

THE CORPORATION OF THE
CITY OF WHITE ROCK
CORPORATE REPORT



DATE: July 25, 2022

TO: Mayor and Council

FROM: Anne Berry, Director, Planning and Development Services

SUBJECT: Consideration of 1st and 2nd Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438

RECOMMENDATIONS

THAT Council:

1. Give first and second readings to “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438;”
 2. Direct staff to schedule the public hearing for “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438;” and
 3. Direct staff to address the following conditions prior to bringing “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438” back for consideration of final adoption:
 - a) Ensure that all engineering requirements and issues, including road dedication and the execution of a Works and Servicing Agreement, are addressed to the satisfaction of the Director of Engineering and Municipal Operations;
 - b) Ensure that the east pedestrian walkway is revised, and updated drawings are submitted and approved by the Director of Planning and Development Services;
 - c) Registration of a Section No. 219 Covenant to restrict basement suites;
 - d) Ensure that all matters pertaining to tree protection and retention are addressed to the satisfaction of the Director of Planning and Development Services.
 - e) Confirm and ensure the recommendations of the final arborist report, approved by the Director of Planning and Development Services and, more specifically the city’s Arboricultural Technician, are implemented and maintained through future demolition and construction activities; and
 - f) Complete the demolition of the existing dwelling to the satisfaction of the Director of Planning and Development Services.
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EXECUTIVE SUMMARY

This application proposes to rezone the property from the “RS-1 One-Unit Residential Zone” to the “RT-1 Two-Unit (duplex) Residential Zone” at 1091 Stayte Road. If approved, it would allow for the construction of a duplex on the property. A minor development permit for form and character is also required. The subject property meets the lot area and dimension requirements of

the RT-1 zone and the siting and massing of the proposed two-storey duplex is similar to a single-unit residential building that could be constructed under the existing zoning. The duplex would provide a more ‘affordable’ ownership option in the city, as compared to one large single-family home. Overall, staff supports the proposal subject to the recommended conditions.

A copy of draft Zoning Amendment Bylaw No. 2438 is included in this corporate report as Attachment A, and the proposed architectural and landscape drawings are included as Attachment B.

PREVIOUS COUNCIL DIRECTION

Motion & Meeting Date	Motion Details
2020-LU/P-040 October 26, 2020	THAT Land Use and Planning Committee recommend that Council resolve that the zoning amendment application at 1091 Stayte Road proceed to the next stage in the application review process.
2020-542 November 9, 2020	THAT Council resolve that the zoning amendment application at 1091 Stayte Road proceed to the next stage in the application review process.

INTRODUCTION/BACKGROUND

If approved, the zoning would be amended from RS-1 to RT-1, which enables the construction of a duplex. Figure 1.0 illustrates the Subject Property and the context of the site. The properties immediately west and south are zoned RS-1. The properties to the east of the subject property fall within the City of Surrey.

