

**THE CORPORATION OF THE
CITY OF WHITE ROCK**

DEVELOPMENT PERMIT NO. 421



1. Development Permit No. 421 is issued to 1124902 B.C Ltd. as the owner and shall apply only to ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description:

Lot 3 Section 11 Township 1 New Westminster District Plan, 16655
PID: 005-767-121
(1559 Maple Street)

Lot 4 Section 11 Township 1 New Westminster District Plan, 16655
PID: 010-236-538
(1549 Maple Street)

Lot 5 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-236-554
(1539 Maple Street)

Lot 6 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-144-048
(1529 Maple Street)

Lot 7 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-236-589
(15631 Russell Avenue)

Lot 8 Section 11 Township 1 New Westminster District Plan 16655
PID: 010-236-597
(1509 Maple Street)

As indicated on Schedule A, including a consolidation of these six lots.

2. Development Permit No. 421 is issued pursuant to the authority of Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, the "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, and in conformity with the procedures prescribed by the "City of White Rock Planning Procedures Bylaw, 2017, No. 2234" as amended.

3. The terms, conditions and guidelines as set out in "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, that relate to the "East Side Large Lot Infill Development Permit Area" shall apply to the area of land and premises hereinbefore described and which are covered by this Development Permit.

4. Permitted Uses of Land, Buildings and Structures

Land, buildings, and structures shall only be used in accordance with the provisions of the "CD-66 Comprehensive Development Zone (1539 Maple Street)" of the "White Rock Zoning Bylaw, 2012, No. 2000" as amended.

5. Dimensions and Siting of Buildings and Structures on the Land

All buildings and structures to be constructed, repaired, renovated, or sited on said lands shall be in substantial compliance with the Plans prepared by Ankenman Marchand Architects, dated Aug. 19, 2021 attached hereto in accordance with the provisions of Section 491 of the *Local Government Act*:

Schedule B	Site Plan
Schedule C	Building Elevations
Schedule D	Renderings
Schedule E	Landscaping Plans

These Plans form part of this development permit.

6. Terms and Conditions:

- a) The applicant shall enter into a Servicing Agreement to provide frontage improvements and on-site works and services in accordance with Section 506 of the *Local Government Act* and to the acceptance of the Director of Engineering and Municipal Operations;
- b) The applicant shall provide landscaping for the development in substantial compliance with the Landscape Plans (Schedule E) to the acceptance of the Director of Planning and Development Services and the Director of Engineering and Municipal Operations;
- c) The permittee must also submit an estimate for the cost of landscaping, along with securities in the amount of \$358,305 (i.e., being 125% of the cost of landscaping as presented in a cost estimate prepared by Van der Zalm & Associates and stamped September 2, 2021) to the City prior to the issuance of a building permit;
- d) Rooftop mechanical equipment shall be screened from view to the acceptance of the Director of Planning and Development Services; and
- e) The hydro kiosk is to be located on site to the acceptance of the Director of Planning and Development Services.

7. In the interpretation of the Development Permit all definitions of words and phrases contained in Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, and the "White Rock Official Community Plan Bylaw, 2017, No. 2220", as amended, shall apply to this Development Permit and attachments.

8. Where the holder of this Permit does not obtain the required building permits and commence construction of the development as outlined in this Development Permit within two years after the date this Permit was authorized by Council, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized further time extension of the Permit.
9. This permit does not constitute a subdivision approval, a tree management permit, a demolition permit, or a building permit.

Authorizing Resolution passed by the Council for the City of White Rock on the _____ day of _____, 20__.

