

SITE PLAN
SCALE: 1/8" = 1'

HOUSE 1081
MAIN FLOOR EL. = 47.33m

PROPOSED SINGLE FAMILY DWELLING			
CIVIC ADDRESS	1091 STAYTE ROAD, WHITE ROCK		
LEGAL DESCRIPTION	LOT 1 BLK 17 SEC 11 NWD PL NWP 14850 TWP 1		
AVERAGE GRADE	48.38m, 47.60m, 47.57, 47.70m		
MAX. BUILDING HEIGHT EL.	47.81m		
BASEMENT FLOOR SLAB EL.	48.30m		
GARAGE SLAB EL.	48.51m		
MAIN FLOOR EL.	51.61m		
UPPER FLOOR EL.	54.37m		
ROOF PEAK EL.	54.78m		
RT-1 ZONING			
LOT AREA	8052 SQ. FT.		
PERMITTED	748.06 SQ. FT.		
PROPOSED	3189 SQ. FT.		
LOT COVERAGE (45%)	3623 SQ. FT.	3189 SQ. FT.	
FLOOR AREA RATIO (50%)	4026 SQ. FT.	MF UNIT 'A'	1149 SQ. FT.
		MF UNIT 'B'	1136 SQ. FT.
		VERANDA 'A'	27,000 SQ. FT.
		VERANDA 'B'	24 SQ. FT.
		UF UNIT 'B'	830 SQ. FT.
GARAGE AREA	NA	UNIT 'A'	423 SQ. FT.
		UNIT 'B'	420 SQ. FT.
		TOTAL	844 SQ. FT.
FRONT YARD SETBACK	7.50m	7.83m	
RIGHT SIDE SETBACK (EXTERIOR)	3.80m	3.94m	
LEFT SIDE SETBACK (INTERIOR)	1.50m	1.91m	
REAR YARD SETBACK	7.50m	7.81m	
COVID DECK AREA	NA	UNIT 'A'	82 SQ. FT.
		UNIT 'B'	194 SQ. FT.
		TOTAL	276.5347 SQ. FT.
HEIGHT	7.7m	6.97m	

TREES TO BE REMOVED ARE INDICATED WITH A CROSS THROUGH THE TRUNK SYMBOL. TYP. REFER TO ARBORIST REPORT FOR MORE INFORMATION & DETAILS.

THE PATHWAY LOCATED INSIDE THE TREE PROTECTION ZONE OF TREE #678 SHALL BE ABOVE GRADE USING SLAB ON GRADE CONCRETE. THE PATHWAY SHALL BE A SUITABLE DISTANCE AWAY FROM THE BASAL FLARE OF THE TREE, AS DETERMINED BY THE PROJECT ARBORIST AT TIME OF PREPARATION / INSTALLATION. NO DIGGING IN TPZ.

6" FT. PRIVACY FENCE. FENCE POSTS TO BE HAND DUG. DO NOT CUT ROOTS. CONTACT PROJECT ARBORIST 3 WORKING DAYS IN ADVANCE OF WORKING IN TPZ.

3" FENCE. FENCE POSTS TO BE HAND DUG. DO NOT CUT ROOTS. CONTACT PROJECT ARBORIST 3 WORKING DAYS IN ADVANCE OF WORKING IN TPZ.

SIDEWALKS ARE TO BE RECONSTRUCTED FROM CURB TO PROPERTY LINE AT THE APPLICANT'S EXPENSE. CASH IN LIEU FOR POROUS SIDEWALK ON STAYTE ROAD.

3" FENCE. FENCE POSTS TO BE HAND DUG. DO NOT CUT ROOTS. CONTACT PROJECT ARBORIST 3 WORKING DAYS IN ADVANCE OF WORKING IN TPZ.

NOTES

- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE; 2018 EDITION
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF CSA 3.A231 LATEST EDITION.
- CONCRETE STRENGTH AT 28 DAYS, MIN. 15 MPa, AND 20 MPa FOR FLOORS, AND 32 MPa FOR GARAGE SLABS
- ALL FRAMING AND NAILING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION.
- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
- WOOD TRUSSES SHALL BE DESIGNED AND SEALED BY P. ENG. REGISTERED IN B.C.
- ALL PLYWOOD SHALL BE DOUGLAS FIR AND CONFORM TO CSA 0121 LATEST EDITION.
- ALL NEW WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW NAFS STANDARDS AND SPECIFICATIONS (9.7.4 B.C.B.C. 2018 EDITION)
- THE OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
- ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.
- PROTECTIVE GRATE ENCLOSURE CONFORMING TO 9.9.10.1.(5) TO BE INSTALLED OVER WINDOW WELLS
- WINDOW SEATS RAISED A MINIMUM OF 0.5m FROM THE FLOOR

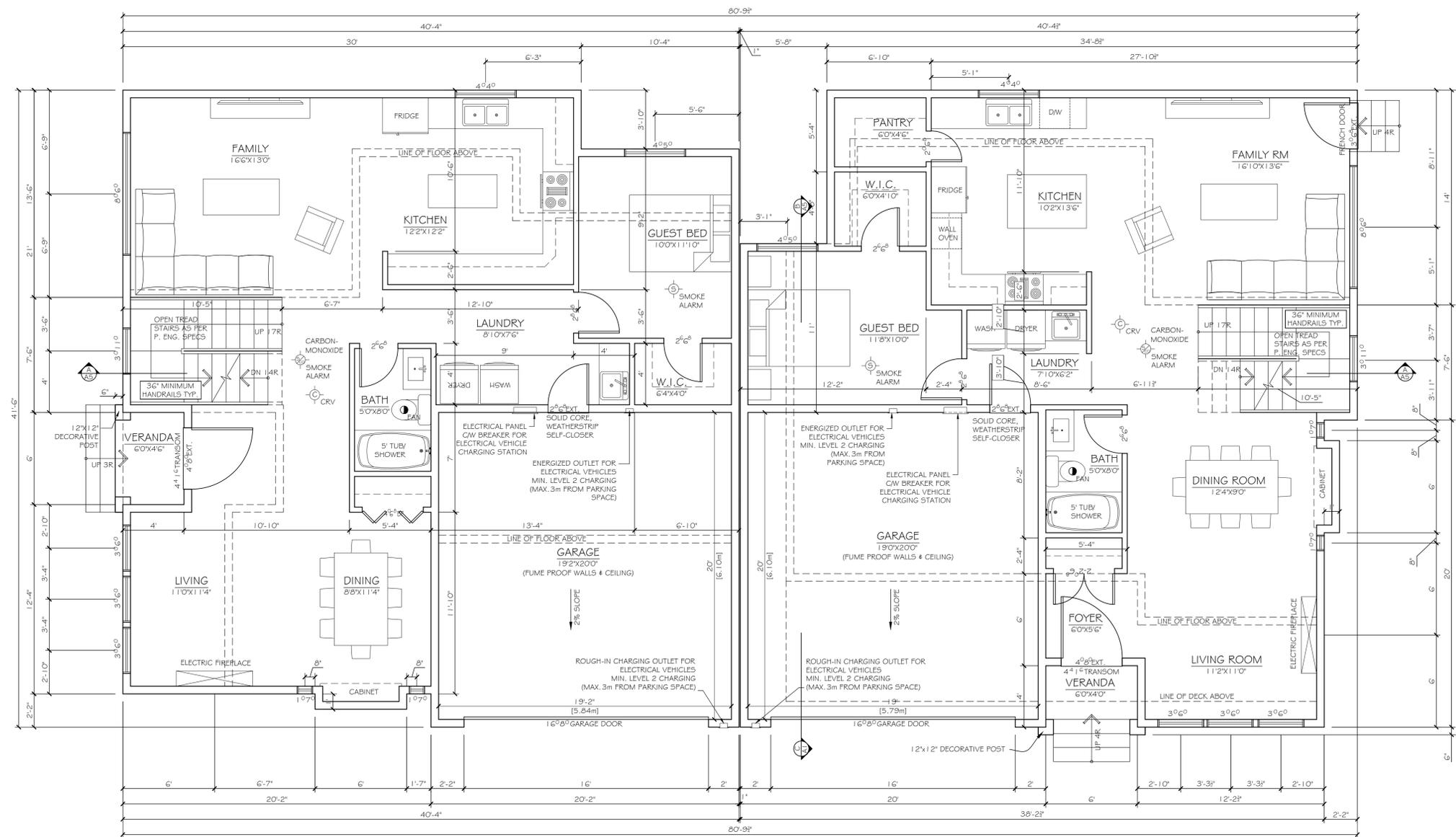
THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
 FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
 EMAIL: toorahomes@gmail.com

PROPOSED DUPLEX FOR
 LOT 1 @ 1091 STAYTE ROAD
 WHITE ROCK, B.C.