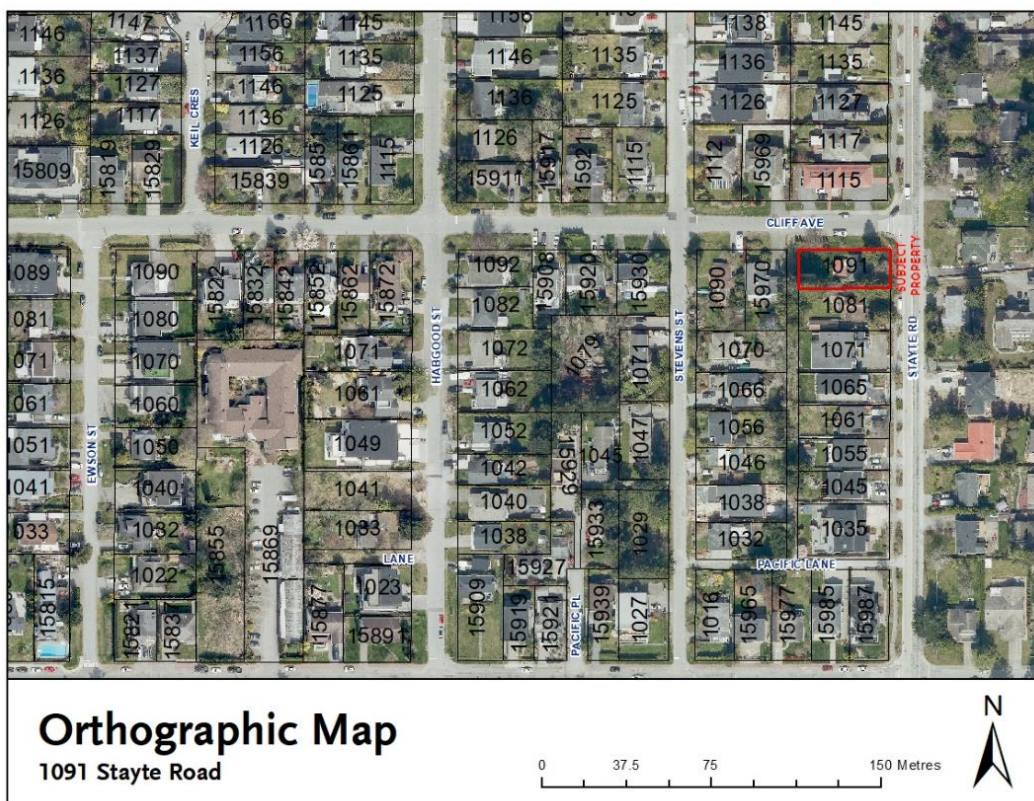


Figure 1: Site Context and Subject Property

Official Community Plan

The property is within the City’s “Mature Neighbourhood” designation as outlined in the Official Community Plan (OCP). This OCP designation goal is to create low-scale housing forms (for example, housing that includes single-family homes with secondary suites, duplexes, and triplexes). The OCP policies are intended to maintain residential character within established neighbourhoods by encouraging gentle infill while supporting a variety of housing choices and different levels of affordability. Under OCP Section 7: Growth Management, Policy 7.4.2, duplexes are encouraged to be spread throughout the City by limiting the number of duplexes along a single block frontage to 20% of the total number of properties. This would be the first duplex on the west side of Stayte Road and is therefore supported by OCP Policy 7.4.2.

ANALYSIS

The proposal has undergone a series of revisions to ensure alignment with the City’s Development Permit Area and Duplex Design Guidelines. The project is consistent with the OCP’s Mature Neighbourhood DPA policies. The following sections describe details of the proposal and key land use planning considerations made in preparing the staff recommendation outlined in this report.

Zoning

The subject property is approximately 18.59 m (62.0 ft) wide, 40.26 m (132.3 ft) deep, and has a lot area of 748.06 sq.m (8,052 ft²), exceeding the minimum requirements of both the existing RS-1 zone and the proposed RT-1 zone. The zoning requirements that relate to the siting and massing of buildings are largely identical for the RS-1 and RT-1 zones. The only variation is to lot coverage with a maximum of 40% required in the RS-1 zone as compared to 45% in the RT-1 zone. The proposal at 1091 Stayte Road is in conformance with all RT-1 standards. Table 1.0 below summarizes the current and proposed zoning and configuration for the proposed duplex. The proposed use of the property is permitted within the RT-1 zone. Secondary suites are not permitted in the RT-1 zone.

Table 1: Existing and Proposed Zoning Matrix

Zone Standard	RS-1 (Current zone)	RT-1 (Standard) zone	RT-1 (Proposed)
Lot Width (min)	15.0 m	18.0 m	18.59 m (62.0ft)
Lot Depth (min)	27.4 m	30.5 m	40.26 m (132.3ft)
Lot Area (min)	464.0 m ² (4,994.5ft ²)	742.0 m ² (7,986.8ft ²)	748.06 m ²
Lot Coverage (max)	40%	45%	39.6%
Floor Area	0.5 times the lot area	0.5 times the lot area	0.5 times the lot area
Height (max)	7.7 m	7.7 m	6.97 m
Setbacks (min)			
Front	7.5 m	7.5 m	7.83 m
Rear	7.5 m	7.5 m	7.81 m
Exterior sideyard	3.8 m	3.8 m	3.94 m
Interior side	1.5 m	1.5 m	1.91 m

Public Realm and Streetscape Improvements

Improvements to the City boulevard would be completed by the applicant at the time of redevelopment (e.g., sidewalks, street tree planting, etc.).

Mature Neighbourhood DPA Guidelines

The applicant has submitted a response to the Mature Neighbourhood Development Permit Area Guidelines, which apply to the proposal under OCP Policy 22.1. The response to the guidelines is attached as Attachment C. Staff consider the submitted response to be in conformance with the Development Permit Guidelines. Figure 2.0 below is a rendering of the proposed duplex development on the subject property.



Figure 2: Rendering of proposed duplex

The applicant has adequately identified how the proposed development (see meets the development permit guidelines by providing the following key aspects:

- a) The individuality of each unit has been achieved through variations in the floor plans, setbacks, window sizes, front door locations, and by using different cladding accent materials.
- b) The site is to be landscaped with plant materials using a variety of evergreen and flowering trees, shrubs, grasses and perennials. The overall result will be the creation of an enhanced streetscape that maintains a strong separation between private and public space in the front yard and exterior side yard.

