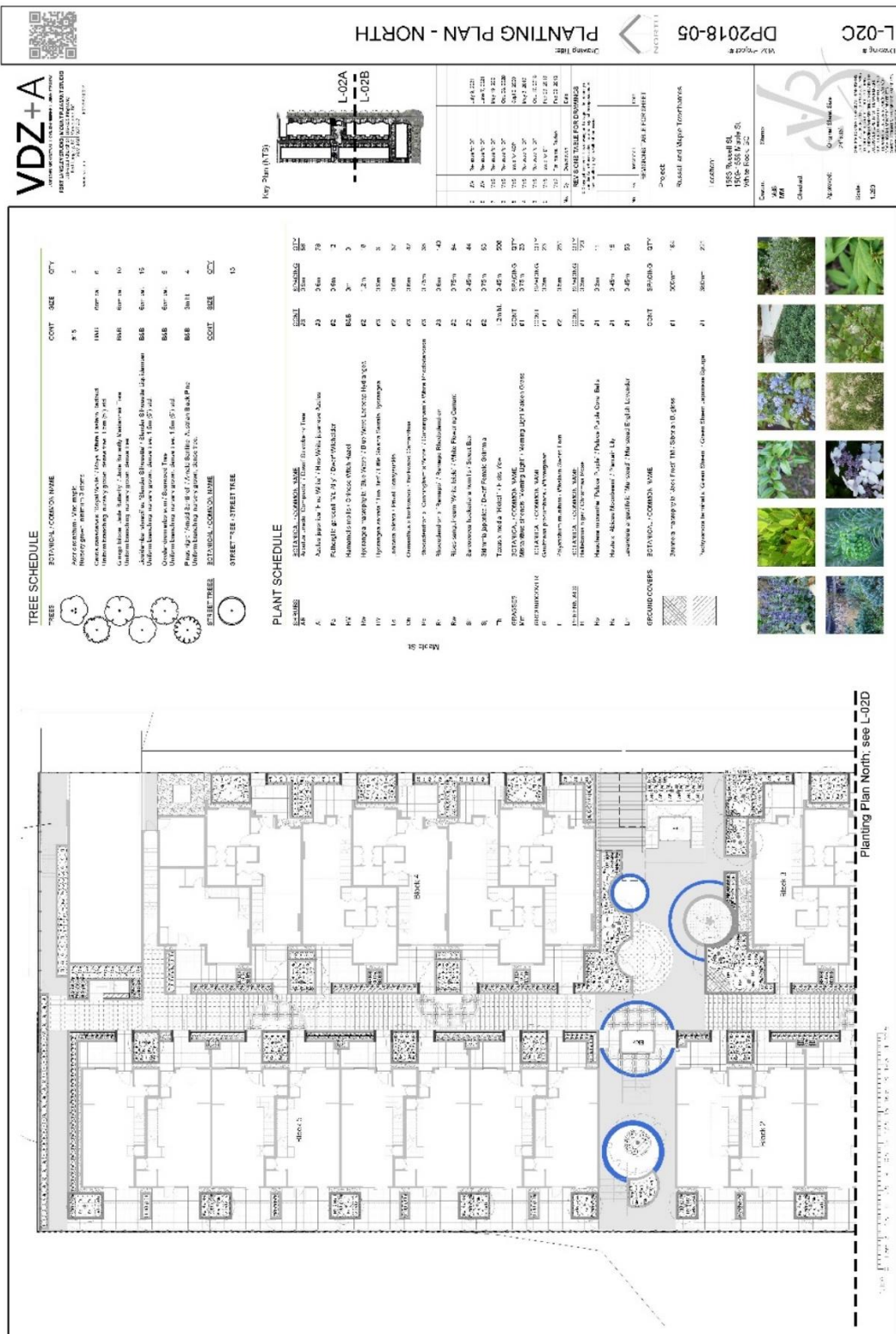




Schedule E – Landscape Plans







VDZ+A
 VENTILATION DESIGN ZONE + ARCHITECTURE
 12, RUE DE LA VILLE, 1000 BRUXELLES
 TEL: +32 (0) 2 737 11 11
 MAIL: info@vdz-a.be