TITLE:	SITE PLAN	DESIGNER:	RAJ TOORA	AI
SCALE:	1/8" = 1'	DRAWN BY:	JAQUELINE CRUZ	
DATE:	FEB/2022			



MAIN FLOOR UNIT A

SCALE: 1/4" = 1'

NET FLOOR AREA =	1149 SQ. FT.
GROSS FLOOR AREA =	1573 SQ. FT.
GARAGE FLOOR AREA =	423 SQ. FT.
VERANDA AREA (PARTLY ENCLOSED) =	27 SQ. FT.

MAIN FLOOR UNIT B

SCALE: 1/4" = 1'

NET FLOOR AREA =	1138 SQ. FT.
GROSS FLOOR AREA =	1558 SQ. FT.
GARAGE FLOOR AREA =	420 SQ. FT.
VERANDA AREA (PARTLY ENCLOSED) =	24 SQ. FT.

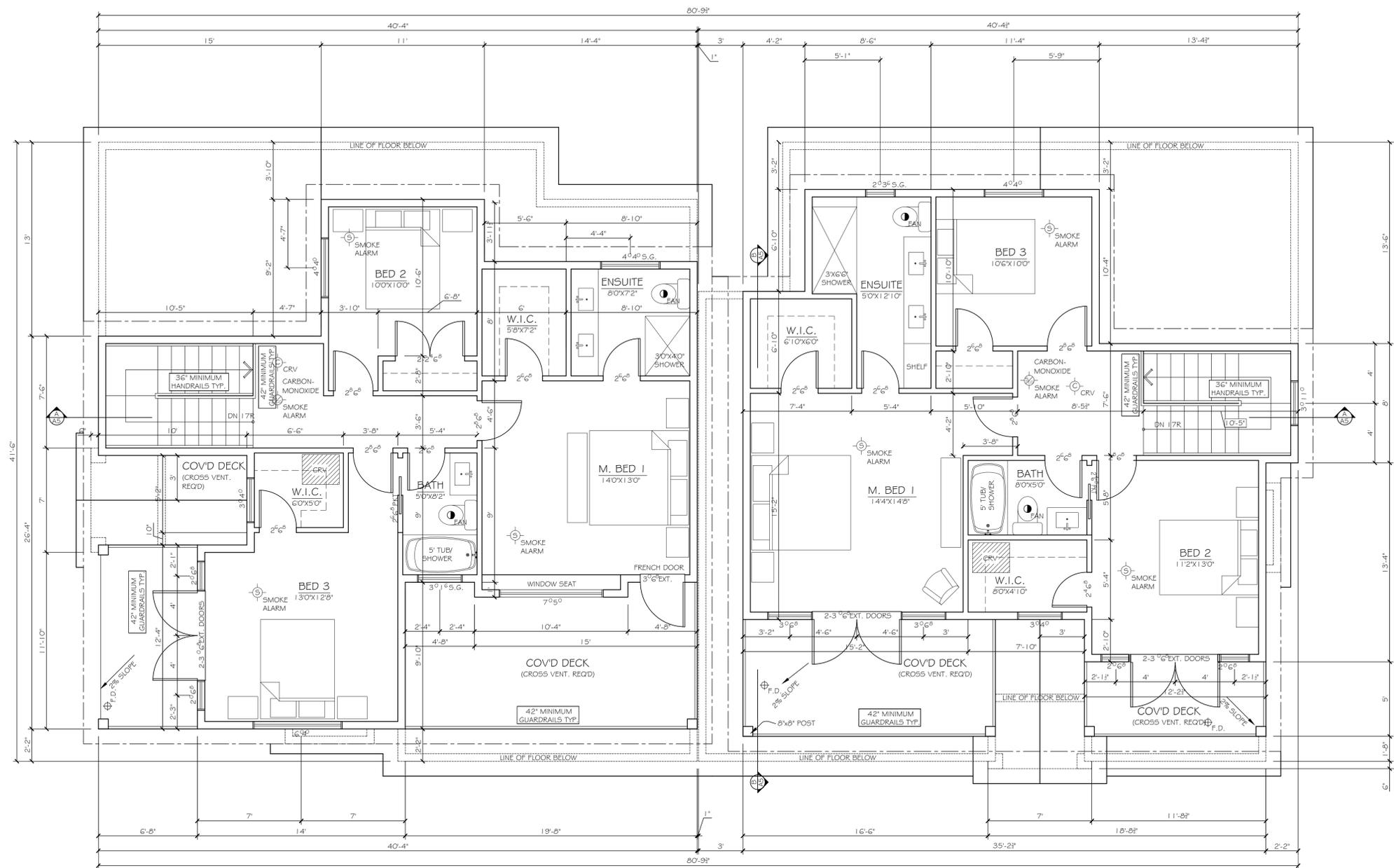
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 LOT 1 @ 1091 STAYE ROAD
 WHITE ROCK, B.C.

TITLE:	MAIN FLOOR PLAN
SCALE:	1/4" = 1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ



UPPER FLOOR - UNIT A
SCALE: 1/4" = 1'

NET FLOOR AREA =	830 SQ. FT.
LESS OPEN AREA =	69 SQ. FT.
GROSS FLOOR AREA =	899 SQ. FT.
COV'D DECK AREA =	82 SQ. FT.

UPPER FLOOR - UNIT B
SCALE: 1/4" = 1'

NET FLOOR AREA =	854 SQ. FT.
LESS OPEN AREA =	69 SQ. FT.
GROSS FLOOR AREA =	923 SQ. FT.
COV'D DECK AREA =	194 SQ. FT.

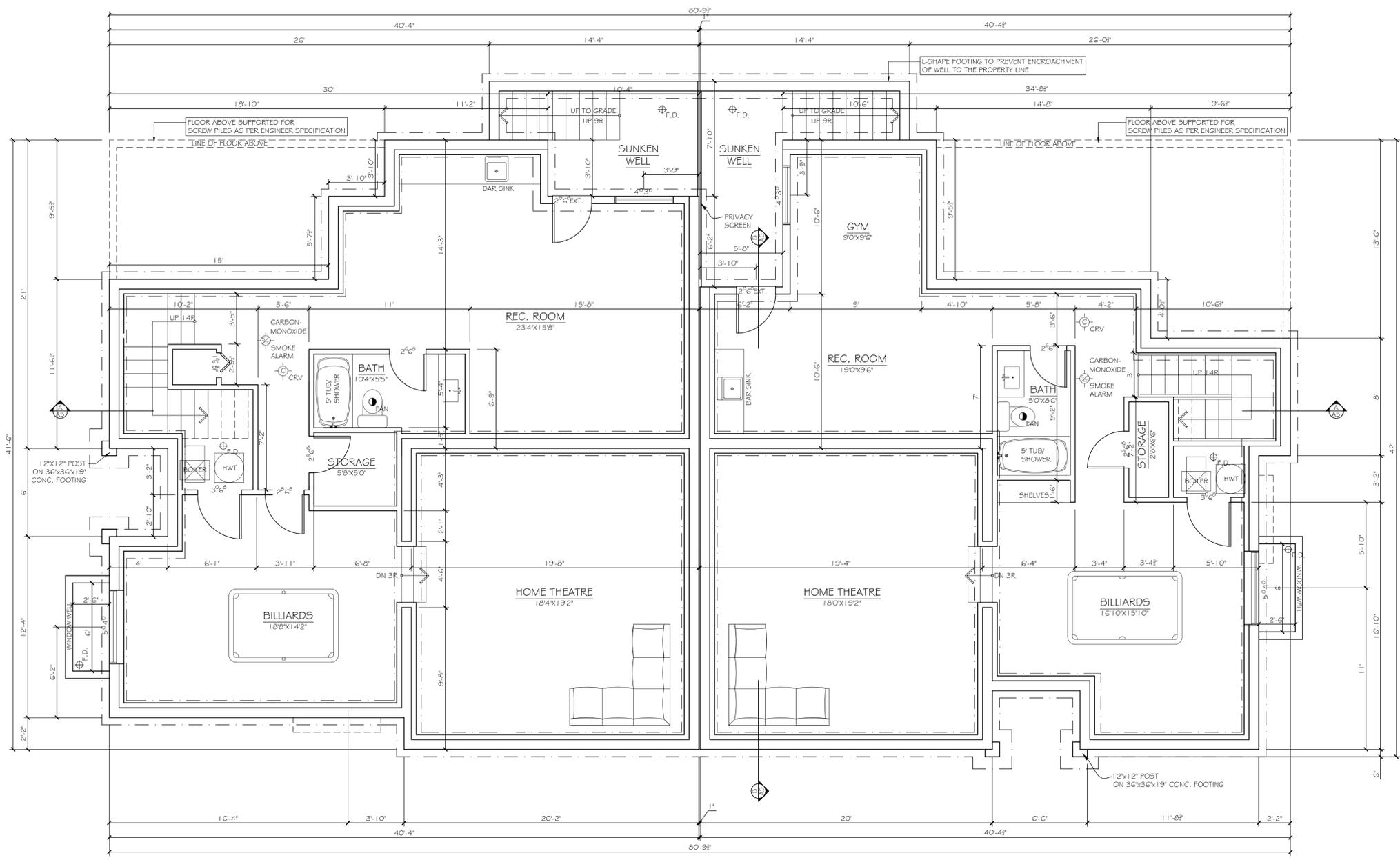
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PROPOSED DUPLEX FOR
 LOT 1 @ 1091 STAYTE ROAD
 WHITE ROCK, B.C.

