

THE CORPORATION OF THE  
**CITY OF WHITE ROCK**



**DEVELOPMENT PERMIT NO. 400**

1. This Development Permit No. 400 is issued to **IOM Nautilus Views Ltd., Inc. No. BC1288361** as the owner and shall apply only to ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description:

Lot A Section 10 Township 1 New Westminster District Plan EPP63510  
PID: 031-395-805

Civic Address:

1454 Oxford Street

The property subject to this Development Permit No. 400, described legally above, is indicated on Schedule A ("the Lands").

2. This Development Permit No. 400 is issued pursuant to the authority of Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, the "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, and in conformity with the procedures prescribed by "City of White Rock Planning Procedures Bylaw, 2017, No. 2234" as amended.
3. The terms, conditions and guidelines as set out in "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, that relate to the "Multi-family Development Permit Area" and the "Environmental (Ravine Lands and Significant Trees) Development Permit Area" shall apply to the Lands.

4. Permitted Uses of Land, Buildings and Structures

Land, buildings, and structures on the Lands shall only be used in accordance with the provisions of the "CD-46 Comprehensive Development Zone" as established in Schedule "B" to "City of White Rock Zoning Bylaw, 2012, No. 2000" as amended.

5. Terms and Conditions:

- a) All buildings, structures, and landscape features to be constructed, repaired, renovated, or sited on the Lands, in addition to pedestrian connections and a Public Access Pathway, shall be in substantial compliance with the architectural designs prepared by Chris Dikeakos Architects, dated June 9, 2021, attached hereto as Schedule B, in accordance with the provisions of Section 491 of the *Local Government Act*.

- b) All site landscaping on the Lands, including hard and soft landscape features, irrigation controls, site furnishing and other materials shall be in substantial compliance with the landscape designs prepared by ETA Landscape Architecture, dated September 14, 2015 (Issue No. “S”, dated June 8, 2021), attached hereto as Schedule C in accordance with the provisions of Section 491 of the *Local Government Act*.
  - a. The permittee must submit to the City a cost estimate and related securities for the above-described landscape works prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of landscaping works was \$1,053,147.38, being 150 percent of the cost of landscaping works.
  - b. The release of all or a portion of these securities can be requested no sooner than 12 months following the receipt of a letter from the landscape architect or other qualified person confirming that the landscaping works tied to the securities have been installed in accordance with the landscape designs included as Schedule C.
- c) Sediment and erosion controls within the Lands shall be implemented and maintained throughout construction in substantial compliance with the Erosion and Sediment Control Plan prepared by GeoPacific, dated March 12, 2021, attached hereto as Schedule D in accordance with the provisions of Section 491 of the *Local Government Act*.
  - a. The permittee must submit to the City a cost estimate and related securities for the above-described controls prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of these controls was \$173,250, being 150 percent of the cost of landscaping works.
  - b. The release of all or a portion of these securities can be requested following the receipt of final building permit approval.
- d) Rooftop mechanical equipment shall be screened from view to the acceptance of the Director of Planning and Development Services;
- e) The hydro kiosk is to be located on site to the acceptance of the Director of Planning and Development Services;
- f) The owner is advised that in 2012 nine vacant Great Blue Heron (‘heron’) nests were observed within the wooded area immediately east of the Lands. These nests are protected under Section 34 of the BC *Wildlife Act*. Any activities that have the potential to disturb active heron nesting sites, shall be evaluated alongside the implementation of mitigative controls as recommended by a Qualified Environmental Professional (QEP).
- g) The applicant shall provide an updated Arborist Report and obtain a Tree Management Permit from the City as required by the “White Rock Tree Management Bylaw, 2008, No. 1831,” as amended.
- h) The applicant will be required to provide a detailed geotechnical assessment, prepared by a Registered Geotechnical Engineer, in support of a building permit application tied to the architectural designs included as Schedule B to this permit. Note that the City may require the registration of a covenant, pursuant to Section 219 of the Land Titles Act, as a means of implementing the recommendations of the assessment.



6. In the interpretation of the Development Permit all definitions of words and phrases contained in Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, and the “White Rock Official Community Plan Bylaw, 2017, No. 2220”, as amended, shall apply to this Development Permit and attachments.
7. Where the holder of this Permit does not obtain the required building permits and commence construction of the development as outlined in this Development Permit within two years after the date this Permit was authorized by Council, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized further time extension of the Permit.
8. This permit does not constitute a subdivision approval, a tree management permit, a demolition permit, or a building permit.

Authorizing Resolution passed by the Council for the City of White Rock on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

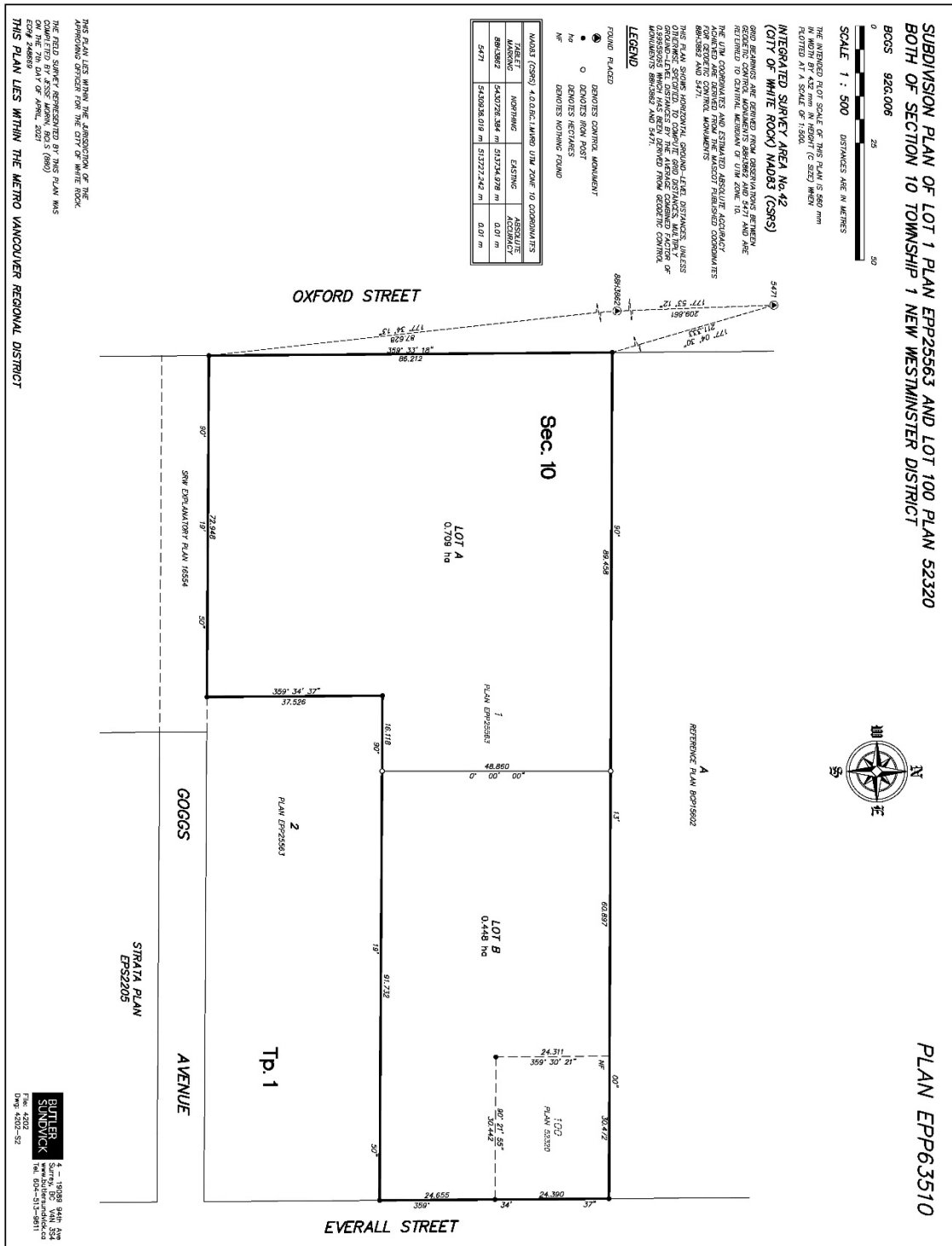
This development permit has been executed at White Rock, British Columbia on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

The Corporate Seal of THE CORPORATION  
OF THE CITY OF WHITE ROCK was hereunto  
affixed in the presence of:

\_\_\_\_\_  
Mayor - Authorized Signatory

\_\_\_\_\_  
Director of Corporate Administration - Authorized Signatory

Filed NW EPP63510 EPP63510 161-799-5561 RCVD:2021-05-10 RQST:2021-05-21 03:06 White Rock, The Corporation of the City of