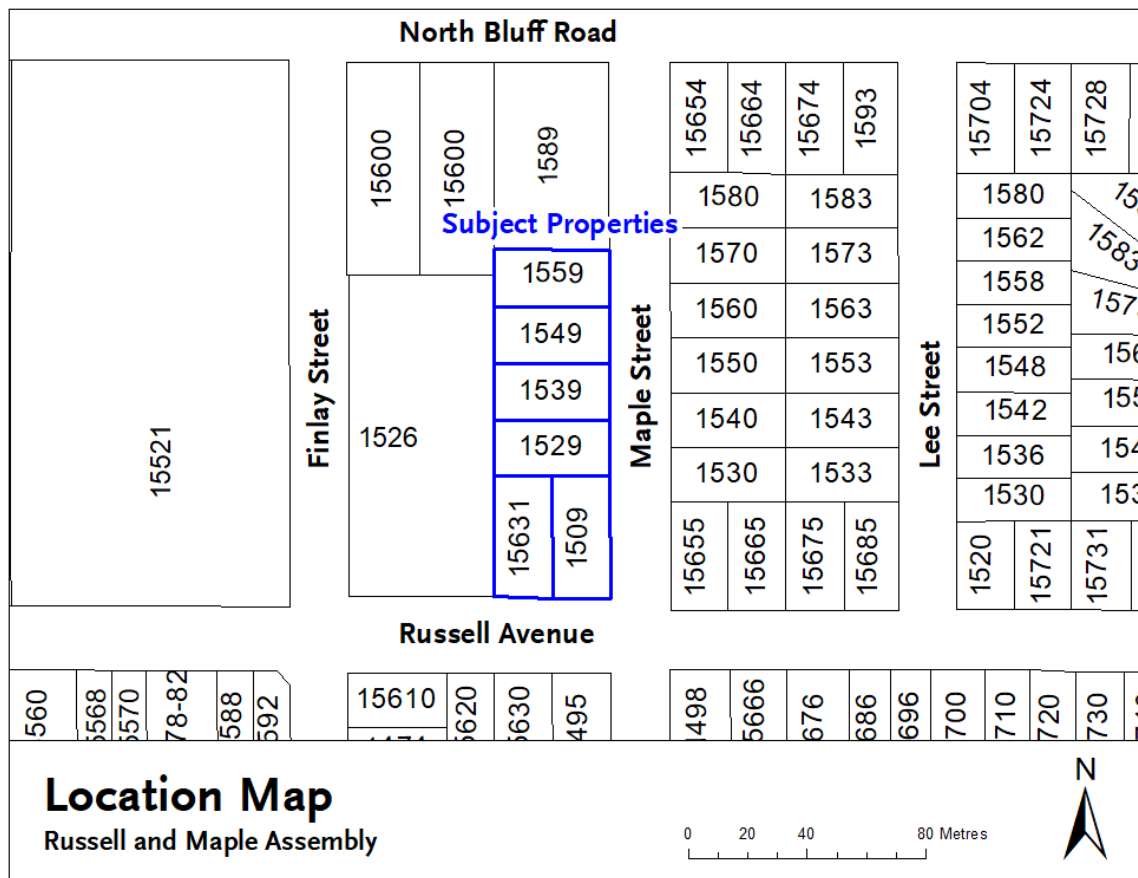
This development permit has been executed at White Rock, British Columbia on the _____ day of _____ 20__.

The Corporate Seal of THE CORPORATION
OF THE CITY OF WHITE ROCK was hereunto
affixed in the presence of:

Mayor
Authorized Signatory

Director of Corporate Administration
Authorized Signatory

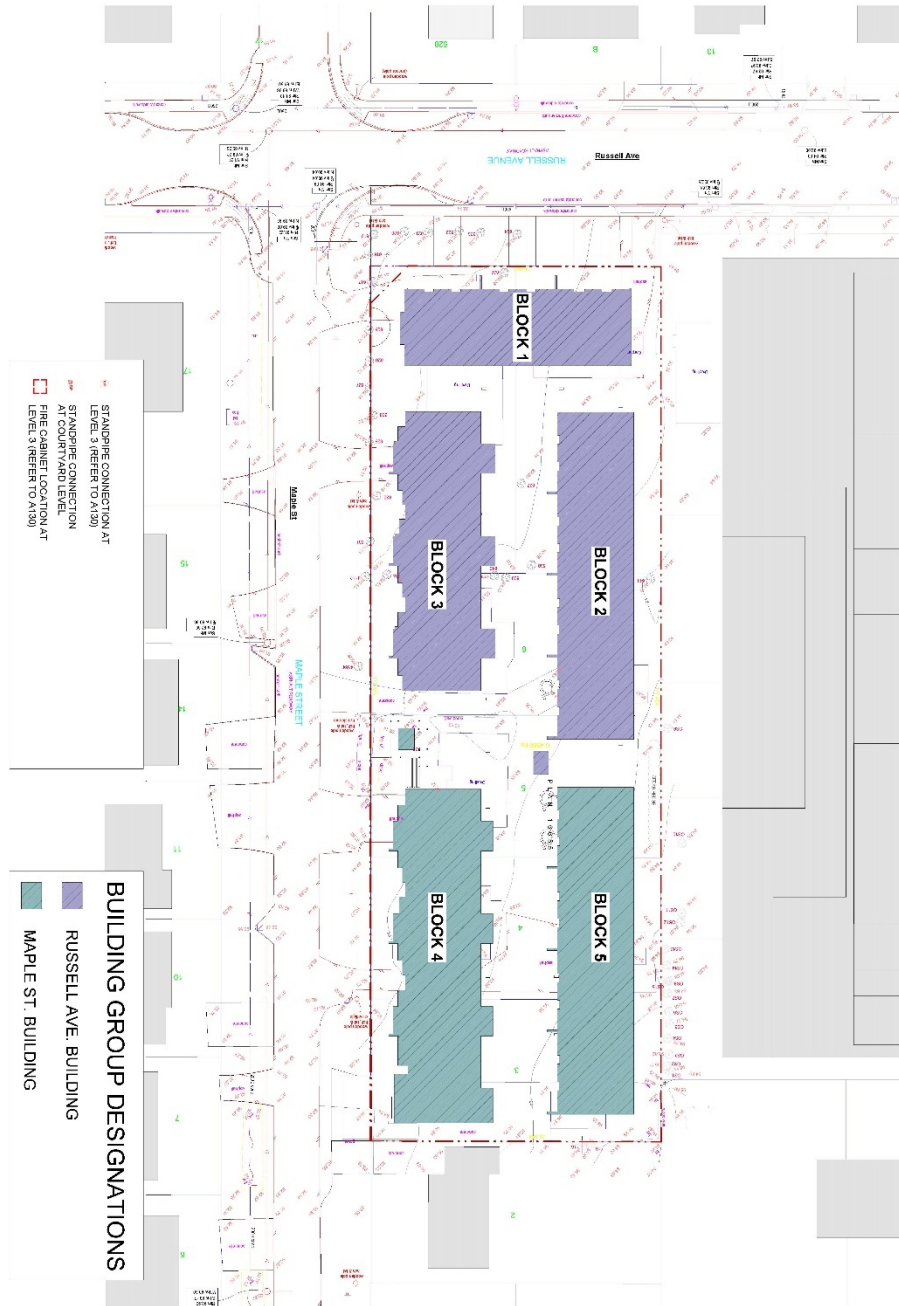
Schedule A – Location Map



Schedule B – Site Plan

Plot Date: 2021-09-02 4:47:38 PM

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ANKENMAN MARCHAND

ARCHITECTS

1045 West 5th Avenue
Vancouver, BC V6J
1N6

Tel: (604) 872-2505 ext. (004)
872-2505
E-mail: office@AMicrobacta.com

Project
4797

RUSSELL AND MAPLE

BUILDING FOOTPRINT PLAN

REZONING / DP

Date	Description
07/10/2020	

4. 瑪瑙 2 件 明倫堂藏

REVISION		
No.	Date	Description

All Drawings in this set to be read in conjunction with each other. Any annotation or a reference to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority.

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As indicated
A011

ARCHITECTS

1045 West 5th Avenue
Vancouver, BC V6J
1M6

(tel: (604) 872 2500 / fax: (604)
872-2506
Email: office@AMArchitects.com

Project: 1122
RUSSELL AND MAPLE
16201 Russell St.
Vancouver, BC V6P
RUSSELL AVE BUILDING
ELEVATIONS
Project Stages:
REZONING / DP