TITLE:	UPPER FLOOR PLAN
SCALE:	1/4" = 1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ



BASEMENT FLOOR UNIT A
SCALE: 1/4"=1'

GROSS FLOOR AREA =	1410 SQ. FT.
SUNKEN WELL AREA =	96 SQ. FT.

BASEMENT FLOOR UNIT B
SCALE: 1/4"=1'

GROSS FLOOR AREA =	1289 SQ. FT.
SUNKEN WELL AREA =	113 SQ. FT.

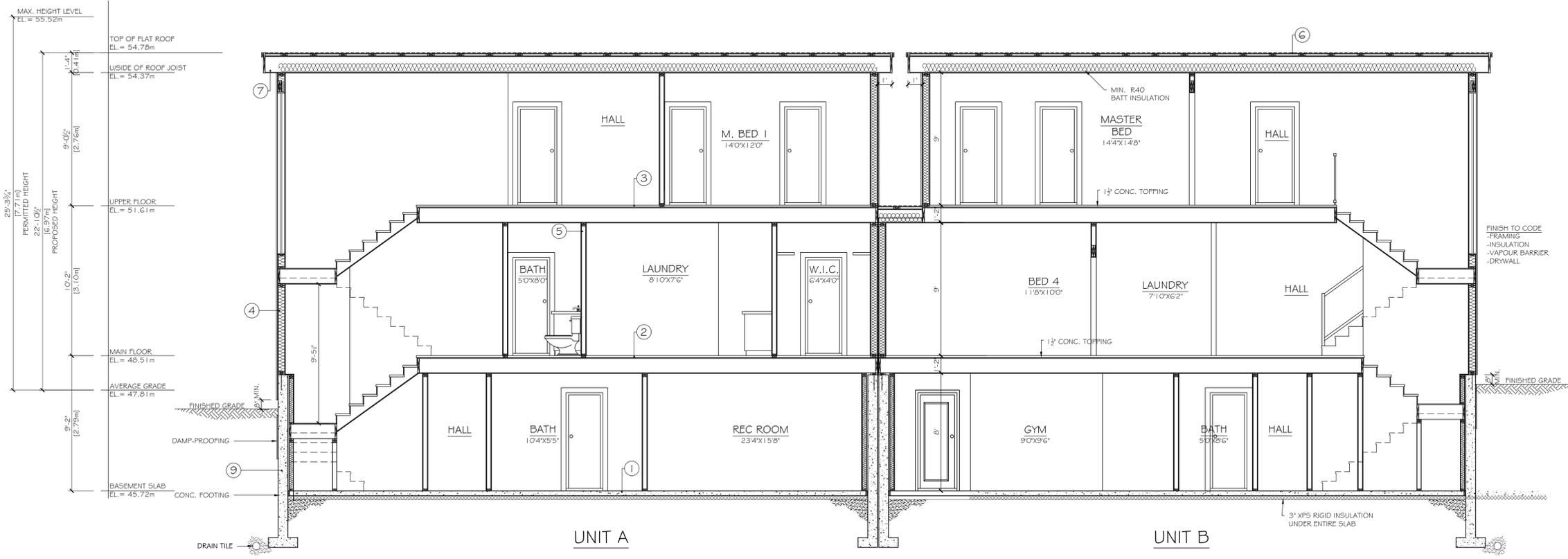
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TOORA HOME PLANS

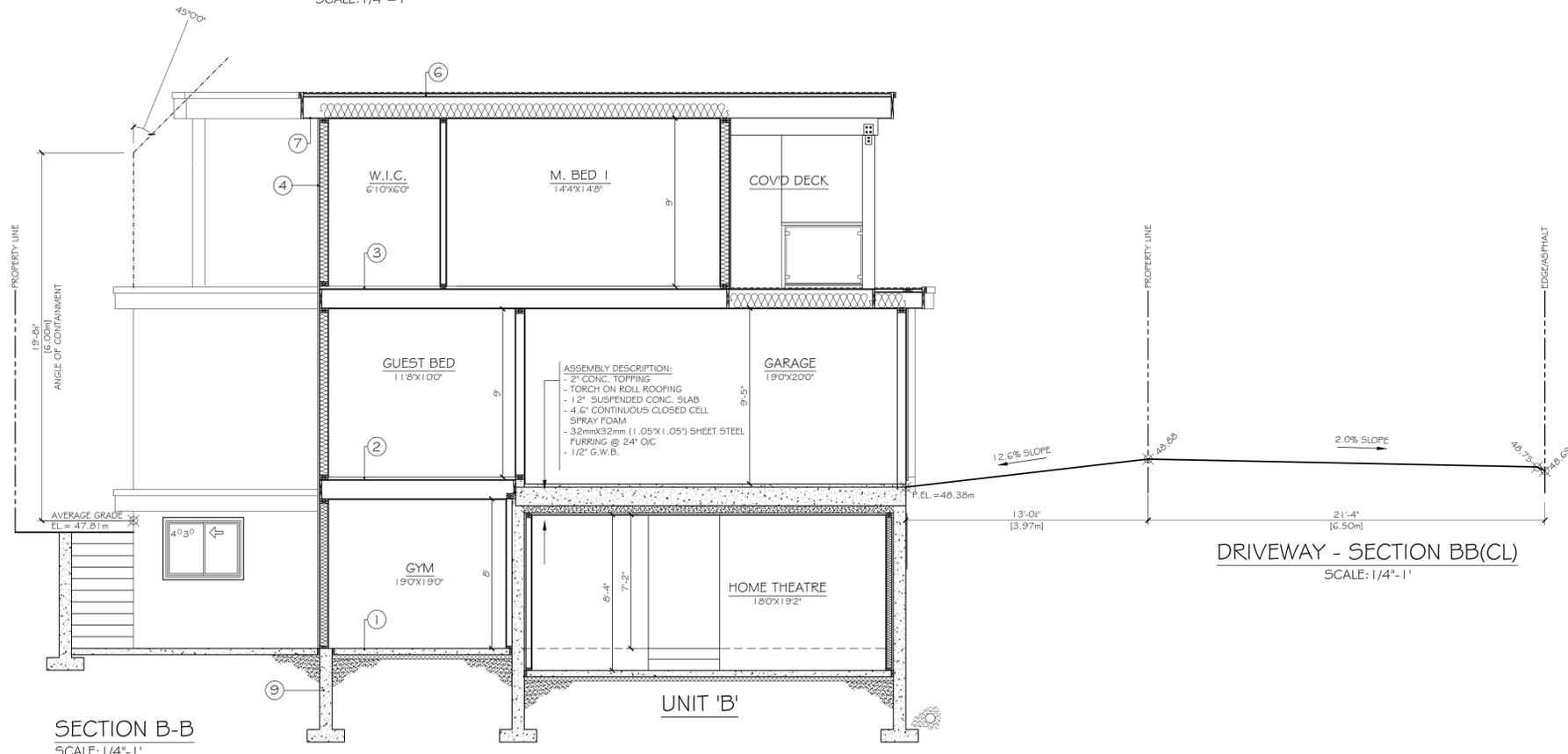
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PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	BASEMENT FLOOR PLAN
SCALE:	1/4"=1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ



SECTION A-A
SCALE: 1/4" = 1'



DRIVEWAY - SECTION BB(CL)
SCALE: 1/4" = 1'

SECTION B-B
SCALE: 1/4" = 1'