**Schedule B – Architectural Designs**

**[attached separately]**

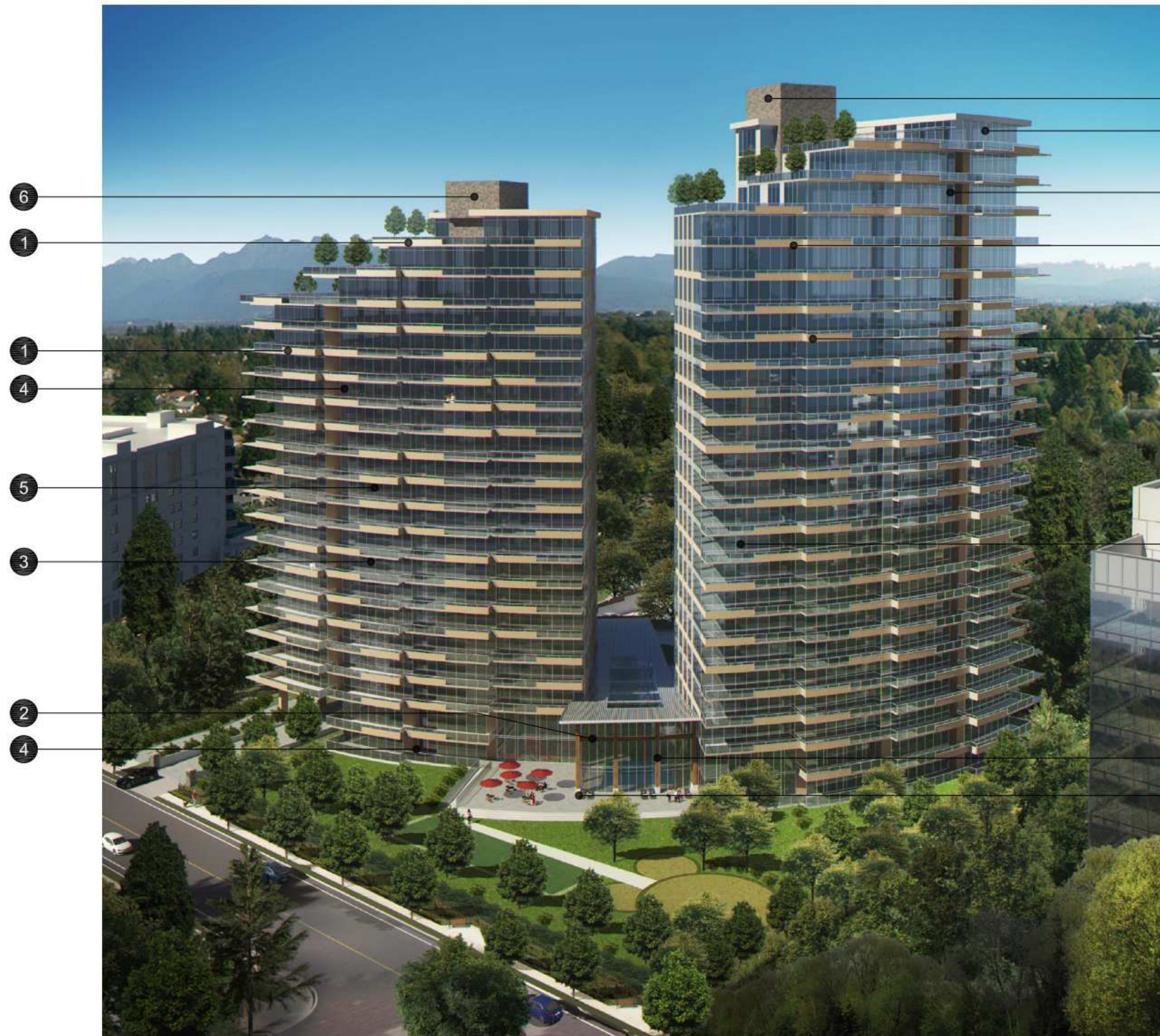
**Schedule C – Landscape Plans**

**[attached separately]**

**Schedule D – Erosion and Sediment Control (ESC) Plans**

**[attached separately]**





**MATERIAL LEGEND:**

- 1 ARCHITECTURAL PAINTED CONCRETE  
BENJAMIN MOORE - CREAM YELLOW 2155-60
- 2 GLUE-LAMINATED WOOD
- 3 GLASS WINDOW WALL  
CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE

- 4 GLASS WINDOW WALL  
SPANDREL GLASS - #3-1373 BLACKTHORN  
OPACI-COAT ON 6MM PILKINGTON CLEAR
- 5 PAINTED MULLION  
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER
- 6 GREY STONE VENEER



1 ARCHITECTURAL PAINTED CONCRETE  
BENJAMIN MOORE - CREAM YELLOW 2155-60



4 GLASS WINDOW WALL  
SPANDREL GLASS - #3-1373 BLACKTHORN  
OPACI-COAT ON 6MM PILKINGTON CLEAR



5 PAINTED MULLION  
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER



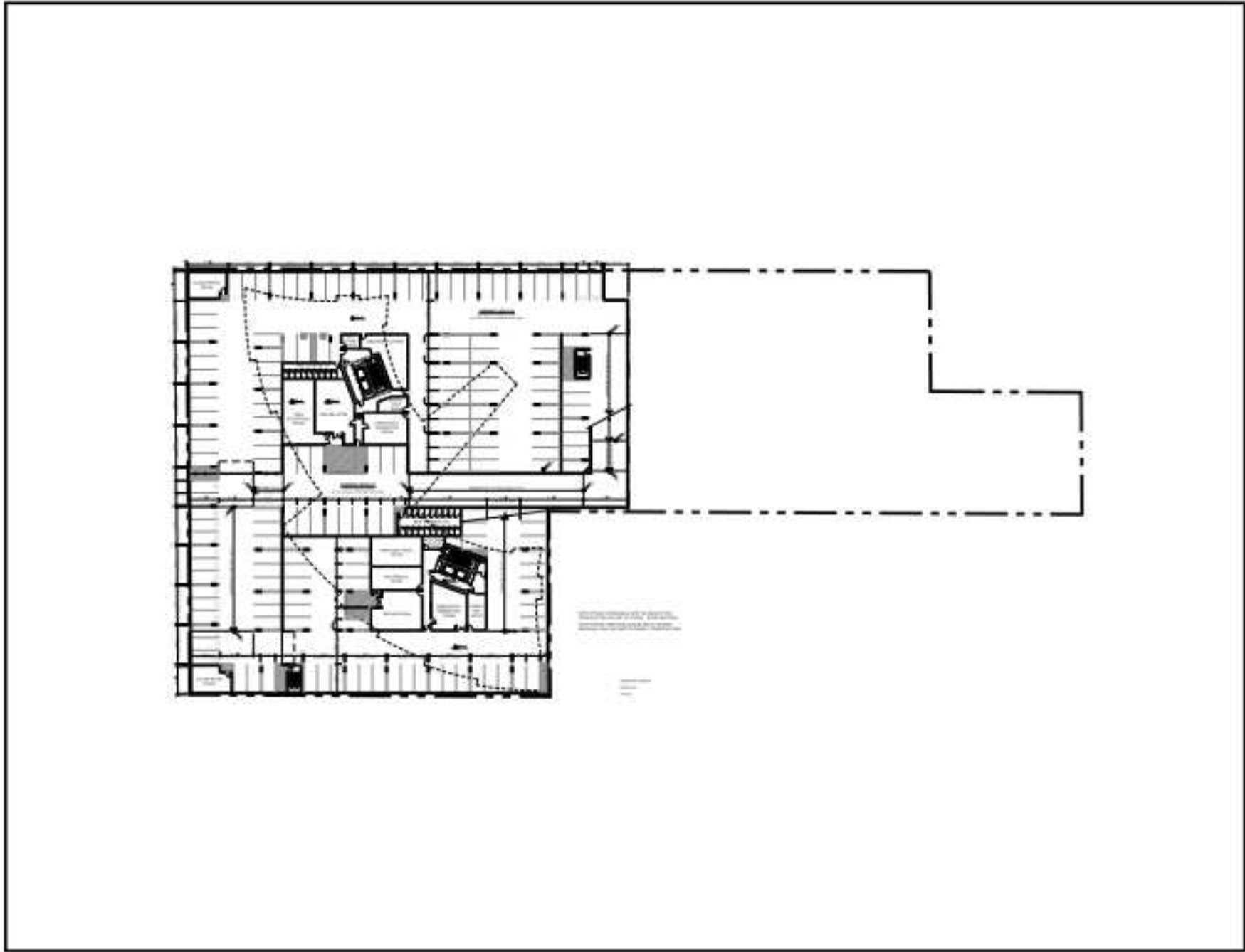
2 GLUE-LAMINATED WOOD



6 GREY STONE VENEER

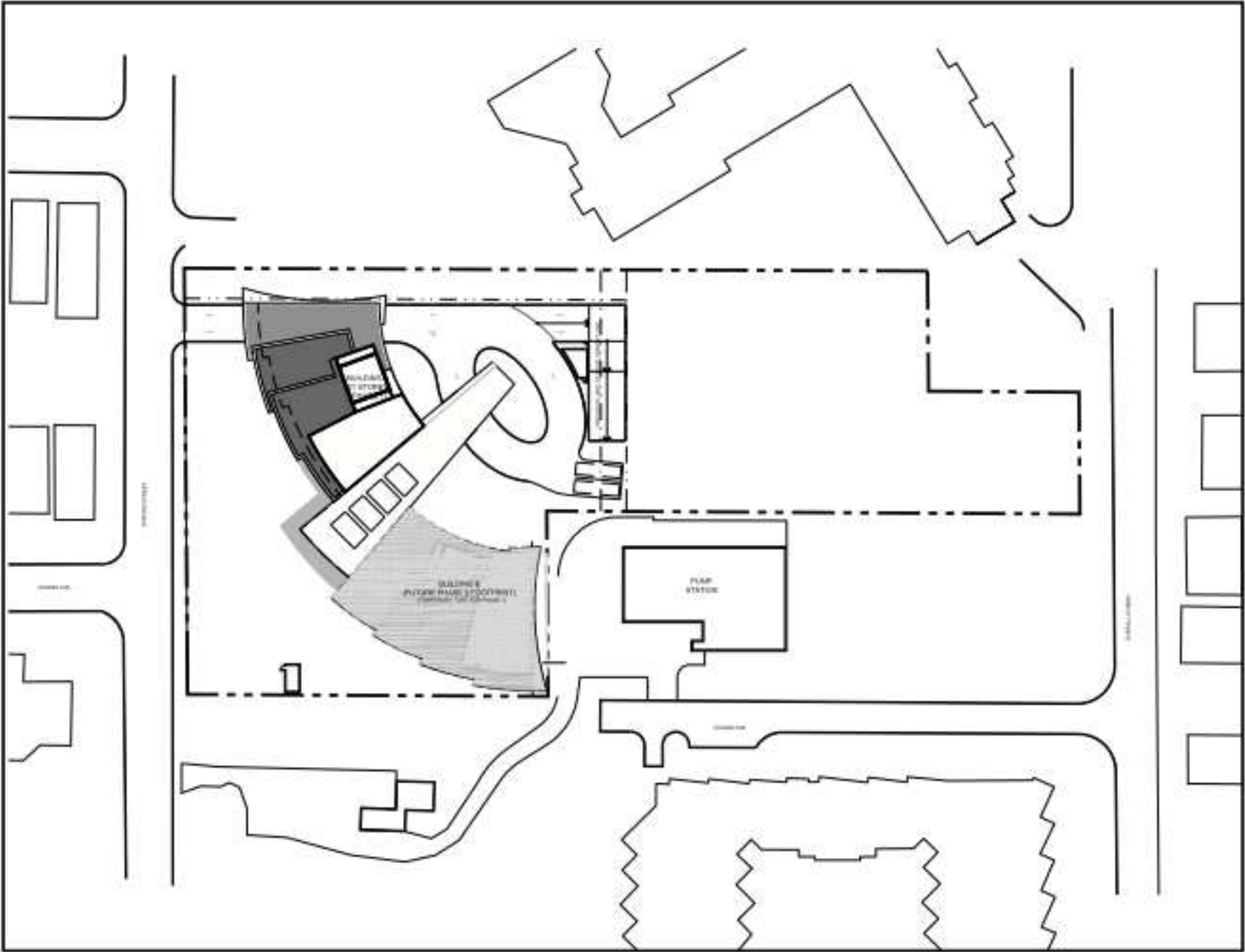


PHASE 1



PHASE 1: BELOW GRADE

DURING THE CONSTRUCTION OF PHASE 1 THE ENTIRE BELOW GRADE PARKING STRUCTURE WILL BE BUILT UP TO GRADE. THIS INCLUDES CORE AND STRUCTURE FOR BOTH BUILDINGS. THE BELOW-GRADE PORTION OF BUILDING B WILL ALSO BE BUILT UP TO GRADE AND WILL BE COVERED AND TEMPORARILY TURFED UNTIL THE CONSTRUCTION OF PHASE 2 COMMENCES.