Advisory Design Panel Review

During the Advisory Design Panel (ADP) meeting on March 15, 2022, the panel recommended that the application for the development proposal at 1091 Stayte Road proceed to Council, subject to consideration of comments pertaining to the following items (see Table 2.0 below; see Attachment D for related ADP meeting minutes):

Table 2: ADP comments and Applicant's responses

ADP Comments	Applicant's response
Consider using a different variety of tree and plant species along the property line to reduce the need for a large fence	<ul style="list-style-type: none"> The plantings have been revised. The proposed fence does not exceed the zoning bylaw's maximum fence height requirement. It was advised that coordination with the Arborist is required to avoid damaging the tree roots. Notes have been included in the updated Landscape Plan; the posts are to be hand dug under Arborist supervision.
To use colours and elements from the front elevation on the rear elevation.	<ul style="list-style-type: none"> The colours and elements on the rear elevation have been revised to match that on the front elevation.
Revise the design to replace the horizontal windows with larger vertical windows.	<ul style="list-style-type: none"> The horizontal window has been replaced by a larger window.
To include roughed-in electric vehicle charging infrastructure.	<ul style="list-style-type: none"> Plans updated to include a rough-in outlet for EV charging.
Ensuring that minimum setbacks for the RT-1 zone are maintained and no building and/or structure falls within these setbacks.	<ul style="list-style-type: none"> The garbage enclosures have been removed from the Site Plan to meet the RT-1 zoning setback requirement.

Staff believe the applicant has provided a satisfactory response to the comments noted above.

Tree Management and Protection

As per the OCP, development projects should be designed to preserve and protect mature, healthy trees. The applicant has submitted an arborist report which identifies a total of seventeen (17) "protected trees" which are subject to the provisions of the city's Tree Protection Bylaw, No. 2407 (see Attachment E) There are four on-site trees, seven off-site trees plus six City trees. Table 3.0 below identifies the protected trees, their size, and whether they are proposed for removal or retention. The Table also identifies the value of securities for tree retention and the number and value of replacement trees where removals are proposed.

Table 3: Summary of Protected Trees tied to the Development

Tree Ref.	Species	DBH (cm)	Retain / Remove	Security for Retention / Replacement Value	# of Replacements
665 (City)	English Oak	42	Retain	3000	NA
666 (City)	Western Red Cedar	57	Retain	4500	NA
667 (City)	Western Red Cedar	33	Retain	3000	NA
668 (City)	Western Red Cedar	74	Retain	10000	NA
669 (OS)	Douglas Fir	59	Retain	4500	NA
670 (OS)	Western Red Cedar	71	Retain	10000	NA

671 (OS)	Western Red Cedar	93	Retain	10000	NA
672 (OS)	Western Red Cedar	90	Retain	10000	NA
673 (OS)	Western Red Cedar	54	Retain	4500	NA
674	Mountain Ash	56	Remove	4500	3
675 (OS)	Western Red Cedar	80	Retain	10000	NA
676 (OS)	Western Red Cedar	37	Retain	3000	NA
677 *	Western Red Cedar*	94	Retain	10000	NA
678	Pacific Dogwood	92	Retain	10000	NA
679 (City)	Paperbark Maple	21	Retain	3000	NA
680 (City)	Paperbark Maple	13	Retain	3000	NA
681	Spruce	54	Remove	4500	3
Total				107500	6

* This tree is shared with the City

City staff have reviewed the recommendations of the Project Arborist and are comfortable with the proposed tree protection measures and removals subject to the following requirements, noted by the city’s Arboricultural Technician, being fulfilled prior to final adoption:

- The emerald cedar hedging shrubs planted on Cliff Avenue will require removal under the Engineering Department’s lot servicing permit.
- Trees 677 and 678 will not require pruning for overhead service drop. Hydro will be undergrounded and trenched and will need to be supplied from the power pole on Cliff Avenue siding 1115 Stayte Road.
- The Architect and Engineer will need to approve and sign off that all prescriptions made by the project arborist are feasible.
- Walkways and encroachments on city boulevard must be approved through Engineering. The east pedestrian walkway proposed within the critical root zone of the Dogwood will negatively impact the Pacific Dogwood tree. Additionally, it cannot be supported as there is a city bench and bus stop 56190 on city sidewalk where the proposed pathway is.
- Posting \$107,500 in securities for trees as required by the Tree Protection Bylaw.

Six new trees are proposed as part of the development. All the trees identified on the Tree Retention/Removal Plan in the Arborist report (see Attachment E) have been given their retention/removal recommendation on a preliminary basis. This will be further reviewed upon receipt of an application for a Tree Management Permit (TMP), likely to accompany a future request for demolition of the existing building. Final recommendations will be based upon design/construction and grading details.