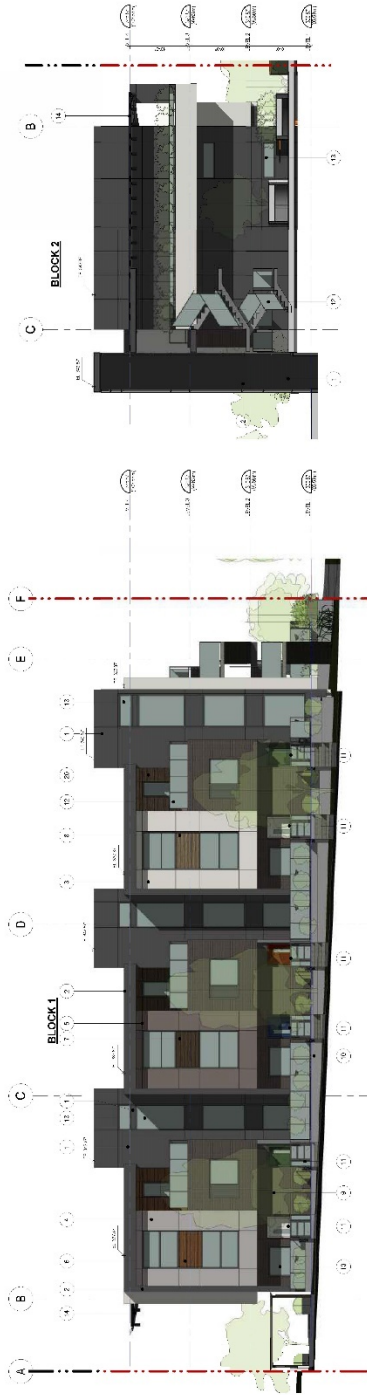
SUBMISSION
Description:
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Project:	1728
Owner:	RUSSELL AND MAPLE
Address:	1551 Maple St Vancouver, BC V6M 4G1
Project Name:	RUSSELLAVE BUILDING ELEVATIONS
Design Status:	REZONING / DP
Design:	SUMMISSION
Drawn by:	AM
Checked by:	AM
Approved by:	AM
Date:	2021.09.02
Project Name:	1728

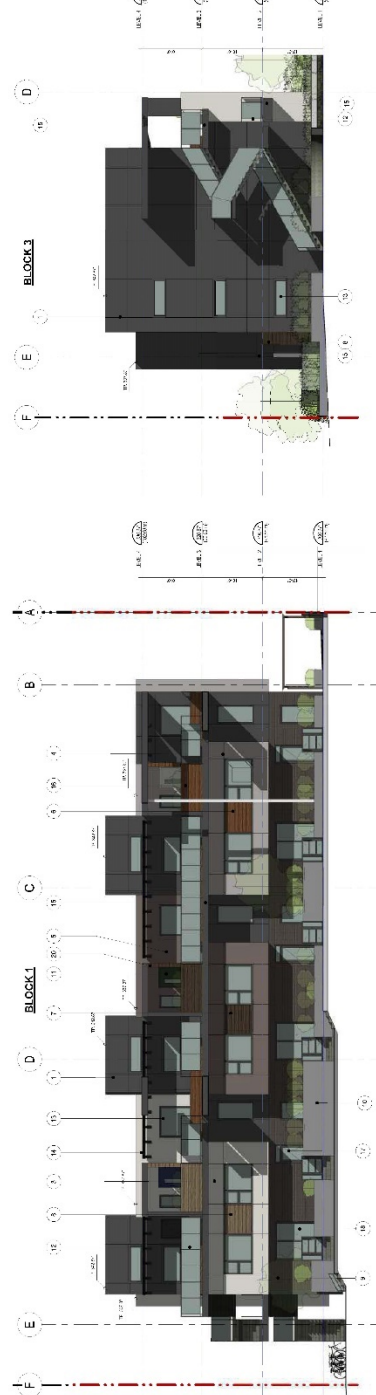
REVISION	No.	Date	Description

All drawings in this set to be read in conjunction with the project description and specifications to be provided to the contractor. The contractor is responsible for ensuring that all work is in accordance with the Building Code of Canada and the Building Code Authority of the City of Vancouver. All rights reserved.