CONSTRUCTION SPECIFICATIONS

- 1 SLAB
 - 4" CONC. SLAB
 - 6X6 WELDED WIRE MESH
 - 6 MIL. POLY VAPOR BARRIER
 - 6" MIN. COMPACTED SAND (TYPICAL)
- 2 MAIN FLOOR
 - 3/4" TAG PLYWOOD SUBFLOOR GLUED & SCREWED
 - 1 1/2" TJI FL. JST. @ 16" O/C (U.N.O.)
 - CROSS-BRIDGING/BLOCKING AS PER MFG SPECS
 - 1/2" G.W.B.
- 3 UPPER FLOOR
 - 3/4" TAG PLYWOOD SUBFLOOR GLUED & SCREWED
 - 1 1/2" TJI FL. JST. @ 16" O/C (U.N.O.)
 - CROSS-BRIDGING/BLOCKING AS PER MFG SPECS
 - 1/2" G.W.B.
- 4 EXTERIOR WALLS (PRINCIPAL BUILDING)
 - STONE, FIBER CEMENT PANELS & HARDIE SIDING
 - 5/8" CAPILLARY AIR SPACE
 - AIR BARRIER/ SHEATHING MEMBRANE
 - PRE-PAINTED METAL FLASHING
 - 1/2" EXT. GRADE PLYWOOD SHEATHING
 - 2X6 STUDS @ 16" o/c (U.N.O.)
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOR BARRIER
 - 1/2" G.W.B.
- 5 INTERIOR PARTITIONS
 - 1/2" G.W.B. BOTH SIDES (U.N.O.)
 - 2x4 STUDS @ 16" O/C (U.N.O.)
 - (* REFER TO DETAILS FOR FIRE-RATED WALLS)
- 6 FLAT ROOF
 - TORCH ON ROOF
 - BUILDING PAPER
 - 5/8" TAG PLYWOOD SHEATHING
 - TJI JOISTS AS PER STRUCTURAL ENGINEER DRAWINGS
 - R40 BATT INSULATION
 - 6 MIL. POLY VAPOR BARRIER
 - 5/8" G.W.B.
- 7 EAVES
 - INTEGRAL GUTTER SYSTEM
 - 2x10 FASCIA BOARD
 - 2x4 BACK NAILER
 - METAL SOFFIT WITH 2" CONT. SCREEN VENT
 - UNVENTED ALUMINUM SOFFIT @ O/H WITHIN 1.2m OF FL.
- 8 ATTIC VENTILATION
 - 2" BAFFLE CLEARANCE WITH INSULATION STOPS
- 9 FOUNDATION
 - SEE FOUNDATION DETAIL ON STRUCTURAL DRAWINGS
- 10 GARAGE SLAB
 - 2" CONC. TOPPING
 - TORCH ON ROLL ROOFING
 - 1 1/2" SUSPENDED CONC. SLAB
 - 4 1/2" CONTINUOUS CLOSED CELL SPRAY FOAM
 - 32mm x 32mm (1.05" x 1.05") SHEET STEEL FURRING @ 24" O/C
 - 1/2" G.W.B.

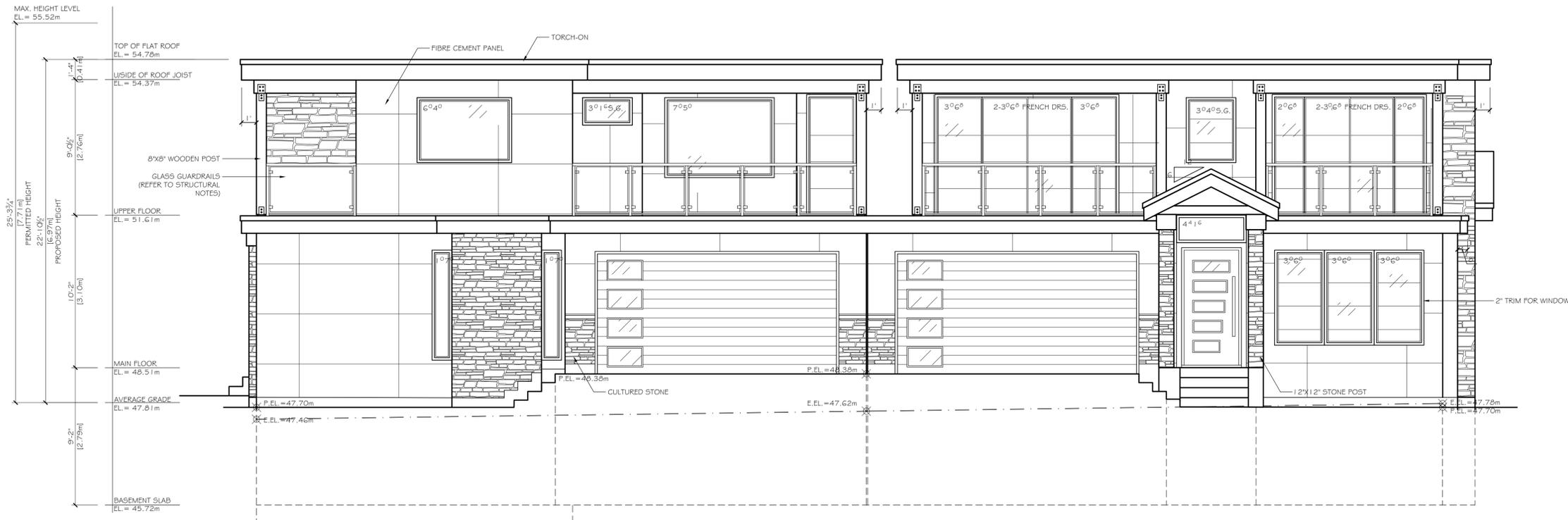
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TOORA HOME PLANS

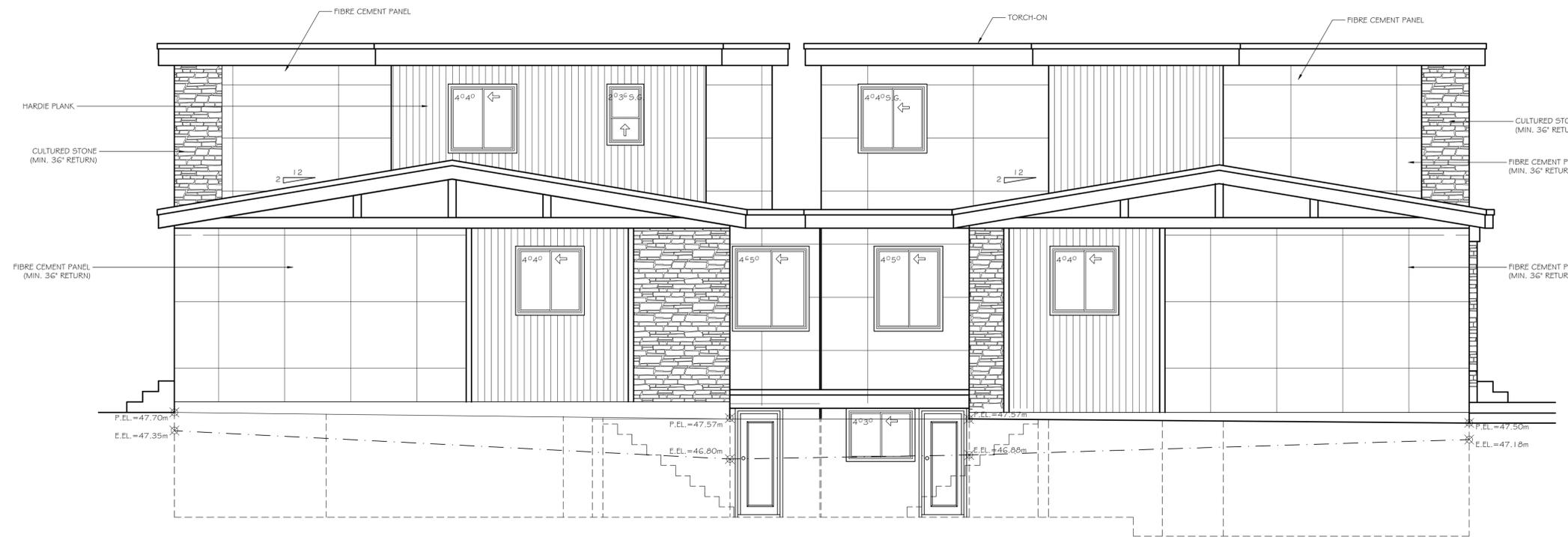
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 LOT 1 @ 1091 STAYTE ROAD
 WHITE ROCK, B.C.

TITLE:	SECTIONS	A5
SCALE:	1/4" = 1'	
DATE:	FEB/2022	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JAQUELINE CRUZ	



UNIT 'A' FRONT ELEVATION (NORTH) UNIT 'B'
SCALE: 1/4" = 1'



UNIT 'B' REAR ELEVATION (SOUTH) UNIT 'A'
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.96 m
TOTAL EXPOSED WALL AREA	732 SQ. FT.
PERMITTED OPENING (9.51%)	70 SQ. FT.
PROPOSED OPENING	44.0 SQ. FT.

LIMITING DISTANCE	1.91 m
TOTAL EXPOSED WALL AREA	806 SQ. FT.
PERMITTED OPENING (9.23%)	74 SQ. FT.
PROPOSED OPENING	52.0 SQ. FT.

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PROPOSED DUPLEX FOR
 LOT 1 @ 1091 STAYTE ROAD
 WHITE ROCK, B.C.