FINANCIAL IMPLICATIONS

The following fees would be collected if approved for rezoning and subdivision (Table 4). Note these fees are subject to change:

Table 4: Applicable Development Costs

	Fee (per Unit)	Units Subject to Fee	Sub-Total
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City of White Rock Development Cost Charges (DCCs)	\$19,294.76	1	\$19,294.76
TransLink DCCs	\$2,993.00	1	\$2,993.00
Metro Vancouver (Regional) DCCs	\$6,254.00	1	\$6,254.00
Surrey School District School Site Acquisition Charges (SSAC)	\$1,000.00	1	\$1,000.00
Total			\$29,541.76

COMMUNICATION AND COMMUNITY ENGAGEMENT IMPLICATIONS

A Public Information Meeting (PIM) for this proposal was held on October 8, 2020. One person attended the PIM. A copy of the Applicant’s PIM Summary is included in Attachment F. Comments received during the PIM are summarized in Table 5.

Table 5: Comment and Response from PIM Summary

Comment / Question	Applicant’s Response
Concern about offsite tree removal and potential damage to the health of the trees with the duplex development.	<ul style="list-style-type: none"> • An effort to save as many healthy trees as possible, based on the arborist’s professional experience and recommendations has been made. • The arborist will be present onsite during excavation and construction near TPZ to ensure no damage is done to the trees to be retained. • The developer reached out to the neighbours after PIM to obtain permission for off-site tree removal. Since the neighbours declined to provide their permission, the design was revised to retain all offsite trees by incorporating a Screw Pile foundation.

A public hearing will be scheduled if the zoning amendment receives 1st and 2nd reading. This will allow the community to express their thoughts on the proposal to Council.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS

The zoning bylaw amendment application was referred to municipal departments for comments. Comments provided to the applicant have been addressed related to this stage of the rezoning proposal.

Approval of the final detailed (civil) designs and the execution of a “Works and Servicing Agreement” to the satisfaction of the Director of Engineering and Operations would be required as a condition of 3rd reading.

The relocation of the east pedestrian walkway would need to be addressed to the satisfaction of the Director of Planning and Development Services. The submission of drawings and final approval of the revised location by city departments would be required as a condition of 3rd reading.

The tree retention requirements would need to be addressed to the satisfaction of the Director of Planning and Development Services. The completion of covenants and the final approval of the applicant’s arborist report by the city’s Arboricultural Technician is also recommended to be required as a condition of 3rd reading.

CLIMATE CHANGE IMPLICATIONS

The application will enable modest infill within the ‘Mature Neighbourhood’ designation, thereby lessening the demand for outward sprawl otherwise necessary to accommodate growth.

IMPLICATIONS FOR TREE PRESERVATION AND TREE CANOPY ENHANCEMENT

Tree retention is recognized as a benefit to the uptake of greenhouse gases and reducing factors that contribute to climate change. The subject property contains mature trees subject to the city’s Tree Protection Bylaw. Several off-site mature trees border the property line of the subject property and neighbouring property south of the subject property that would be impacted by this development. Staff have made efforts to ensure optimal long-term tree preservation occurs.

ALIGNMENT WITH STRATEGIC PRIORITIES

The proposal is generally aligned with the Corporate Vision established as part of Council’s Strategic Priorities, particularly with respect to supporting a community where people can live, work and play in an enjoyable atmosphere.

OPTIONS / RISKS / ALTERNATIVES

The following options are available for the Council’s consideration:

1. Reject “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438,” or
2. Defer consideration of “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438,” and refer the application to staff to address any issues identified by Council.

CONCLUSION

The City has received an application for a zoning bylaw amendment, to allow the construction of a duplex at 1091 Stayte Road. Staff have brought forward a draft Zoning Amendment Bylaw to move the application forward to a Public Hearing. Staff recommend that the Zoning Amendment Bylaw be given first and second reading and that a Public Hearing be scheduled. If Council adopts the zoning amendment bylaw, the subsequent issuance of the Minor Development Permit for the form and character of the duplex would be considered by staff, as the authority is delegated to the City Manager by the Planning Procedures Bylaw. Overall, staff supports the proposal subject to the recommended conditions noted.

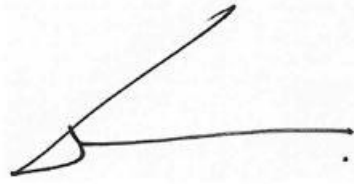
Respectfully submitted,



Anne Berry, MCIP, RPP
Director, Planning and Development Services

Comments from the Chief Administrative Officer

I concur with the recommendations of this corporate report.

A handwritten signature in black ink, consisting of a stylized 'G' followed by a horizontal line and a small flourish at the end.

Guillermo Ferrero
Chief Administrative Officer

Attachment A: Draft Zoning Amendment Bylaw No. 2438

Attachment B: Architectural and Landscape Drawings

Attachment C: Response to Mature Neighbourhood Development Permit Area Guidelines

Attachment D: March 15 2022 ADP Meeting Minutes

Attachment E: Arborist Report

Attachment F: Public Information Meeting (PIM) Summary