Scale: 1/8" = 1'-0"
DWG. NO.: A220



3. RUSSELLAVE BUILDING - BLOCK 1 SOUTH ELEVATION
1/8" = 1'-0"



4. RUSSELLAVE BUILDING - BLOCK 1 NORTH ELEVATION
1/8" = 1'-0"

Key Value	Material Legend	Key Value	Material Legend	Key Value	Material Legend
1	PREFINISHED METAL PANEL - COLOUR: CHARCOAL GREY	12	BALCONY FLOOR FLOOR GUARD, OF ALUMINUM, ON	18	VINYL GLAZED PATIO SLIP FLOOR - FRAME COLOUR
2	PREFINISHED METAL PANEL - COLOUR: CHARCOAL GREY	13	PREFINISHED VINYL FLOOR GUARD, OF ALUMINUM, ON	19	ALUMINUM STORE FRONT SLUING EXTERIOR ELEVATOR - FRAME
3	THIN - COLOUR: ARCTIC WHITE	14	STEEL CANOPY, CLEAR GLASS OVERHANG - COLOUR: CHARCOAL	20	COLOUR: CHARCOAL
4	JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND	15	PREFINISHED VINYL FLOOR GUARD, OF ALUMINUM, ON	21	COLOUR: CHARCOAL
5	JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND	16	PREFINISHED VINYL FLOOR GUARD, OF ALUMINUM, ON	22	COLOUR: CHARCOAL
		17	PREFINISHED VINYL FLOOR GUARD, OF ALUMINUM, ON		

Project: 1733
Owner: RUSSELL AND MAPLE
1505 Russell St
Vancouver, BC V6J 1N5
RUSSELL AVE. BUILDING
ELEVATIONS
Revision: 01
Prepared: 01/11/2021
Reviewed: 01/11/2021
Drawn: 01/11/2021