TITLE:	ELEVATIONS
SCALE:	1/4" = 1' DESIGNER: RAJ TOORA
DATE:	FEB/2022 DRAWN BY: JAQUELINE CRUZ



OTHER MATERIALS:
ALUMINUM & GLASS GUARDRAIL SYSTEM - BLACK
GABLE ROOF - GREY ASPHALT SHINGLES
4" HARDIE TRIM, PAINTED - BLACK ONYX 2133-10 BENJAMIN MOORE
EXT. STEEL DOOR WITH VIEW LITE, PAINTED - BLACK ONYX BENJAMIN MOORE
METAL FASCIA, PAINTED - BLACK ONYX BENJAMIN MOORE
WOOD POST, PAINTED - WHITE DOWN CC50 BENJAMIN MOORE
WINDOWS FRAME - BLACK
STEPS - EXPOSED CONCRETE



UNIT 'A'

FRONT ELEVATION (NORTH)
SCALE: 1/4" = 1'

UNIT 'B'



UNIT 'B'

REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'

UNIT 'A'

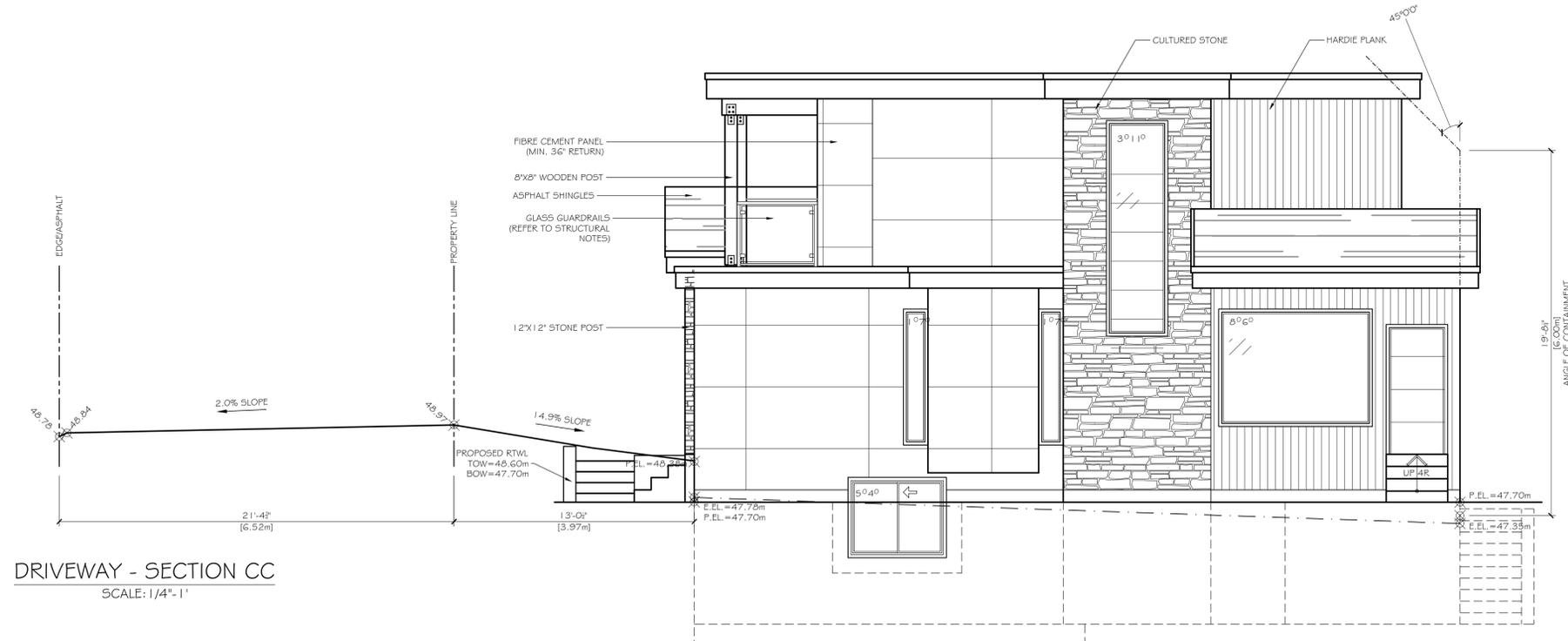
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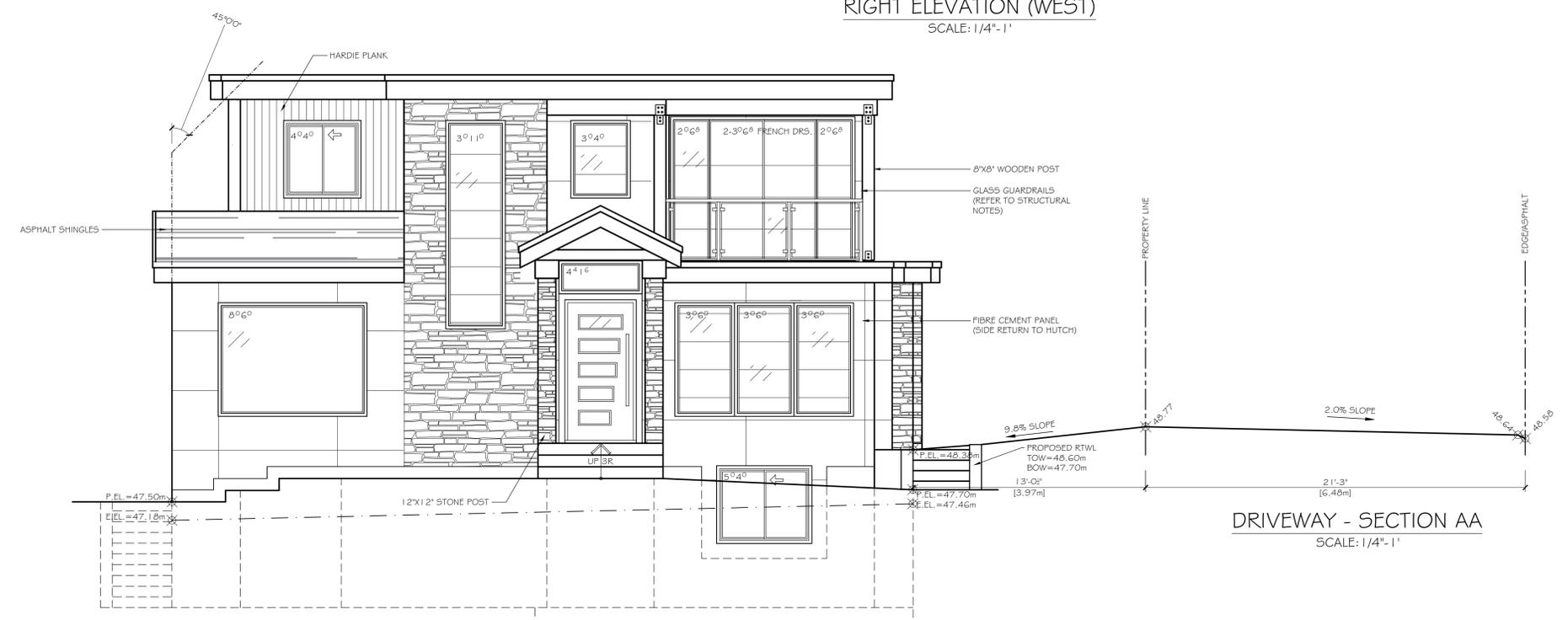
PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	COLOURED ELEVATIONS	A6.1
SCALE:	1/4" = 1'	
DATE:	FEB/2022	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JAQUELINE CRUZ	



DRIVEWAY - SECTION CC
SCALE: 1/4" = 1'

UNIT 'B'
RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'



UNIT 'A'
LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'

DRIVEWAY - SECTION AA
SCALE: 1/4" = 1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

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PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	ELEVATIONS & DETAILS
SCALE:	AS NOTED
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ



① STONE
ARCTIC PACIFIC ART STONE (OR SIMILAR)



② METAL FASCIA / TRIMS
BLACK ONYX 2133-10 BENJAMIN MOORE



③ FIBER CEMENT PANELS
WHITE DOWN CC50 - BENJAMIN MOORE



④ HARDIE PANEL VERTICAL SIDING
NIGHT GRAY JAMES HARDIE

OTHER MATERIALS:

- ALUMINUM 4 GLASS GUARDRAIL SYSTEM - BLACK
- 4" HARDIE TRIM, PAINTED - BLACK ONYX 2133-10 BENJAMIN MOORE
- EXT. STEEL DOOR WITH VIEW LITE, PAINTED - BLACK ONYX BENJAMIN MOORE
- METAL FASCIA, PAINTED - BLACK ONYX BENJAMIN MOORE
- WOOD POST, PAINTED - WHITE DOWN CC50 BENJAMIN MOORE
- WINDOWS FRAME - BLACK
- STEPS - EXPOSED CONCRETE



UNIT 'B'
RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'



UNIT 'A'
LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2018.