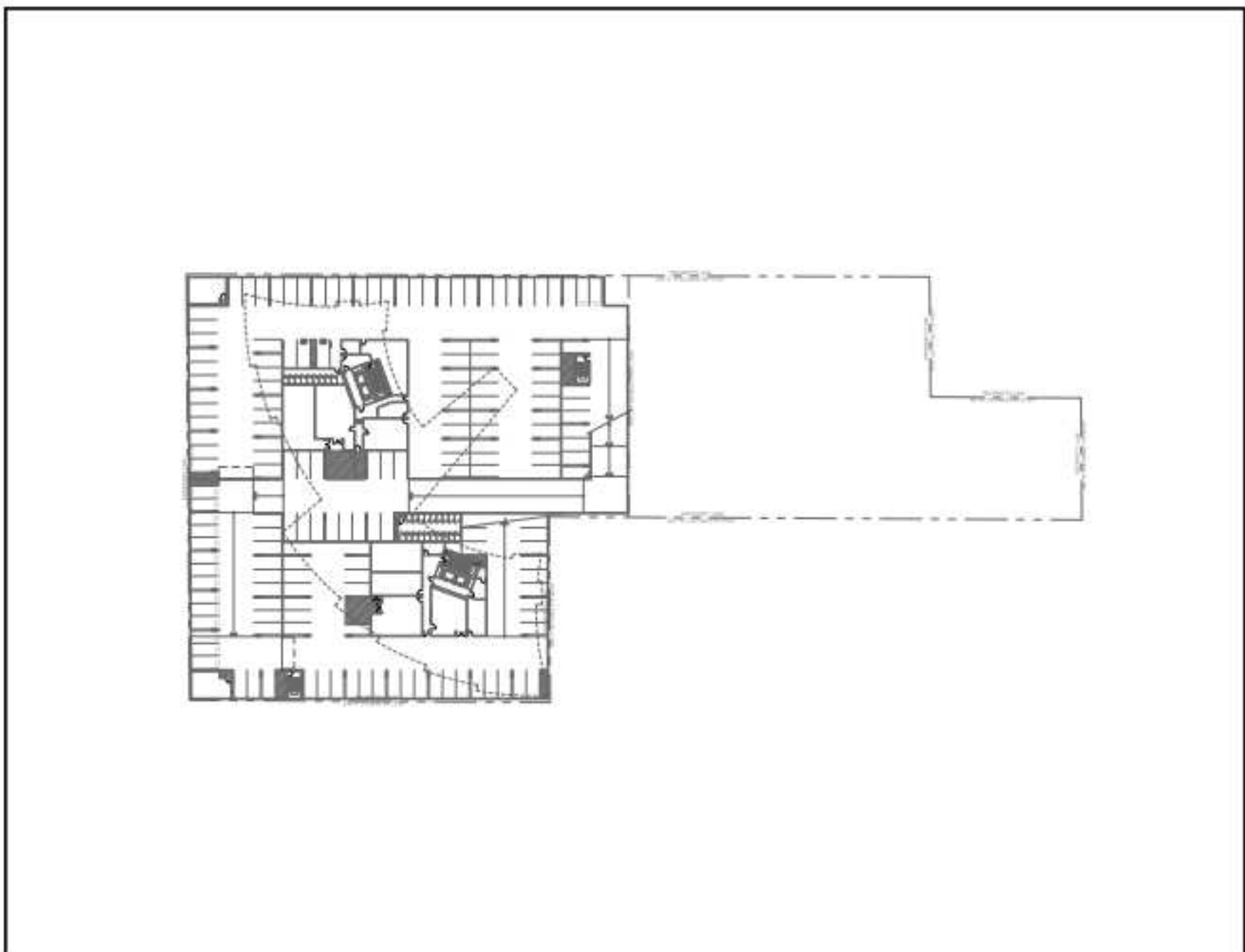
PHASE 1: ABOVE GRADE

THE ENTIRE BUILDING A WILL BE BUILT DURING PHASE ONE INCLUDING THE SURROUNDING LANDSCAPING, ROAD & PARKADE ENTRY. THE BUILDING FOOTPRINT OF BUILDING B WILL BE TEMPORARILY TURFED UNTIL THE COMMENCEMENT OF THE CONSTRUCTION OF PHASE 2.



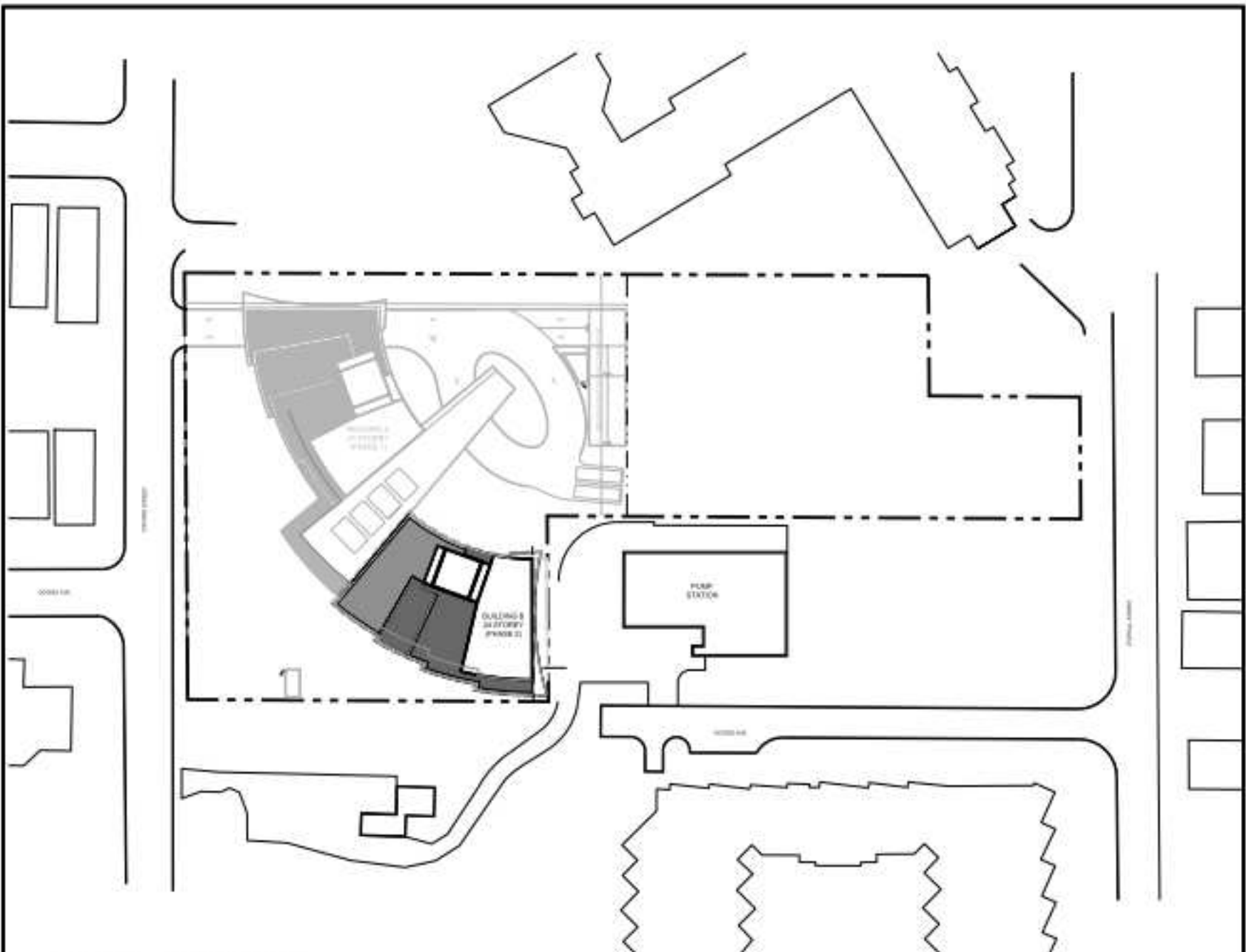
FUTURE PHASE 2 - BUILDING B

PHASE 2



PHASE 2: BELOW GRADE

THERE WILL BE NO PORTION OF BELOW GRADE ASSOCIATED WITH PHASE 2. ALL BELOW-GRADE CONSTRUCTION WILL OCCUR WITH PHASE 1



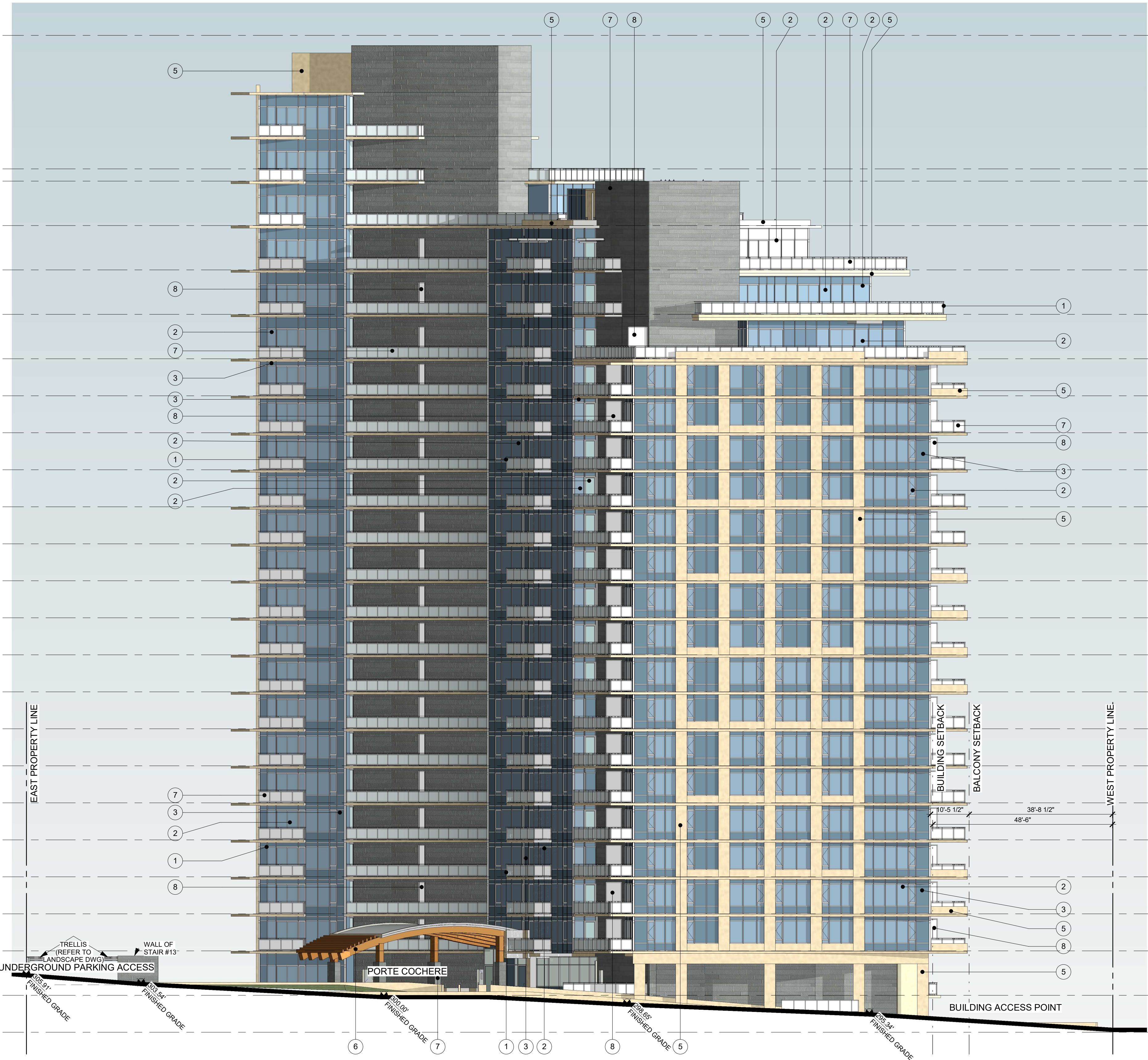
PHASE 2: ABOVE GRADE

THE CONSTRUCTION OF PHASE 2 WILL ONLY INVOLVE THE CONSTRUCTION OF BUILDING B STARTING FROM GROUND LEVEL. THE TURF THAT WAS IN THIS LOCATION WILL BE REMOVED.