Submission
Date: 01/11/2021
Description: 1505 Russell Ave. 1505

Revision
No. Date Description

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Scale: 1/8" = 1'-0"
A230



3. RUSSELL AVE BUILDING - BLOCK 3 WEST ELEVATION COURTYARD

4. RUSSELL AVE BUILDING - BLOCK 3 NORTH ELEVATION



5. RUSSELL AVE BUILDING - BLOCK 3 EAST ELEVATION COURTYARD

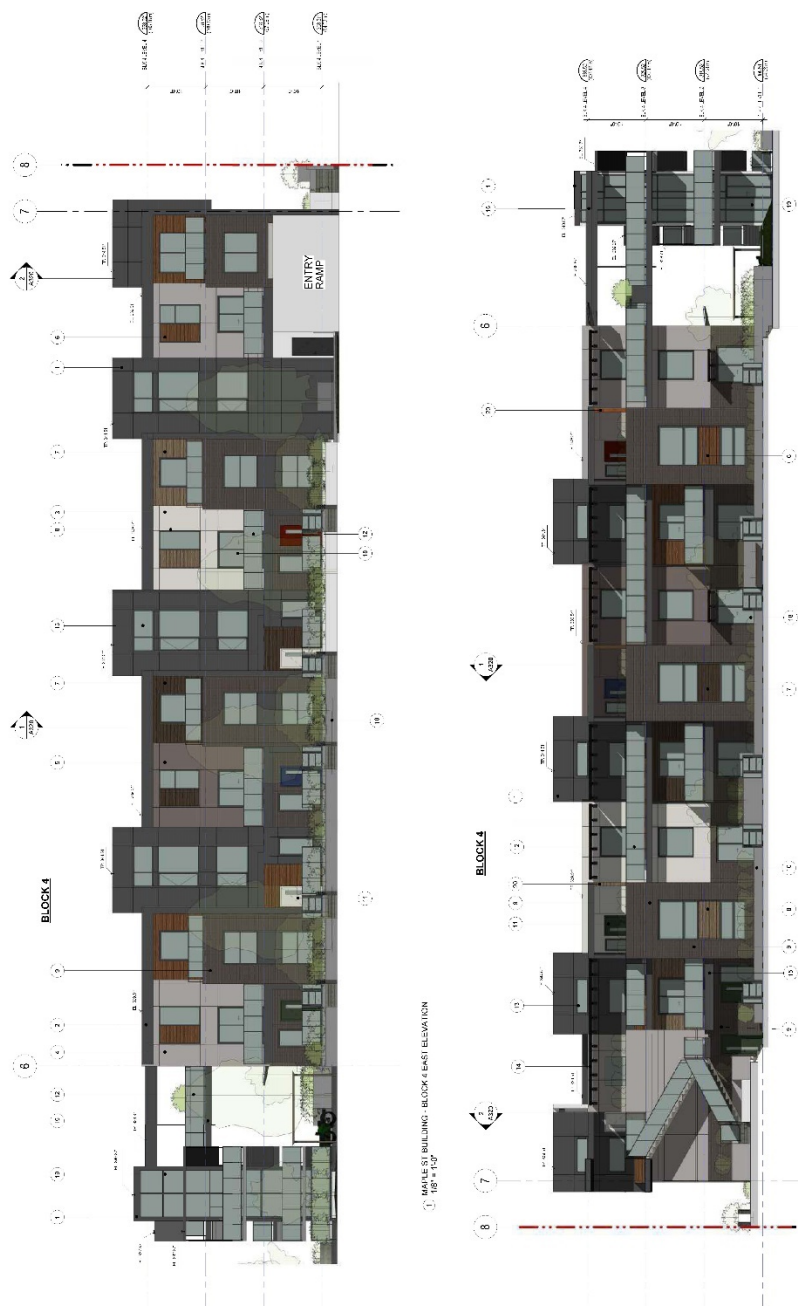
6. RUSSELL AVE BUILDING - BLOCK 3 SOUTH ELEVATION

Key Value	Material Legend
18	VINYL FULLY GLAZED PATIO SLIDE DOOR - FRAME COLOUR: CHINA-GLOSS ONLY
19	WOOD SLAT WALL - COLOUR: CEDAR TORRIED, SHOOKED BIRCH - IN SHOWN

Key Value	Material Legend
12	BALCONY ROOF DECK GLAZED, CLEAR GLASS INFILL ON 400MM ALUMINUM FRAME - COLOUR: CHINA-GLOSS ONLY
13	STEEL CANTILEVER CLEAR GLASS OVERHANG - COLOUR: CHARCOAL GREY
14	BRICK VENEER - COLOUR: BROWN BRICK
15	CONCRETE FLASHING - 12" - COLOUR: CHARCOAL GREY
16	PRE-FINISHED BALCONY CURTAIN - COLOUR: CEDAR TORRIED, SHOOKED BIRCH - AS SHOWN
17	CONCRETE FLASHING DOOR WITH TOP LEFT FRAME COLOUR: CHARCOAL GREY

Key Value	Material Legend
8	MAC ARCHITECTURAL METAL SING - COLOUR: CEDAR TORRIED
7	MAC ARCHITECTURAL METAL SING - COLOUR: CEDAR TORRIED
9	BRICK VENEER - COLOUR: BROWN BRICK
10	CARTON-PLACE ARCHITECTURAL CONCRETE WALLS, PLANTERS AT 12" - COLOUR: CHARCOAL GREY
11	SLIDING CURTAIN WOOD DOOR - PAINTED KORY, GREEN, BLUE, RED - AS SHOWN

Key Value	Material Legend
1	PRE-FINISHED METAL CLADDING PANEL - COLOUR: CHARCOAL GREY
2	PRE-FINISHED METAL FIN - COLOUR: CHARCOAL GREY
3	BRICK VENEER - COLOUR: BROWN BRICK
4	JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND TRIM - COLOUR: ARCTIC WHITE
5	JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND TRIM - COLOUR: ARCTIC WHITE
6	JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND TRIM - COLOUR: ARCTIC WHITE



Key Value	Keycode	Keyname	Keytext
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02	0201	0201	0201
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04	0401	0401	0401
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Key Value	Keynote Text
1	SMALL ROOM (1 (2 IN))
2	BALCONY, ROOF DECK GUIDO, CLEAR GLASS INFILL ON PREFINISHED ALUMINUM FRAME, COLOUR: CHARCOAL GREY
3	PRE 1 FINISH VINYL (HAWAII VINTAGE VINYL) COLOUR: CHANGAOL GREY
4	STEEL CANTILEVER, CLEAR GLASS OVERHANG - COLOUR: CHARCOAL GREY
5	PANORAMA BOARD FINISHING - 12" COLOUR: CHARCOAL GREY
6	SHINGLED BRICK - AS SHOWN - COLOUR: LIGHT, TONERLESS
7	VINYL, FULLY GLAZED OPT SWING DOOR WITH TOP LIGHT - FRAME

