

- PRESENT:** P. Byer, Chairperson  
P. Rust  
F. Kubacki  
J. Vasto  
R. Dhall
- ABSENT:** J. Muego
- NON-VOTING MEMBERS:** S. Greysen, BIA Representative
- GUESTS:** S. Gill, Applicant (877 Kent Street)  
A. Kulla, Landscape Designer (877 Kent Street)  
J. Ogden, Owner (1091 Stayte Road)  
J. Kaur, Applicant (1091 Stayte Road)  
R. Toora, Designer (1091 Stayte Road)
- STAFF:** J. Calenda, Interim Director, Planning & Development Services  
N. Syam, Planner  
J. Pelzman, Planning & Development Assistant II
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**1. CALL TO ORDER**

The meeting was called to order at 3:32pm.

**2. ADOPTION OF AGENDA**

It was **MOVED** and **SECONDED**

THAT the Advisory Design Panel adopts the March 15, 2022, agenda as circulated.

**CARRIED**

**3. ADOPTION OF MINUTES**

It was **MOVED** and **SECONDED**

THAT the Advisory Design Panel adopts the minutes from the February 15, 2022, meeting as circulated.

**CARRIED**

**4. APPLICATION SUBMISSIONS TO THE ADVISORY DESIGN PANEL**

At the beginning of this section of the agenda, J. Calenda (Interim Director, Planning & Development Services) provided an overview of the policy and regulatory framework applicable to the applications under review by the ADP. The following subsection outlines the minutes of the meeting as they relate to the applications.

#### **4.1. Application: 877 Kent Street – Proposed Intensive Residential Development – S. Gill (Applicant)**

The Applicant provided an overview of the updates to their proposed intensive residential development since the previous ADP review on October 19, 2021.

- A member of the Panel requested clarification on the garage door for the southern house and asked if it was clear glass. The Applicant responded by saying that it was glass but reflective with privacy panels. The Panel recommended using a different material.
- A member of the Panel commented about the landscaping plan only showing small shrubs and columnar trees at the front of the properties and recommended planting some larger shrubs and tree varieties instead.
- A member of the Panel recommended dropping the ceiling height of the front entrances to match the first storey roof line along the sides of the houses.
- A member of the Panel appreciated the change to two single-family homes, which fits in with the character of the street and is less massing for the neighbourhood.
- A member of the Panel noted that the design of the north house could be improved. They recommended implementing larger windows and using some shared colours and elements between the two houses.
- A member of the Panel noted that there are some inconsistencies in the drawings because the landscaping plan appears to show gravel between the houses and along the outer edges of the properties which is not consistent with the site plans. The Applicant acknowledged the inconsistencies and confirmed that they will work with City staff to make sure the landscaping plan is consistent with other plans.

Following the receipt of final comments, the Chairperson asked for a motion.

It was **MOVED** by R. Dhall and **SECONDED** by P. Rust

**THAT** the Advisory Design Panel supports the application for the development proposal at 877 Kent Street proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Revise the design of the garage door on the south house to a different material.
- Recommendation to use larger shrubs and tree varieties at the front of the properties.
- Recommendation to lower the ceiling height of the front entrances to match the first storey roof line along the sides of the houses.
- Revise the design of the north house to have larger windows and some shared colours and elements between the two houses.
- Request for more consistency between the landscaping plan and the other site plans.

**CARRIED**

#### 4.2. Application: 1091 Stayte Road – Proposed Duplex – J. Ogden (Owner)

The Owner provided an overview of their proposed duplex development.

- A member of the Panel asked the Owner why there was a gap between the units on the second level. The Owner responded that it was an attempt to reduce the mirroring effect of the two units. The Panel noted that there may be some heat loss from having two exterior walls in the design.
- A member of the Panel recommended using a different variety of tree and plant species along the property line. It was suggested that utilizing different tree and plant species may also reduce the need for a large fence.
- A member of the Panel noted that there was a lack of windows on the rear elevation. They recommended using some colours and elements from the front elevation on the rear. They also recommended using vertical windows instead of horizontal windows.
- A member of the Panel had concerns with some mature off-site trees from the adjacent property impacting the building on the first and second floors. The Owner said that there may need to be some trimming done to prevent this. The Panel asked if the Arborist and the neighbour came to an agreement to allow the trees to be trimmed. The Owner responded by saying he will have to discuss this with the Arborist.
- A member of the Panel noted that one of the large off-site trees may not survive the construction that occurs in the root zone area. The Panel also noted that the City's new Tree Protection Bylaw may require revisions to the Arborist Report that was submitted with the application.
- A member of the Panel asked about the location of the garbage/recycling bins. City Staff responded by saying that the Applicant proposed an enclosed structure for the bins, but this may impact the setback requirements and is still under discussion.
- A member of the Panel recommended that the proposal include roughed-in electric vehicle charging infrastructure.

Following the receipt of final comments, the Chairperson asked for a motion.

It was **MOVED** by R. Dhall and **SECONDED** by F. Kubacki.

**THAT** the Advisory Design Panel supports the application for the development proposal at 1091 Stayte Road proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Recommendation to use a different variety of tree and plant species along the property line to reduce the need for a large fence.
- Recommendation to use colours and elements from the front elevation on the rear elevation.
- Revise the design to replace the horizontal windows with larger vertical windows.
- Recommendation to include roughed-in electric vehicle charging infrastructure in the design.

**CARRIED**

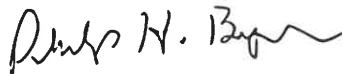
A member of the Panel requested an additional motion to update the unit addresses to align with the streets they are facing.

It was **MOVED** by P. Byer and **SECONDED** by P. Rust.

**CARRIED**

**5. CONCLUSION OF THE MEETING**

There being no further business, the Chairperson declared the meeting concluded at 5:29 pm.



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P. Byer  
Chairperson, Advisory Design Panel



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J. Calenda  
Interim Director, Planning & Development  
Services, City of White Rock