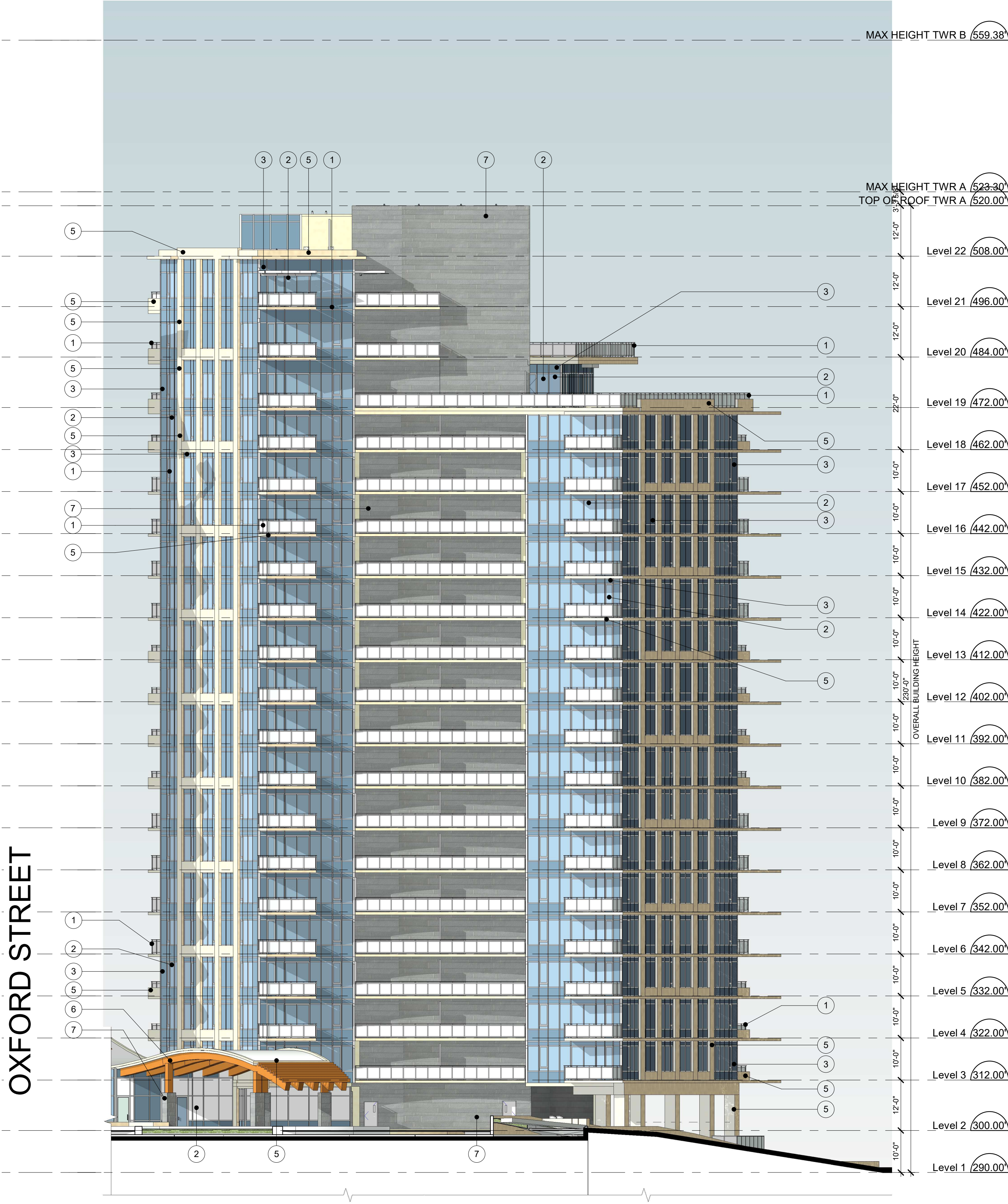




MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



1 TOWER A NORTH ELEVATION (DP)  
1/16" = 1'-0"



2 TOWER A NORTH EAST ELEVATION (DP)  
1/16" = 1'-0"



MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



1 TOWER A SOUTH EAST ELEVATION  
1/16" = 1'-0"



2 TOWER A SOUTH WEST ELEVATION  
1/16" = 1'-0"



MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



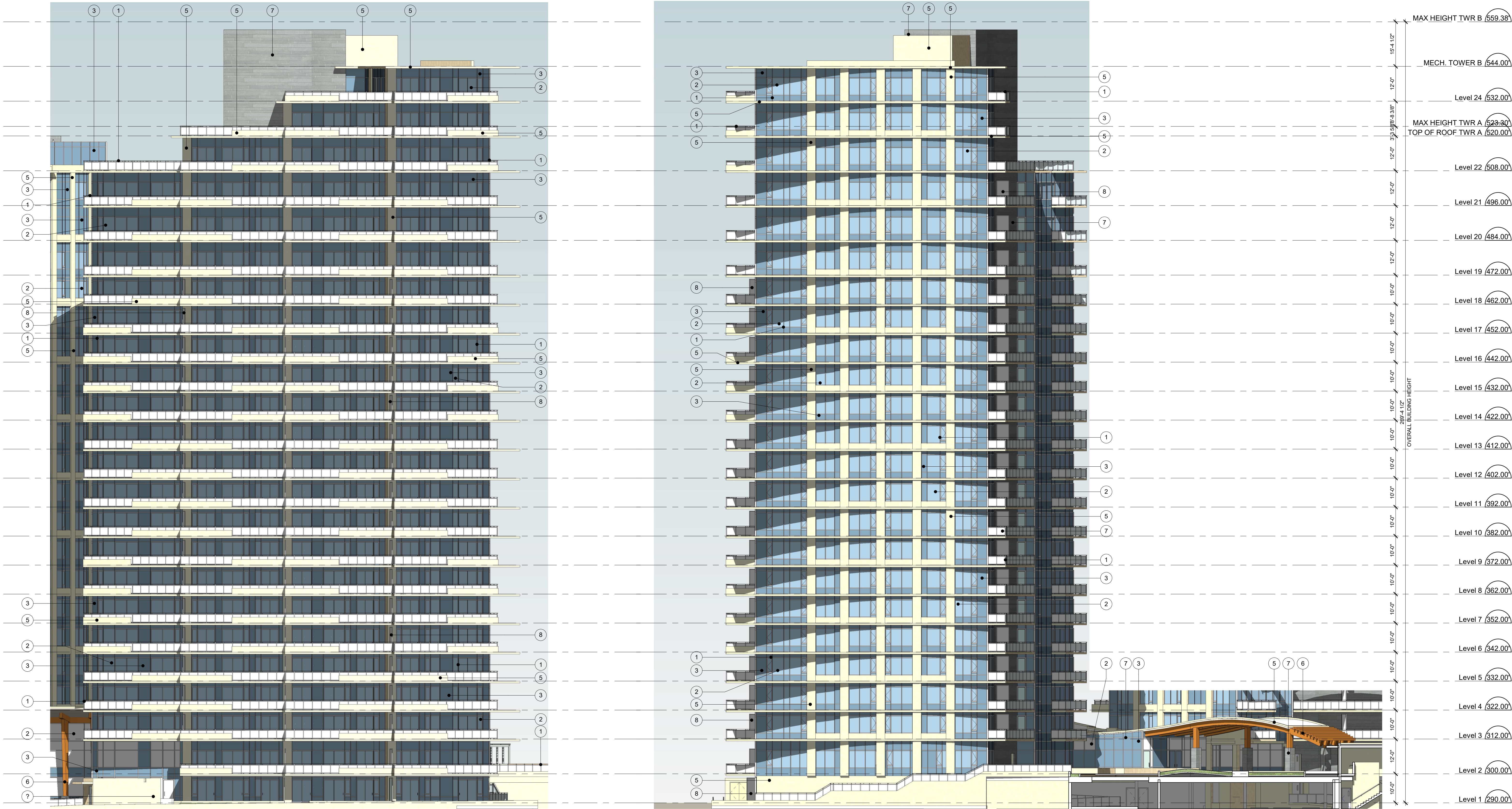
1 Tower B NE Elevation (DP)  
1/16" = 1'-0"



2 Tower B NW Elevation (DP)  
1/16" = 1'-0"



MATERIAL LEGEND			
①	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	⑤	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
②	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	⑥	GLUE-LAMINATED WOOD
③	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	⑦	GREY STONE VENEER
④	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	⑧	PRIVACY SCREEN



1 Tower B SW Elevation (DP)  
1/16" = 1'-0"

2 Tower B E Elevation (DP)  
A502 1/16" = 1'-0"

















Revision		
No.	Date	Revision Notes

Issue		
No.	Date	Issue Notes
R	2021-06-08	Re-Issued for DP
S	2021-06-09	Re-Issued for DP

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project  
**OXFORD STREET  
RESIDENTIAL**  
1500 OXFORD STREET  
White Rock, BC

Drawing Title

**Landscape Plan**

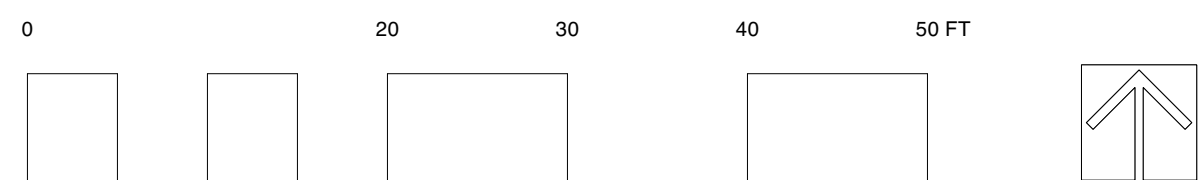
Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.