Key Value	Keycode Text	Material Code
5	MAG ARCHITECTURAL METAL SILING - COLOUR CEDAR	BA010001132 N1
6	MAG ARCHITECTURAL METAL SILING - COLOUR TORRILL	
7	MAG ARCHITECTURAL METAL SILING - COLOUR SMOCKT RICH	
8	BRICK VENEER - COLOUR SIENNA IRONBLOT	
9	CASIN-PLACE ARCHITECTURAL CONCRETE WALLS PLANTERS AT	
10	GRADE: WITH REVEALS	
11	SOIL: COLORED DARK WOOD LOOK - FINISH: MORTAR IN FILL -	
	RED - AS SHOWN	

Key Value	Keywords
PREFINISHED METAL CLADDING PANEL	COLOR, CHARCOAL GREY
PREFINISHED METAL CLADDING PANEL	COLOR, CHARCOAL GRAY
JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND TRIM	COLOR, ARCTIC WHITE
JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND TRIM	COLOR, ARCTIC WHITE
JAMES HARDIE REVEAL PANEL AND ASSOCIATED FLASHINGS AND TRIM	COLOR, TIMBER BARK

Project
1728

Client
RUSSELL AND MAPLE
1551 Russell St
Vancouver, BC V6J 1N5

Project Name
MAPLE ST BUILDING
ELEVATIONS

Project Phase
REVISION / DP

SUBMISSION

Date

Description

15/01/2021

REVISION 1

16/01/2021

REVISION 2

17/01/2021

REVISION 3

18/01/2021

REVISION 4

19/01/2021

REVISION 5

20/01/2021

REVISION 6

21/01/2021

REVISION 7

22/01/2021

REVISION 8

23/01/2021

REVISION 9

24/01/2021

REVISION 10

25/01/2021

REVISION 11

26/01/2021

REVISION 12

27/01/2021

REVISION 13

28/01/2021

REVISION 14

29/01/2021

REVISION 15

30/01/2021

REVISION 16

31/01/2021

REVISION 17

01/02/2021

REVISION 18

02/02/2021

REVISION 19

03/02/2021

REVISION 20

04/02/2021

REVISION 21

05/02/2021

REVISION 22

06/02/2021

REVISION 23

07/02/2021

REVISION 24

08/02/2021

REVISION 25

09/02/2021

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10/02/2021

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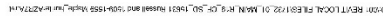
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Development Permit 421 – 15631 Russell Avenue, and 1590, 1529, 1539, 1549 & 1559 Maple Street



ARCHITECTS

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Vancouver BC V6J 1H5

Tel: (604) 872-2555 Fax: (604) 872-2575
Email: office@AMArchitects.com

PROJECT
TYPE
OWNER
ADDRESS
3D VIEWS

RUSSELL AND MAPLE
15631 Russell St
Vancouver BC V6J 1H5
3D VIEWS

PROJECT NAME
REASONING / DP

REASONING / DP

SUBMISSION

Rev	Description
15	15631 Russell St DP
16	15631 Russell St DP
17	15631 Russell St DP

REVISION

No.	Date	Description
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All Drawings in this set to be read in conjunction with the project information and the project location. The drawings are to be used for informational purposes only and are not to be used for construction or to be incorporated into any other project. The drawings are to be used for informational purposes only and are not to be used for construction or to be incorporated into any other project. The drawings are to be used for informational purposes only and are not to be used for construction or to be incorporated into any other project.