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PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	COLOURED ELEVATIONS	A7.1
SCALE:	AS NOTED	
DATE:	FEB/2022	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JAQUELINE CRUZ	



1091
NORTH ELEVATION
(CLIFF AVENUE)



15970



1081
EAST ELEVATION
(STAYTE ROAD)



1091

THESE PLANS CONFORM TO REQUIREMENTS IN THE
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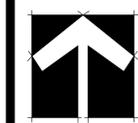
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PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	STREET PROFILE & RENDERINGS
SCALE:	N/TS
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAUQUELINE CRUZ

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
7	22 JUN 27	UPDATE PER CITY COMMENTS	CLG
6	22 APR 21	COMMENTS FROM CLIENT	WZ
5	22 APR 11	UPDATE PER COMMENTS	WZ
4	21 OCT 25	UPDATE PER ARBORIST PLAN	CLG
3	21 JUL 13	UPDATE PER NEW SITE PLAN	CLG
2	21 JAN 13	UPDATE PER NEW SITE PLAN	CLG
1	20 FEB 04	ISSUED FOR SUBMISSION	CLG

CLIENT:

PROJECT:

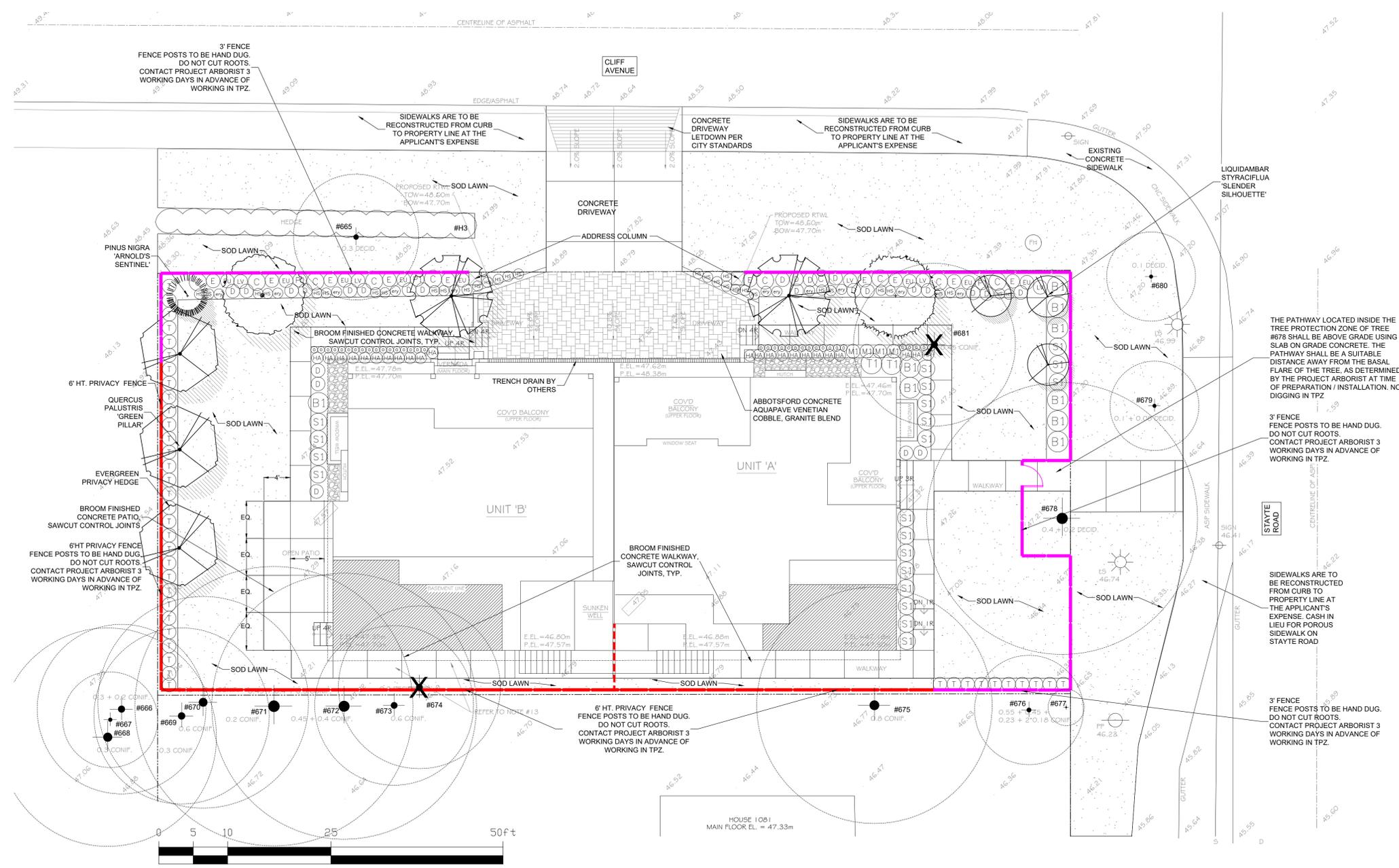
**PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK**

DRAWING TITLE:
**LANDSCAPE
PLAN**

DATE: 20 JAN 17 DRAWING NUMBER:
SCALE: 1:100
DRAWN: CLG
DESIGN: CLG
CHK'D: PC

L1

OF 3



GINKGO BILOBA 'PRINCETON SENTRY'



QUERCUS PALUSTRIS 'GREEN PILLAR'



STYRAX JAPONICUS 'SNOWCONE'



CORNUS KOUSA 'SATOMI'



PINUS NIGRA 'ARNOLDS SENTINEL'



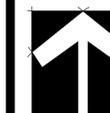
MAGNOLIA GRANDIFLORA 'EDITH BOGUE'

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
(A)	1	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	6.0CM CAL; B&B
(B)	1	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	6.0CM CAL; 2M STD; B&B
(C)	1	MAGNOLIA GRANDIFLORA 'EDITH BOGUE'	'EDITH BOGUE' SOUTHERN MAGNOLIA	6.0CM CAL; B&B
(D)	1	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT; B&B
(E)	1	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	6.0CM CAL; 1.8M STD; B&B
(F)	1	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	6.0CM CAL; 1.5M STD; B&B
SHRUB				
(G)	9	BERBERIS THUNBERGII 'ROSE GLOW'	ROSE PURPLE FOLIAGE BARBERY	#3 POT; 40CM
(H)	8	ELONYMUS JAPONICUS 'GREEN SPIRE'	GREEN SPIRE ELONYMUS	#3 POT; 50CM
(I)	4	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#3 POT; 50CM
(J)	20	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#3 POT; 60CM
(K)	2	TAXUS BACCATA 'FASTIGIATA'	COLUMNAR IRISH YEW	1.0M B&B
(L)	40	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.5M HT; B&B
GRASS				
(M)	10	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(N)	25	DESCHAMPSIA CESPITOSA 'GOLDFAU'	GOLD DEW TUFTED HAIR GRASS	#1 POT
(O)	23	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
(P)	32	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
(Q)	35	OPHIPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
(R)	10	ECHINACEA PURPUREA 'WHITE SWAN'	WHITE CONEFLOWER	15CM POT
(S)	11	ERYNGIUM 'SAPPHIRE BLUE'	SAPPHIRE BLUE SEA HOLLY	#1 POT
(T)	5	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER PURPLE	#1 POT
(U)	3	PEROVSKIA ATRIPICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	15CM POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CAN STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFERRED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

REQUIRED REPLACEMENT TREES: 26 (PER ARBORIST REPORT)
PROPOSED REPLACEMENT TREES: 12

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
7	22.JUN.27	UPDATE PER CITY COMMENTS	CLG
6	22.APR.21	COMMENTS FROM CLIENT	WZ
5	22.APR.11	UPDATE PER COMMENTS	WZ
4	21.OCT.25	UPDATE PER ARBORIST PLAN	CLG
3	21.JUL.13	UPDATE PER NEW SITE PLAN	CLG
2	21.JAN.13	UPDATE PER NEW SITE PLAN	CLG
1	20.FEB.04	ISSUED FOR SUBMISSION	CLG

CLIENT:

PROJECT:

PROPOSED DUPLEX FOR

**LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK**

DRAWING TITLE:

**TREE MANAGEMENT
PLAN**

DATE: 20.JAN.17 DRAWING NUMBER:

SCALE: 1:100

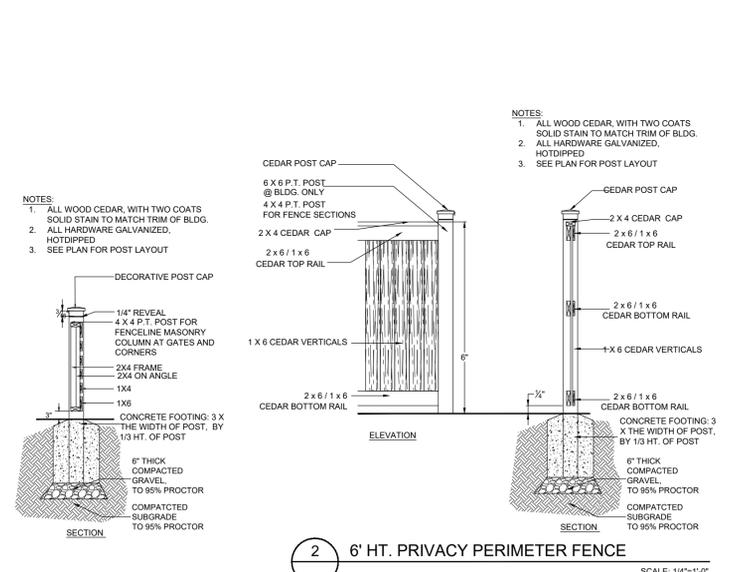
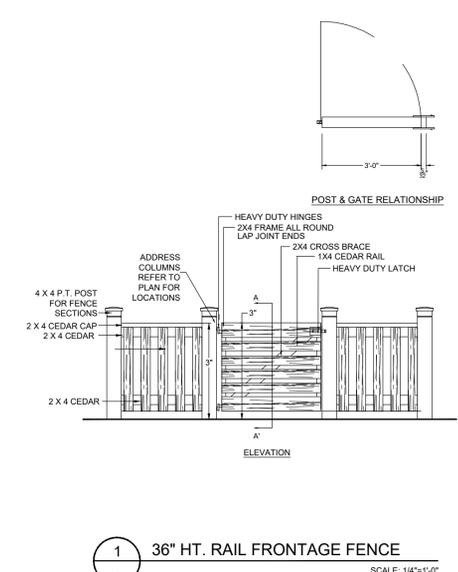
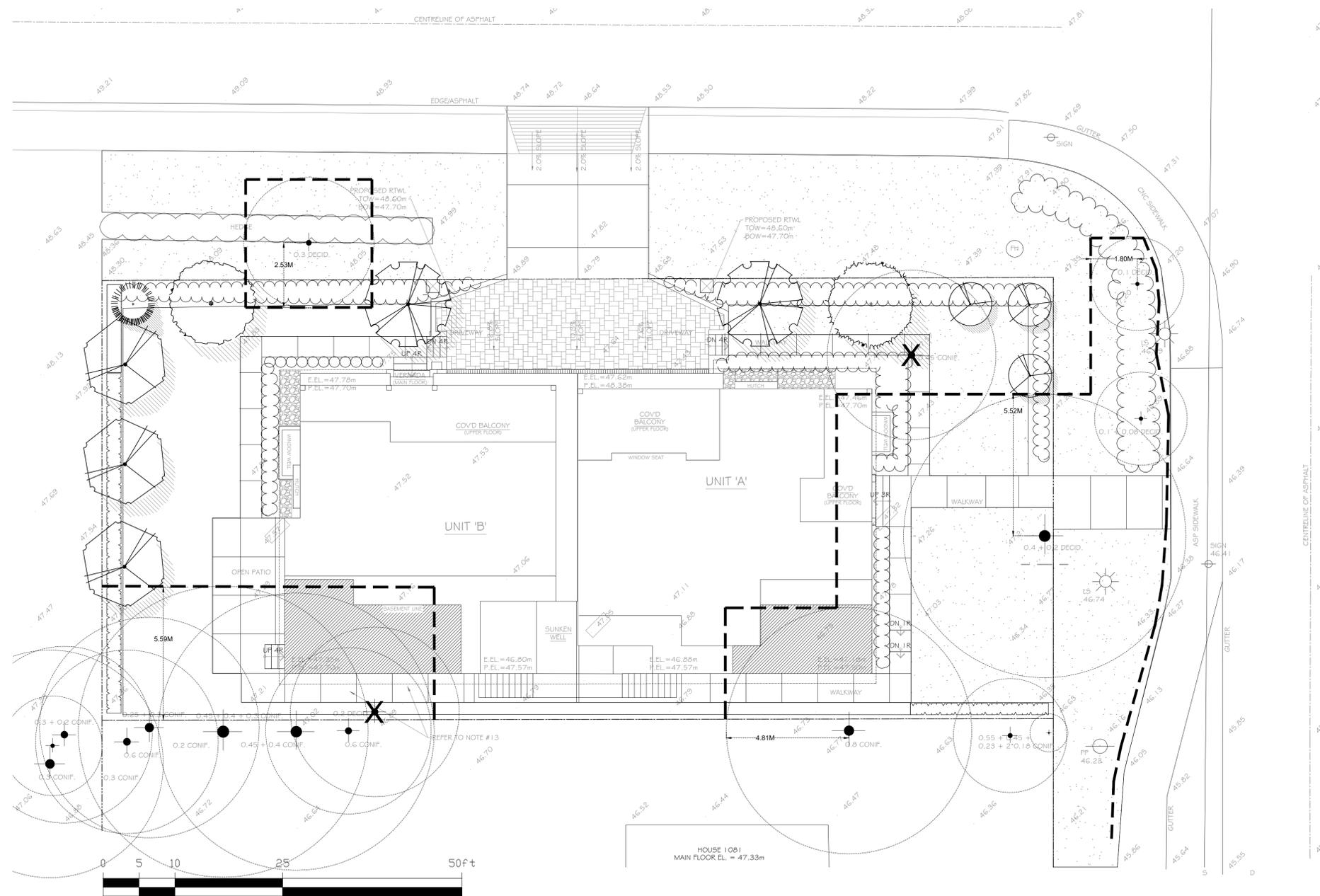
DRAWN: CLG

DESIGN: CLG

CHK'D: PC

L2

OF 3



- NOTES:
1. ALL WOOD CEDAR, WITH TWO COATS SOLID STAIN TO MATCH TRIM OF BLDG.
 2. ALL HARDWARE GALVANIZED, HOTDIPPED
 3. SEE PLAN FOR POST LAYOUT

- NOTES:
1. ALL WOOD CEDAR, WITH TWO COATS SOLID STAIN TO MATCH TRIM OF BLDG.
 2. ALL HARDWARE GALVANIZED, HOTDIPPED
 3. SEE PLAN FOR POST LAYOUT

PART ONE GENERAL REQUIREMENTS

11 REFERENCES
1. CCDC Doc 2 008
2. Canadian Landscape Standard, latest edition, prepared by the Canadian Society of Landscape Architects and the Canadian Landscape & Nursery Association...
3. MASTER MUNICIPAL SPECIFICATIONS & STANDARD DETAILS, 2000 edition, prepared by the Consulting Engineers of British Columbia...

12 TESTING
1. A current (not more than one month) test for all growing medium to be used on this site is required.
2. Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.

13 SUBMITTALS
1. Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.
2. Submittals to consist of product sample or manufacturer's product description.

14 SITE REVIEW
1. Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer...
2. Start up Site Meeting, Landscape Contract. At the start of work with Owner's Representative, Site Superintendent and Landscape Contractor...

15 WORKMANSHIP
1. Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor.
2. All work and superintendent shall be performed by personnel skilled in landscape contracting.
3. A site visit is required to become familiar with the site conditions before bidding and before start of work.

16 WARRANTIES
1. Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.
2. Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

2.1 SCOPE OF WORK
1. Other conditions of Contract may apply. Confirm Scope of Work at time of tender.
2. Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications...

2.2 MATERIALS
1. Growing Medium: Conform to Canadian Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below.
2. Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P2O5) and Potash (Soluble 2) in proportions required by soil test.

3. Line: Ground agricultural limestone. Meet requirements of the Canadian Landscape Standard.
4. Organic Additive: Commercial compost product to the requirements of the Canadian Landscape Standard, latest edition and pre-approved by the Landscape Architect.

5. Sand: Clean, washed pump sand to meet requirements of the Canadian Landscape Standard.
6. Composted Bark Mulch: 10mm (3/8") minus Fir/Henlock bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter.

7. Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes.
8. Filter Fabric: A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles.

9. Drain Pipe: Clean, round, inert, durable, and have a maximum size of 90mm and containing no material smaller than 10mm.
10. Plant Material: To the requirements of the Canadian Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free nursery.

11. Sod: Refer to individual sections in this specification.
12. Supplier and installers of segmental block walls to provide engineered drawings for all walls signed and sealed drawings for all walls, individually, in excess of 1.2m, or combinations of walls collectively in excess of 12m.

13. Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

3.1 RETENTION OF EXISTING TREES
1. Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas.
2. A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail.
3. No machine travel through or within vegetation retention areas or under crowns of trees to be retained is allowed.

3.2 GRADES
1. Ensure subgrade is prepared to conform to depths specified in Section 3.5, Growing Medium Supply below.
2. On slopes in excess of 3:1 trench subgrade across slope to 50mm (6") minimum at 15m (5 ft.) intervals minimum.