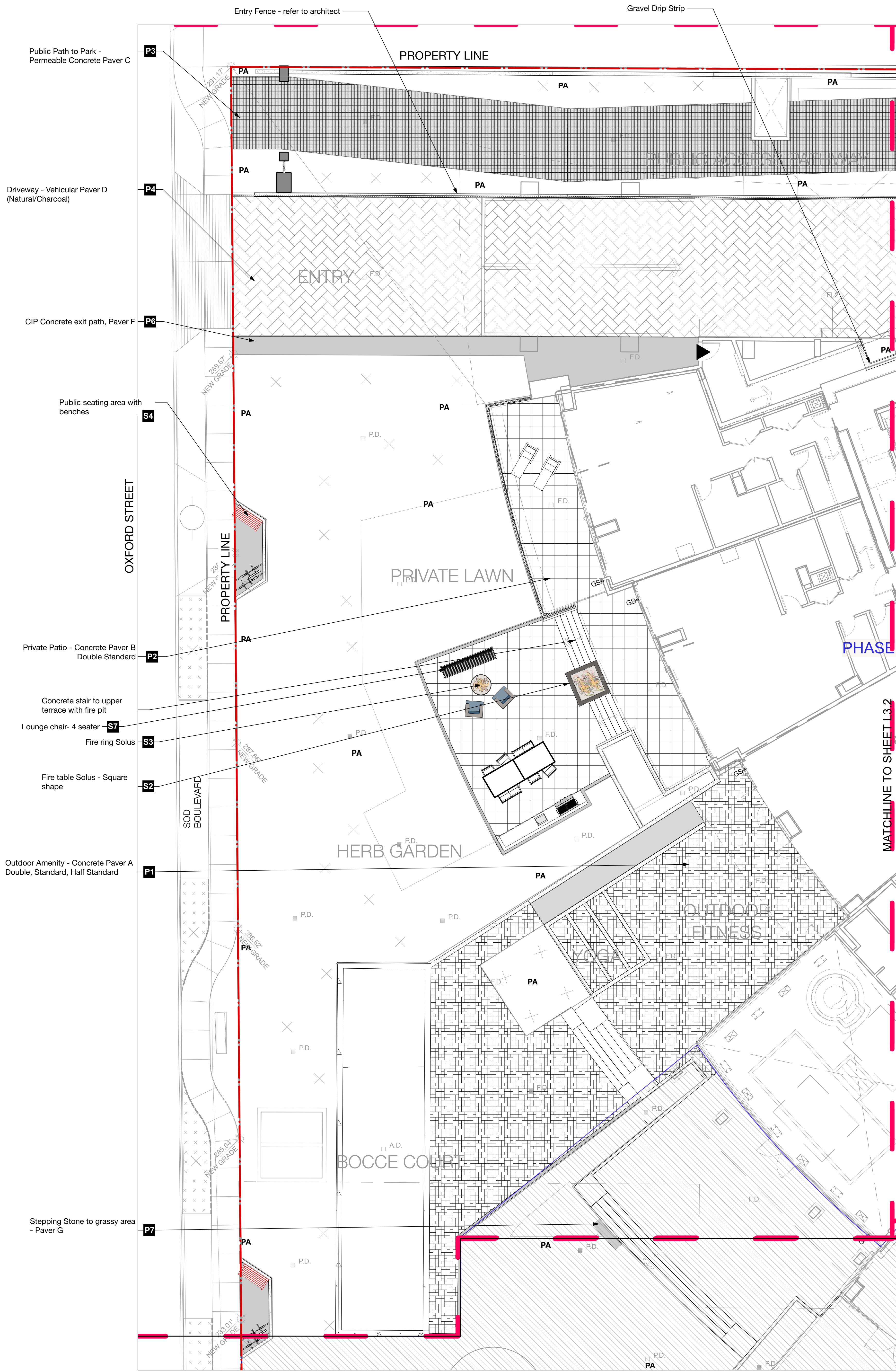
Date  
2015-09-14

**L0.2**  
of  
36

Plot Date:  
21 6-9  
21752 Oxford St Residential\_BP-view

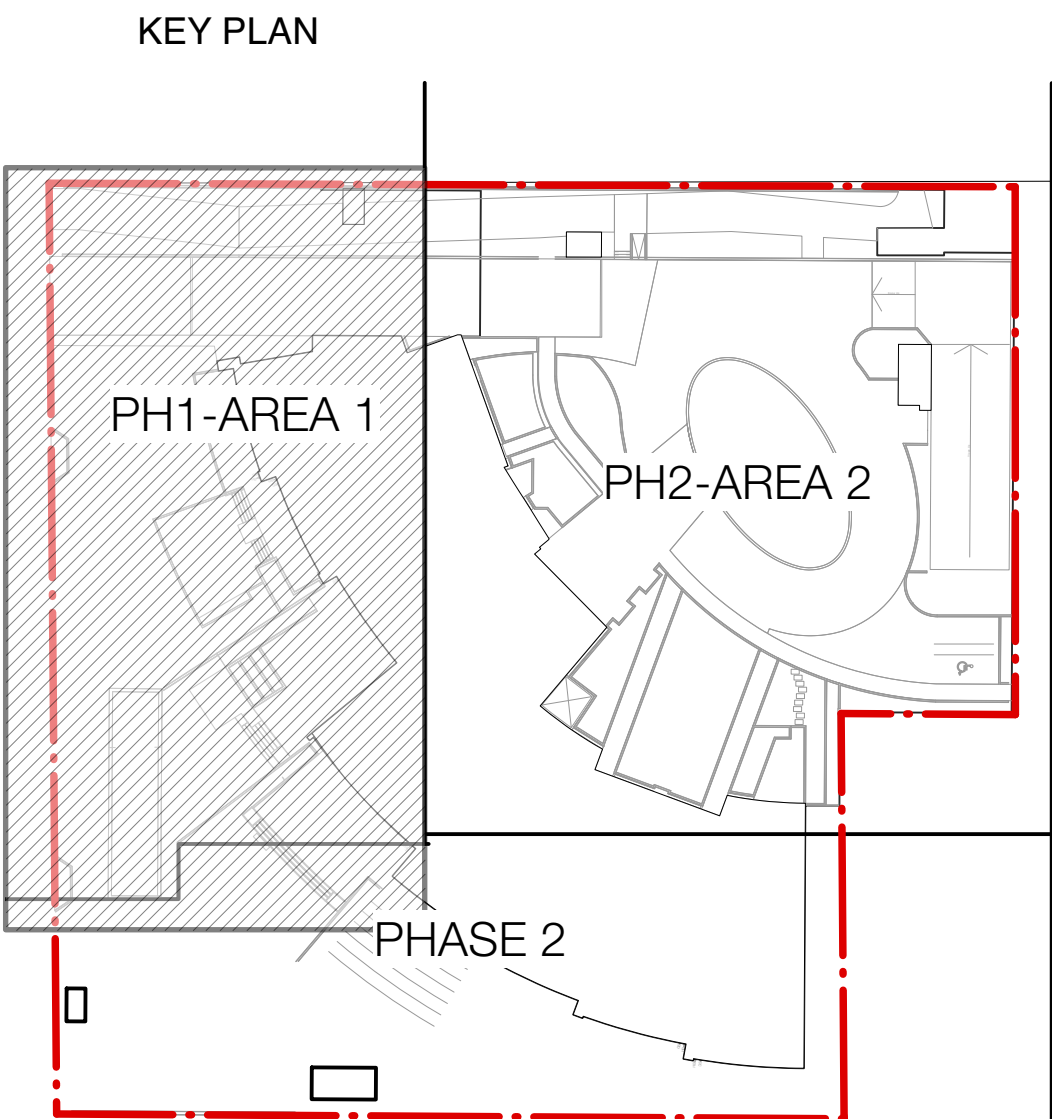
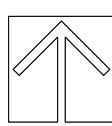






1 Area 1: Hardscape Materials Plan  
Scale: 1/8" = 1'-0"

0 20 30 40 50 FT



LEGEND:

- P1** Concrete Paver A, Model: Pacific Slate, Manufacturer: Abbotsford Concrete, Size: Standard, Double & Half Standard, Color: Granite Blend
- P2** Concrete Paver B, Model: Pacific Slate, Manufacturer: Abbotsford Concrete, Size: Double Standard, Color: Granite Blend
- P3** Concrete Paver C, Model: AquaPave Old Country Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Color: Tan Brown Blend
- P4** Concrete Paver D, Model: V/S-8 Exposed, Manufacturer: Belgard, Size: 6"x12", Color: Natural/Charcoal
- P5** Concrete Paver E, Model: Decomposed Granite, Manufacturer: Custom, Size: 6"x12", Color: Charcoal
- P6** Concrete sidePath Paver F, Color: Grey concrete
- P7** Stepping Stone Paver G, Model: Texas, Manufacturer: Abbotsford Concrete, Size: 12"x24", Color: Charcoal
- 6" Concrete Retaining Curb
- Raised CIP Concrete Planter Wall
- Drip Strip with Timber Edger
- Metal Fence - refer to architect
- Timber edger for Bocce Court
- CIP Stairs
- S1** Firetable Solus, Rectangle shape
- S2** Firetable Solus, Square shape
- S3** FireRing Solus
- S4** Bench - Public Realm Maglin MLB970-W Silvertop
- S5** Bench Maglin MLB1050-W Middle Finish - Core-Ten Powder Coat/pe
- S6** Chaise Lounge Equipment EP 1974 Ipe/Colour co-ord with ID
- S7** Lounge Sofa Hausen Loft Sofa CHS6203 WT Colour Co-ord with ID
- S8** Club chair Hausen Loft Sofa CHS6201 WT Colour co-ord with ID
- S9** Outdoor Coffee table Equipment EP 1051 Ipe/Colour co-ord with ID
- S10** Outdoor Umbrella
- S11** 2 No. Dining Table + 2 No. 2 seater chair + 4 No. 1 seater chair
- S12** Bistro table & Chairs Maglin Kontour RIAL 2009
- S13** Public drinking Fountain w/Dog Bowl HAWKS
- S14** Bike Rack Equipment EP 5990 Embedded Concrete pad below pavers
- S15** Amenity area with BBQ
- Tree trunk
- PA Planted area
- Limit of Work

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2018-06-11	Issue for DP
L	2020.03.02	Re-issue for DP
N	2021-03-10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-Issued for DP

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

## Materials - AREA 1

Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Plant Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.