Scale:

DWG. NO. A970

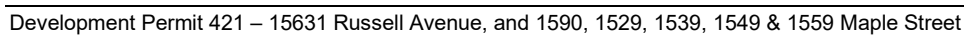


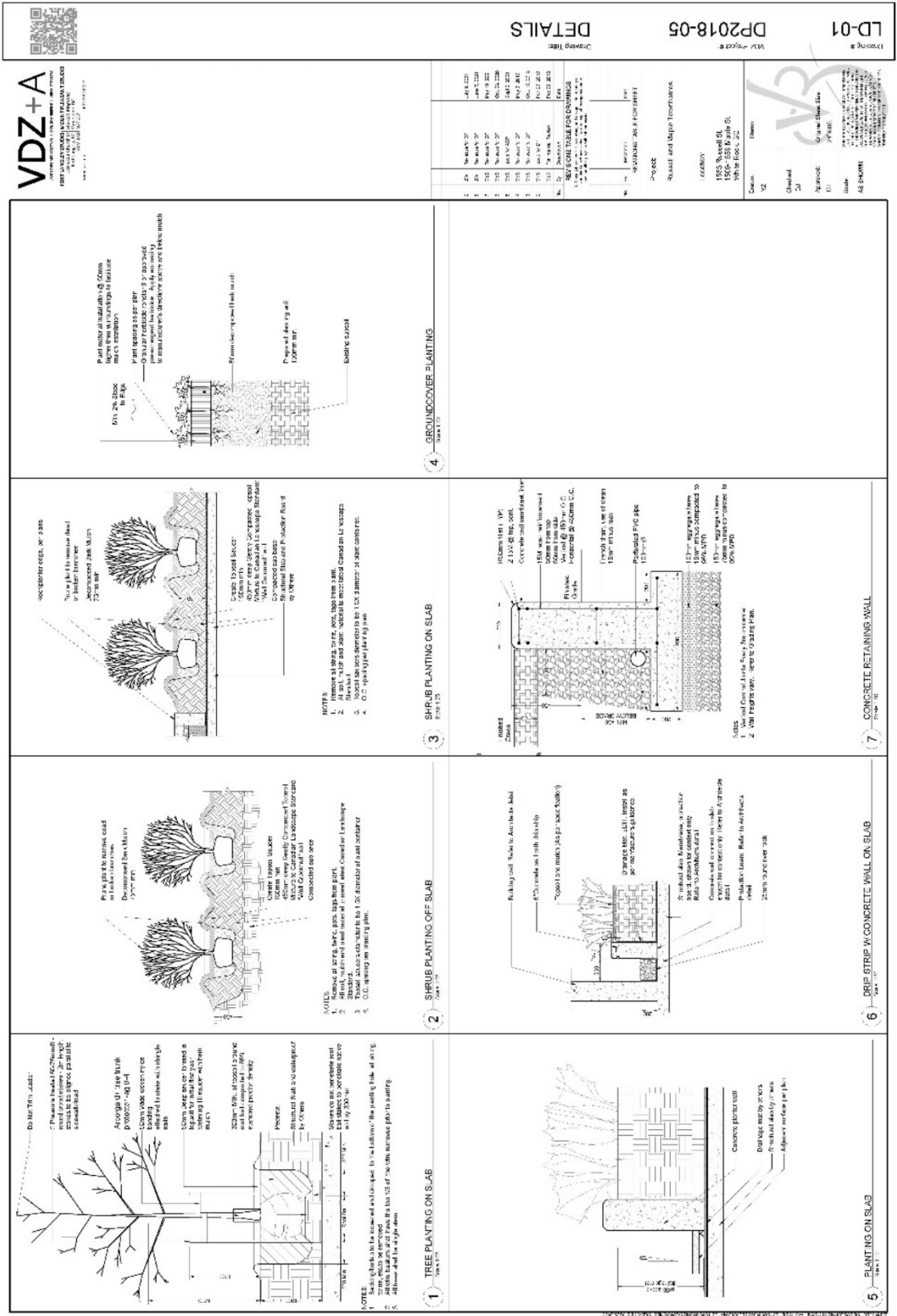
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Schedule E – Landscape Plans









LD-01

VP2018-05

DETAILS

Item	Description	Quantity	Unit
1	Tree Planting on Slab	100	Sq. Yd.
2	Shrub Planting on Slab	200	Sq. Yd.
3	Groundcover Planting	300	Sq. Yd.
4	Planting on Slab	400	Sq. Yd.

[illegible]