1 CONCRETE SLAB ON STRUCTURAL SLAB

Scale: 1/10

HYDRA-PRESSED SLABS
 Type 1: Textile
 Size: 48.7mm x 43.7mm x 4.2mm
 Colour: Charcoal
 Manufacturer: BARKMAN Concrete Products/Barkman Concrete

HYDRA-PRESSED SLABS
 Type 2: Sub-wood
 Pattern: Pattern 1" by Barkman
 Concrete (Running Board)
 Manufacturer: Barkman Concrete

2 HYDRA-PRESSED SLAB

Scale: 1/10

HYDRA-PRESSED SLABS
 Type 1: Textile
 Size: 48.7mm x 43.7mm x 4.2mm
 Colour: Charcoal
 Manufacturer: BARKMAN Concrete Products/Barkman Concrete

HYDRA-PRESSED SLABS
 Type 2: Sub-wood
 Pattern: Pattern 1" by Barkman
 Concrete (Running Board)
 Manufacturer: Barkman Concrete

3 UNIT PAVERS ON SLAB

Scale: 1/10

HYDRA-PRESSED SLABS
 Type 1: Textile
 Size: 48.7mm x 43.7mm x 4.2mm
 Colour: Charcoal
 Manufacturer: BARKMAN Concrete Products/Barkman Concrete

HYDRA-PRESSED SLABS
 Type 2: Sub-wood
 Pattern: Pattern 1" by Barkman
 Concrete (Running Board)
 Manufacturer: Barkman Concrete

4 CONCRETE PATHWAY

Scale: 1/10

HYDRA-PRESSED SLABS
 Type 1: Textile
 Size: 48.7mm x 43.7mm x 4.2mm
 Colour: Charcoal
 Manufacturer: BARKMAN Concrete Products/Barkman Concrete

HYDRA-PRESSED SLABS
 Type 2: Sub-wood
 Pattern: Pattern 1" by Barkman
 Concrete (Running Board)
 Manufacturer: Barkman Concrete

5 ENTRY GATE

Scale: 1/20

HYDRA-PRESSED SLABS
 Type 1: Textile
 Size: 48.7mm x 43.7mm x 4.2mm
 Colour: Charcoal
 Manufacturer: BARKMAN Concrete Products/Barkman Concrete

HYDRA-PRESSED SLABS
 Type 2: Sub-wood
 Pattern: Pattern 1" by Barkman
 Concrete (Running Board)
 Manufacturer: Barkman Concrete

6 BARKMAN ROUND CAST PLANTER

Scale: 1/10

Barkman Concrete Planter
 Model: Round
 Size: 400mm x 400mm x 400mm
 Colour: Natural
 Manufacturer: BARKMAN Concrete

7 KOMPAN STARFISH TABLE

Scale: 1/10

KOMPAN Starfish Table
 Model: Starfish
 Size: 1200mm x 1200mm
 Colour: Natural
 Manufacturer: KOMPAN

8 OGDEN BENCH (LAYOUT 00022)

Scale: 1/10

OGDEN Bench (Layout 00022)
 Model: Bench
 Size: 1200mm x 400mm
 Colour: Natural
 Manufacturer: OGDEN

9 KOMPAN STARFISH TABLE

Scale: 1/10

KOMPAN Starfish Table
 Model: Starfish
 Size: 1200mm x 1200mm
 Colour: Natural
 Manufacturer: KOMPAN

DETAILS

Scale: 1/10

DETAILS
 Scale: 1/10
 Drawing Title: DETAILS
 Project: VDZ Project 18
 Location: 1500-1500 Maple St, White Rock, BC
 Date: 15/01/2023
 Author: [Name]
 Checker: [Name]
 Approver: [Name]
 Date: 15/01/2023

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