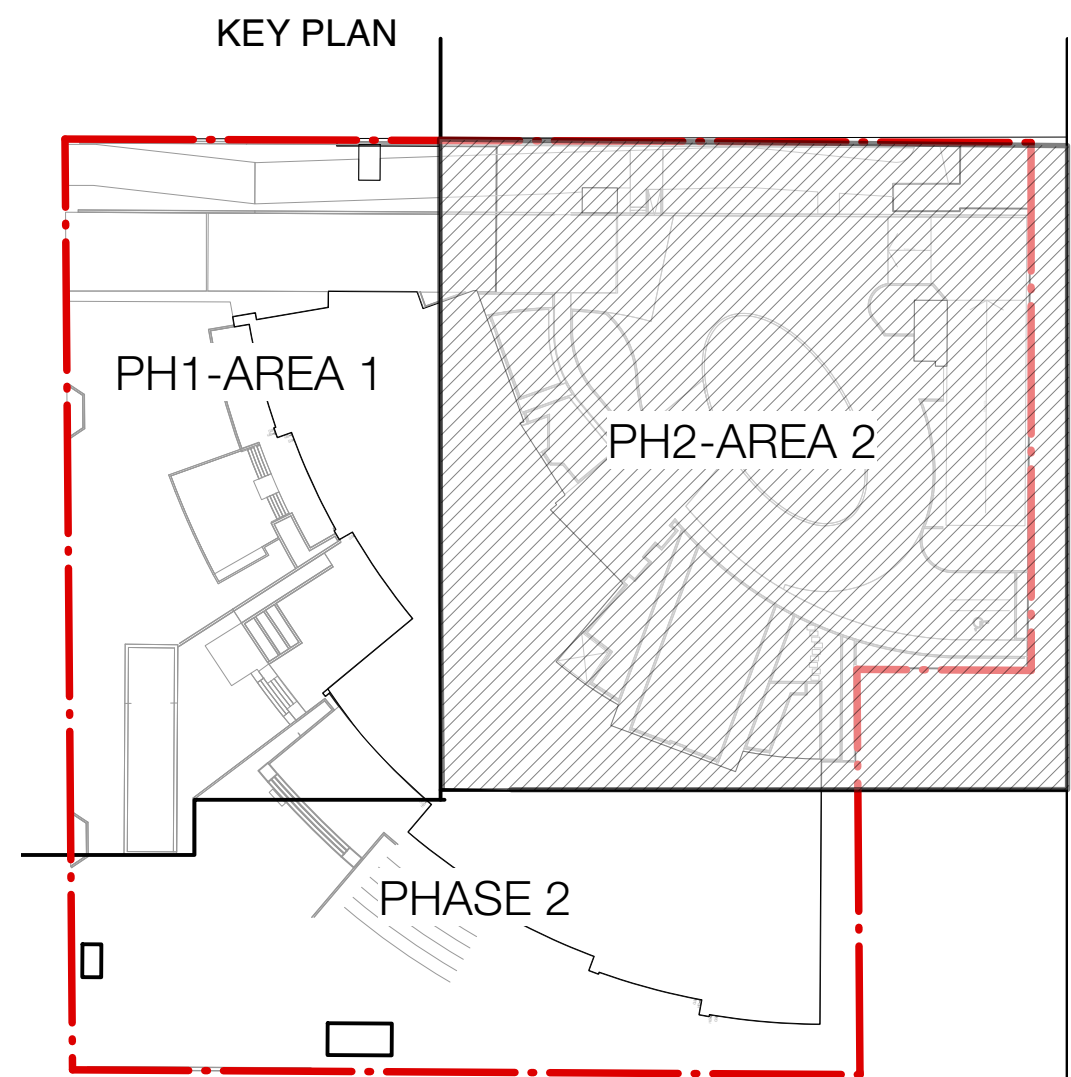
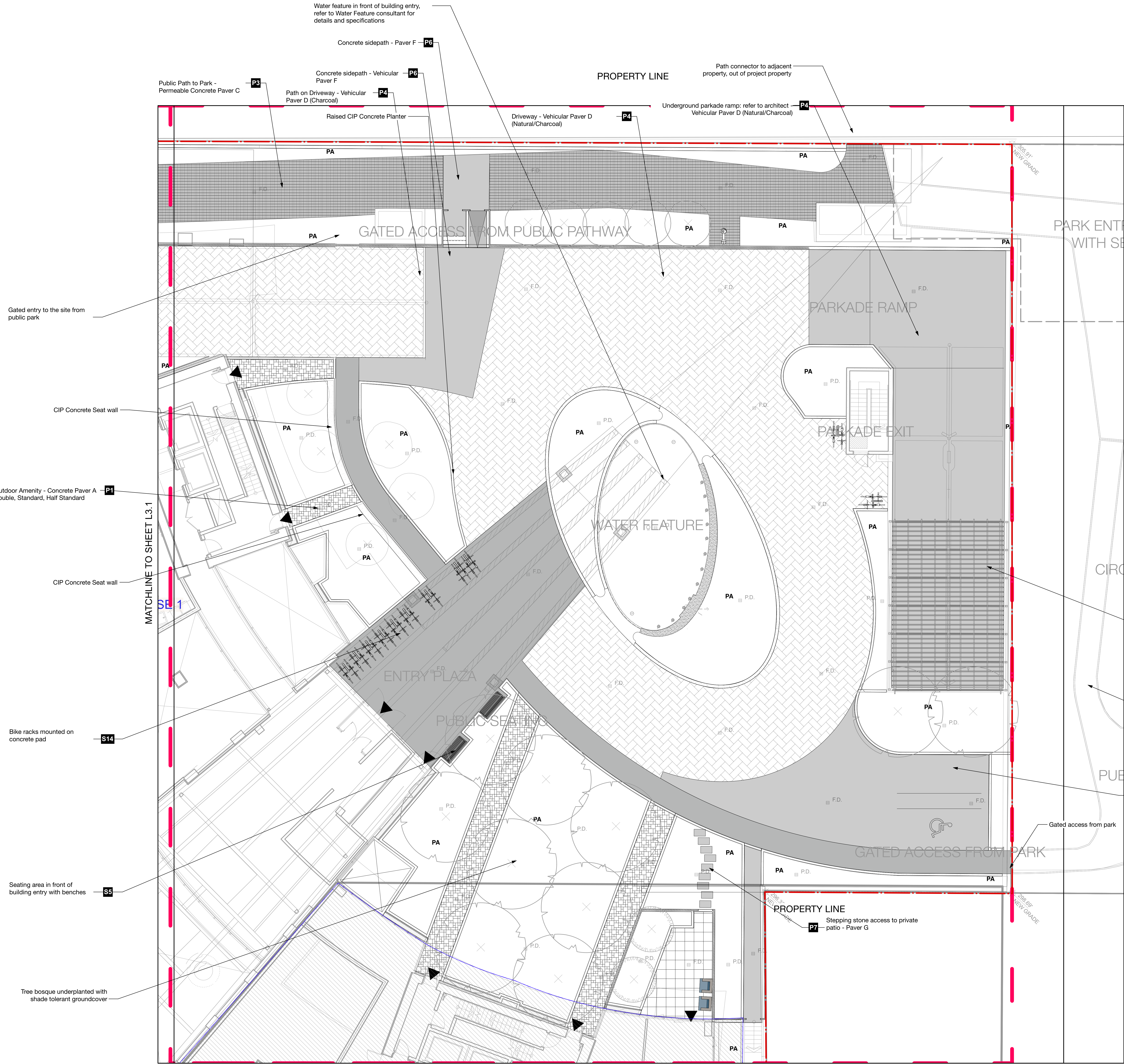
Date  
2015-09-14

**L3.1**

36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP.mxd





LEGEND:

- Concrete Paver A, Model: Pacific Stone, Manufacturer: Abbottford Concrete, Size: Standard, Double & Half Standard, Color: Granite Blend
- Concrete Paver B, Model: Pacific Stone, Manufacturer: Abbottford Concrete, Size: Double Standard, Color: Granite Blend
- Concrete Paver C, Model: Aquafire Old Country Stone, Manufacturer: Abbottford Concrete, Size: Standard, Color: Tan Brown Blend
- Concrete Paver D, Model: VS-6 Exconcrete, Manufacturer: Belgard, Size: 8"x12", Color: Natural/Charcoal
- Concrete Paver E, Model: Decomposed Granite, Manufacturer: Custom, Size: 6"x12", Color: Charcoal
- Concrete sidePath Paver F, Color: Grey concrete
- Stepping Stone Paver G, Model: Texas, Manufacturer: Abbottford Concrete, Size: 12"x24", Color: Charcoal

- 6" Concrete Retaining Curb
- Raised CIP Concrete Planter Wall
- Drip Strip with Timber Edger
- Metal Fence - refer to architect
- Timber edger for Bocce Court
- CIP Stairs

- Firetable Solus, Rectangle shape
- Firetable Solus, Square shape
- FireRing Solus
- Bench - Public Realm Magin ML570-W Silverline
- Bench Magin MLB1050-W Matte Finish - Core-Ten Powder Coating
- Chaise Lounge Equipac EP 1874 [pe]Colour co-ord with ID
- Lounge Sofa Hauser Loft Sofa CHS553 WT Colour co-ord with ID
- Club chair Hauser Loft CHS553 WT Colour co-ord with ID
- Outdoor Coffee table Equipac EP 1051 [pe]Colour co-ord with ID
- Outdoor Umbrella
- 2 No. Dining Table + 2 No. 2 seater chair + 4 No. 1 seater chair
- Bistro table & Chairs Magin Kontour RAL 2009
- Public drinking Fountain w/Dog Bowl HAWS
- Bike Rack Equipac EP 5990 Embedded Concrete pad below pavers
- Amenity area with BBQ

- Tree trunk
- Planted area
- Limit of Work

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2016-06-11	Issue for DP
L	2020.03.02	Re-issue for DP
N	2021.03.10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-issued for DP

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada - V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalandscape.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project  
**OXFORD STREET  
RESIDENTIAL**  
1500 OXFORD STREET  
White Rock, BC

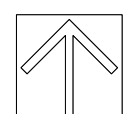
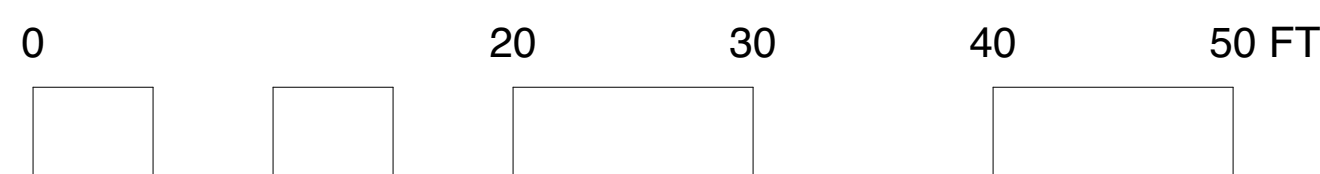
Drawing Title

**Materials - AREA 2**

Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No. <b>L3.2</b>
Date 2015-09-14	36