3.3 LANDSCAPE DRAINAGE
1. Related Work: Growing medium and Finish Grading, Grass Areas, Trees, Shrubs and Groundcovers, Planters, Curb Walls.
2. Work Included: Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans.

3.4 GROWING MEDIUM TESTING
1. Submit representative sample of growing medium proposed for use on this project to an independent laboratory.
2. Physical properties, % content of gravel, sand, silt, clay and organics.
3. Nutrient levels of phosphate and trace elements and recommendations for required soil amendments.

3.5 GROWING MEDIUM SUPPLY AND PLACEMENT
1. Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is likely to be damaged.
2. Supply all growing medium additives as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the various areas.

3.6 ROUGH GRASS AREA - SEEDING
1. General: Rough Grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boulevards to edge of roads and lanes.
2. Preparation of Surfaces: To Canadian Landscape Standard (Class 3 Areas (Rough Grass) Section 11.1.3)

3.7 HYDROSEEDING
1. May be used as an alternate to mechanical seeding in rough grass areas.
2. May not be used in areas of lawn unless pre-approved by the Landscape Architect prior to bidding.
3. Preparation and Growing Medium.
4. Protection: Ensure that fertilizer in solution does not come in contact with the foliage of any trees, shrubs, or other susceptible vegetation.

3.8 LAWN AREAS - SOODING
1. General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of roads and lanes.
2. Growing Medium: Conform with Section 2.2.1, Growing Medium.
3. Time of Sodding: Sod from April 1st to October 31st.

Table with 4 columns: Area, Description, Quality Grade, Major Species. Row 1: CLASS 1 Lawn, 1st mow on prepared bed, 2nd mow on prepared bed...

3.9 PLANTS AND PLANTING
1. Conform to planting layout as shown on Landscape Plans.
2. Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.
3. Make edge of beds with smooth clean defined lines.

3.10 Excavation
1. Excavation
2. Drainage of Planting Holes
3. Planting and Fertilizing Procedures.

3.11 Staking of Trees
1. Staking of Trees
2. Leave the tree carefully vertical.
3. Use two 2"x2"x5' stakes, unless superseded by municipal requirements.

3.12 Plant Material Maintenance
1. Maintain all plant material for 60 days after landscape work has received a Certificate of Completion.
2. Watering: Conform to Canadian Landscape Standard, Section 13.3.2 - Watering and generally as follows.

3.13 Plant Warranty
1. Replace all unsatisfactory plant material except those designated "Specimen" for a period of one (1) year after the Certificate of Completion.
2. The Owner is responsible to supply water at its extra cost to the Contractor.

3.14 Mulching
1. Mulch all planting areas with an even layer of mulch to 2-1/2" - 3" (65 - 75mm) depth.
2. Mulch all areas of lawn with a minimum of 10mm (3/8") mulch.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

8. Application Rate
8.1 Seed Mixture: 156 kg/ha (125 lbs/acre)
8.2 Fertilizer: 112 kg/ha (100 lbs/acre)
8.3 Coastal/Wildflower Mix: Where specified, apply 130 lbs/acre (174 lb. of grass seed)

12. Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner.
13. Acceptance of the Rough Grass Areas: Proper germination of all specified grass species is the responsibility of the Landscape Contractor.

38 LAWN AREAS - SOODING
1. General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of roads and lanes.
2. Growing Medium: Conform with Section 2.2.1, Growing Medium.

Table with 4 columns: Area, Description, Quality Grade, Major Species. Row 1: CLASS 1 Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass.

6. Lime: The lime shall be as defined in Section 2.2.3, Materials. Apply at rates recommended in required soil test.
7. Fertilizer: Refer to Section 2.2.2 Materials. Apply specified fertilizer at rates shown in the required soil test.

9. Grass Areas Establishment
9.1 Watering: Use hoses and sprinklers, irrigation systems or other methods to apply water to Class 1 and Class 2 grassed areas.
9.2 Weed, Insect and Disease Control: Inspect grass areas each time they are mowed for weeds, insect pests, and diseases.

9.3 Fertilizing: According to soil analysis
9.4 Liming: According to soil analysis
9.5 Mowing and Trimming - All areas: The first four cuts shall be a sharp rotary type mower.

9.6 Aeration: Aeration not required in the first growing season, aerate in early May with a suitable mechanical core.
9.7 Irrigation: Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass areas.

9.8 Planting and Fertilizing Procedures
9.9 Planting and Fertilizing Procedures
10. Excavation
10.1 Excavation
10.2 Excavation

10.3 Planting and Fertilizing Procedures
10.4 Planting and Fertilizing Procedures
10.5 Planting and Fertilizing Procedures

10.6 Planting and Fertilizing Procedures
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10.8 Planting and Fertilizing Procedures

10.9 Planting and Fertilizing Procedures
10.10 Planting and Fertilizing Procedures
10.11 Planting and Fertilizing Procedures

10.12 Planting and Fertilizing Procedures
10.13 Planting and Fertilizing Procedures
10.14 Planting and Fertilizing Procedures

10.15 Planting and Fertilizing Procedures
10.16 Planting and Fertilizing Procedures
10.17 Planting and Fertilizing Procedures

10.18 Planting and Fertilizing Procedures
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10.24 Planting and Fertilizing Procedures
10.25 Planting and Fertilizing Procedures
10.26 Planting and Fertilizing Procedures

10.27 Planting and Fertilizing Procedures
10.28 Planting and Fertilizing Procedures
10.29 Planting and Fertilizing Procedures

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

18.4. For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season if, in his opinion, leaf development and growth is not sufficient to ensure future satisfactory growth.
18.5. Where the Owner is responsible for plant maintenance and has not provided adequate maintenance, the plant replacement section of the contract may be declared void.

3.9.1 INSTALLATION OF DRAINAGE SYSTEMS
1. Verify that drainage and protection material is completely installed and acceptable before beginning work.
2. Coordinate work with construction of planters and planter drainage.

3.9.2 ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)
1. Intent: The intent of "establishment" maintenance is to provide sufficient care to newly installed plant material for a relatively short period of time to ensure or increase the long term success of the planting.

2. Maintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.
3. Related Standards and Legislation: Canadian Landscape Standard, latest edition; Fertilizer Code, B.C. Pesticide Control Act.

4. Site Review: In addition to the inspections at substantial completion, at final progress draw application, and at the end of the guarantee period, there should be three other reviews during the 12 months attended by the Contractor and a designated representative of the Owner.
5. Scheduling: Prepare a schedule of anticipated visits and submit to designated representative at start-up.

6. Materials: Conform with Part 2 of this specification
7. Fertilizers: To the requirements of the Canadian Landscape Standard. Formulations and rates as required by soil testing.

8. Plant Material Establishment
8.1 Watering: During the first growing season, water new plants at least every ten (10) days between April 1st and July 31st, and every twenty (20) days between August 1st and September 30th.

8.2 Weed Control: Remove all weeds from all areas at least once per month during the growing season by hoeing or cultivation to a maximum depth of 80mm, hand-pulling, or, if necessary, by the use of herbicides.
8.3 Pest and Disease Control: Inspect all planted areas for pests and diseases periodically and at least every two months during the growing season.

9. Grass Areas Establishment
9.1 Watering: Use hoses and sprinklers, irrigation systems or other methods to apply water to Class 1 and Class 2 grassed areas.
9.2 Weed, Insect and Disease Control: Inspect grass areas each time they are mowed for weeds, insect pests, and diseases.

9.3 Fertilizing: According to soil analysis
9.4 Liming: According to soil analysis
9.5 Mowing and Trimming - All areas: The first four cuts shall be a sharp rotary type mower.

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10.13 Planting and Fertilizing Procedures
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10.18 Planting and Fertilizing Procedures
10.19 Planting and Fertilizing Procedures
10.20 Planting and Fertilizing Procedures

10.21 Planting and Fertilizing Procedures
10.22 Planting and Fertilizing Procedures
10.23 Planting and Fertilizing Procedures

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SCALE:

Table with 4 columns: NO., DATE, REVISION DESCRIPTION, DR. Row 1: 7 22.JUN.27 UPDATE PER CITY COMMENTS CLG

CLIENT:

PROJECT:

PROPOSED DUPLEX FOR

LOT 1 @ 1091 STAYTE ROAD WHITE ROCK

DRAWING TITLE:

LANDSCAPE SPECIFICATIONS

DATE: 20.JAN.17 DRAWING NUMBER:

SCALE: NO SCALE

DRAWING: CLG

DESIGN: CLG

CHK'D: PC

DATE: 20.JAN.17 DRAWING NUMBER:

SCALE: NO SCALE

DRAWING: CLG

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DRAWING TITLE:

LANDSCAPE SPECIFICATIONS

DRAWING: CLG

CHK'D: PC