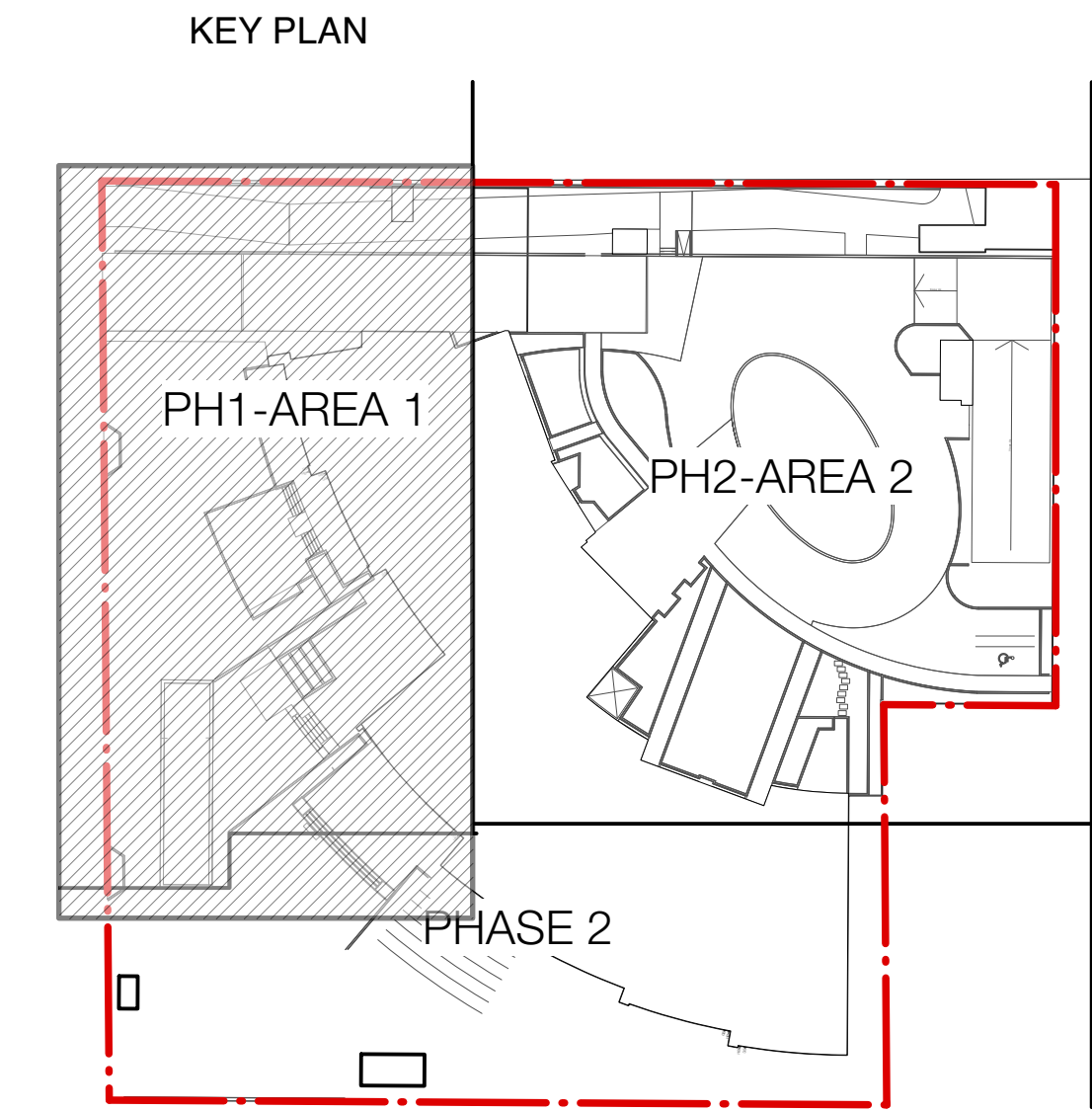
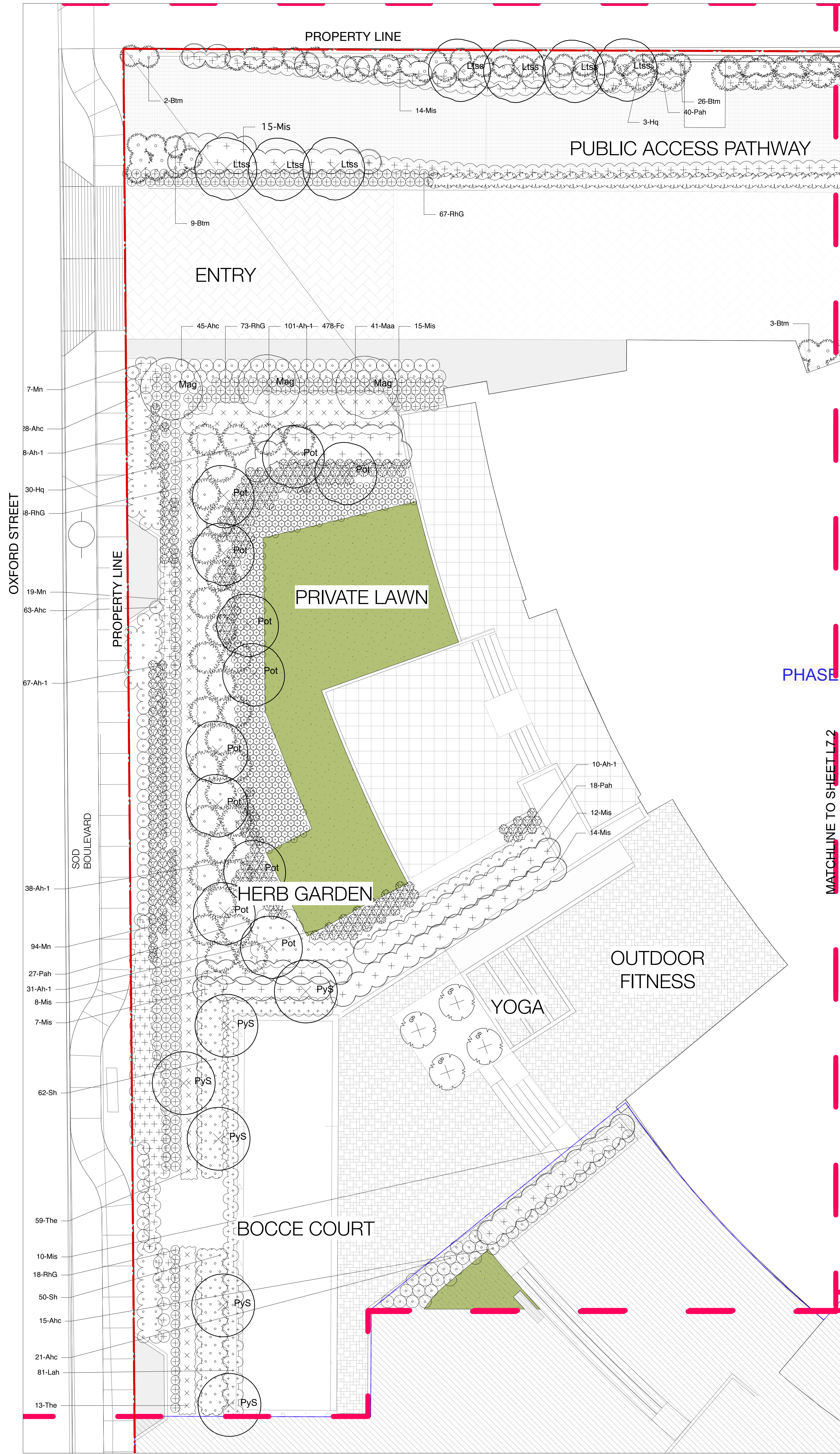
Plot Date:  
21 6-9  
21752 Oxford St Residential\_BP-view











Revision			
No.	Date	Revision Notes	
D	2015-10-27	Re-Issued for ADP	
E	2015-10-27	Re-issue for OCP Amendment & CD RZ	
F	2015-11-17	Re-issue for OCP Amendment & CD RZ	
H	2/20/14	Issued for public information	
I	3/13/14	Issued for rezoning	
J	7/21/15	Issued for Advisory Design Panel	
K	2019-06-11	Issue for DP	
L	2020-03-02	Re-Issue for DP	
N	2021-09-10	Issued for BP	
O	2021-05-07	Issued for Pricing	
S	2021-06-09	Re-issued for DP	

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada, V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

## OXFORD STREET RESIDENTIAL

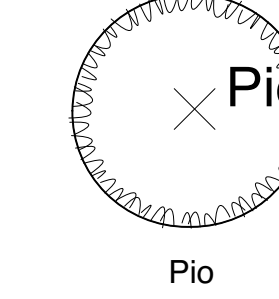
1500 OXFORD STREET  
White Rock, BC

Drawing Title

### Planting AREA 1

#### LEGEND:

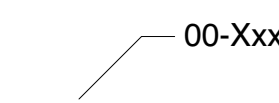
Note:  
For Plant species, refer to plant list schedule on L0.1



Trees

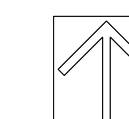
P10

Tree ID



Planting callouts for shrubs  
and ground covers including  
number of plants per area  
and plant ID

0 20 30 40 50 FT



Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

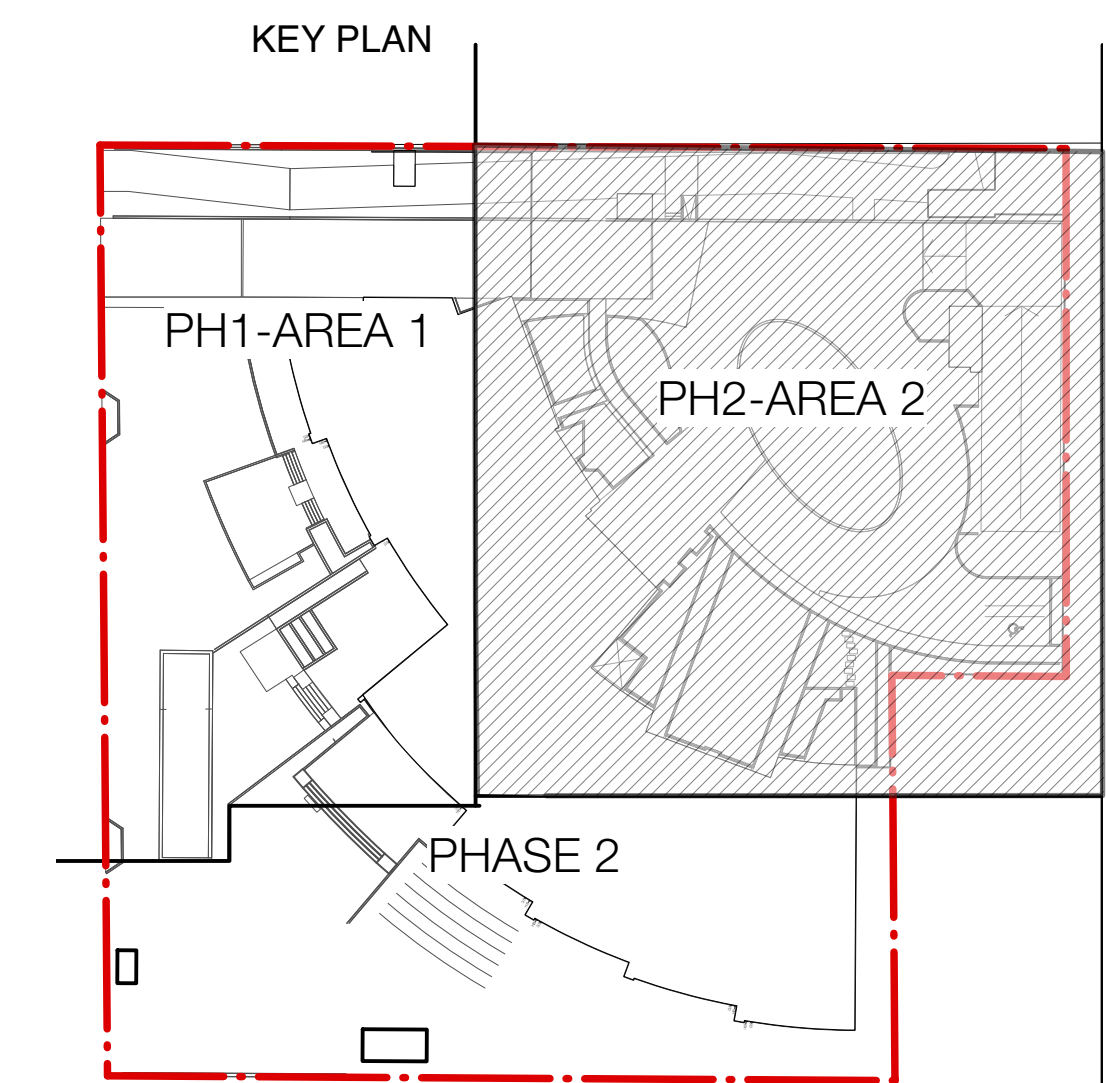
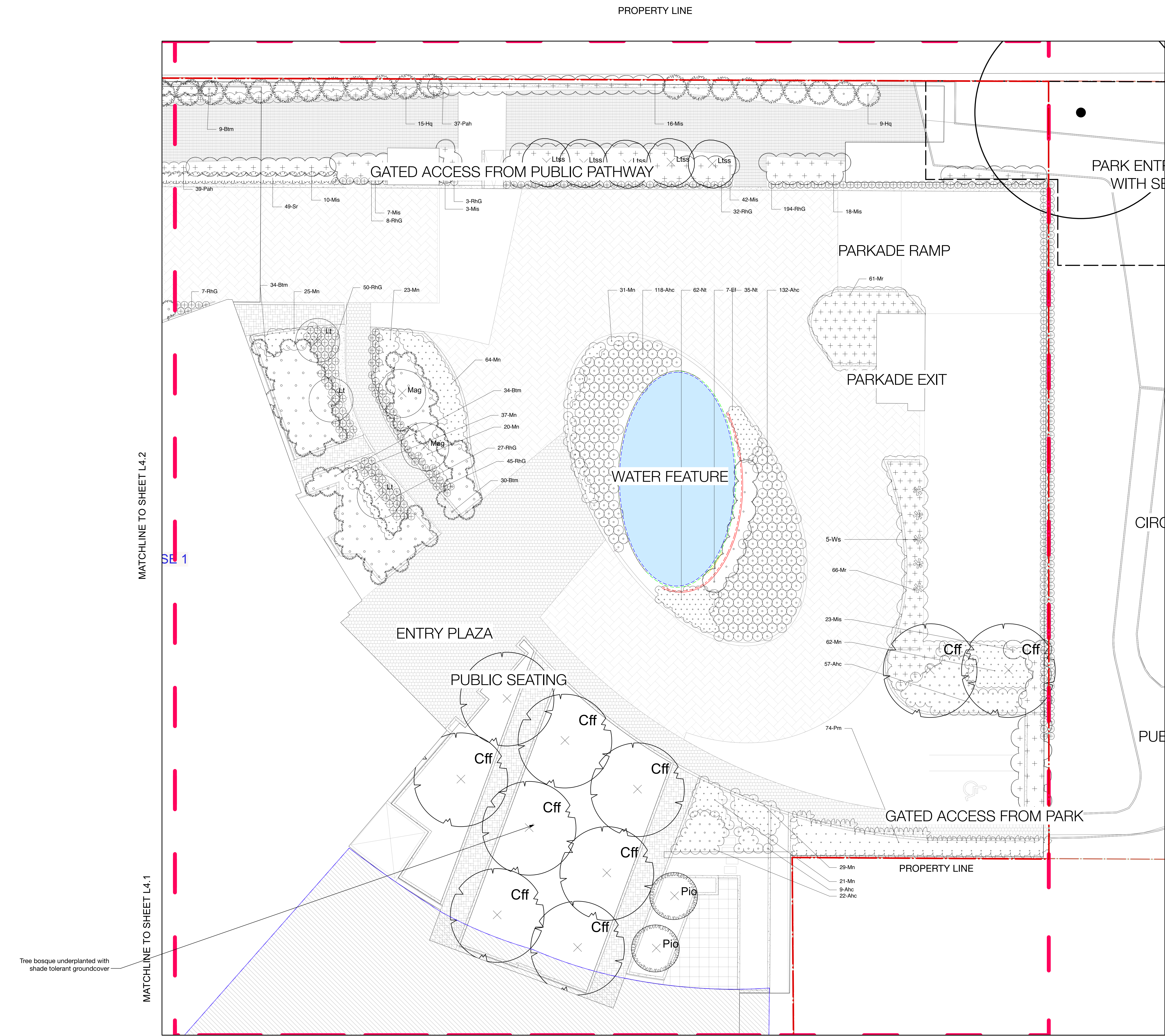
Project Manager GE	Project ID 21752
Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	

**L7.2**

36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BPvwx





Revision		
No.	Date	Revision Notes
Issue		
No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2016-06-11	Issue for DP
L	2020-03-02	Re-issue for DP
N	2021-03-10	Issued for BP
O	2021-05-07	Issued for Pricing
S	2021-06-09	Re-issued for DP

Professional Seal

**eta** landscape architecture  
1690 West 2nd Avenue  
Vancouver, BC, Canada, V6J 1H3  
t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

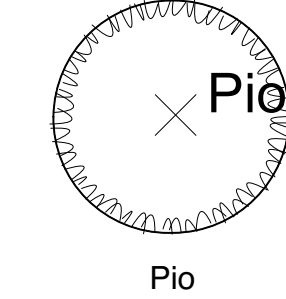
Project  
**OXFORD STREET  
RESIDENTIAL**  
1500 OXFORD STREET  
White Rock, BC

Drawing Title

**Planting Plan AREA 2**

LEGEND:

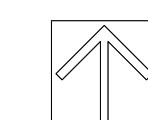
Note:  
For Plant species, refer to plant list schedule on L0.1



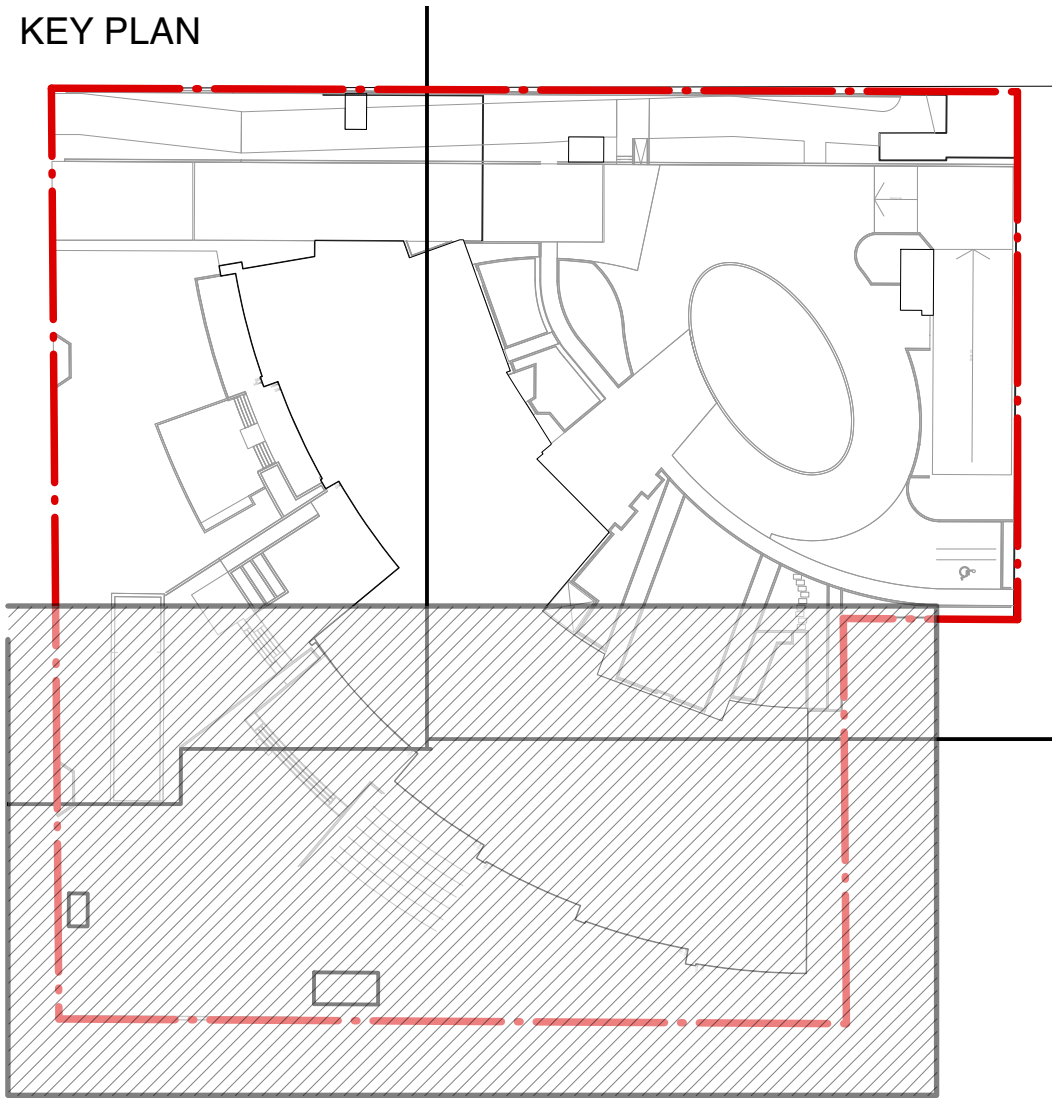
Trees  
Tree ID

00-Xxx

Planting callouts for shrubs and ground covers including number of plants per area and plant ID







Revision		
No.	Date	Revision Notes

Issue		
No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/2/15	Issued for Advisory Design Panel
K	2019-06-11	Issue for DP
L	2020-03-02	Re-issue for DP
T	2021-06-15	Phase 2- Issued for DP

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada - V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk, and without liability or legal exposure to the Consultant.

Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

### Planting Plan

Legal

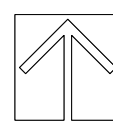
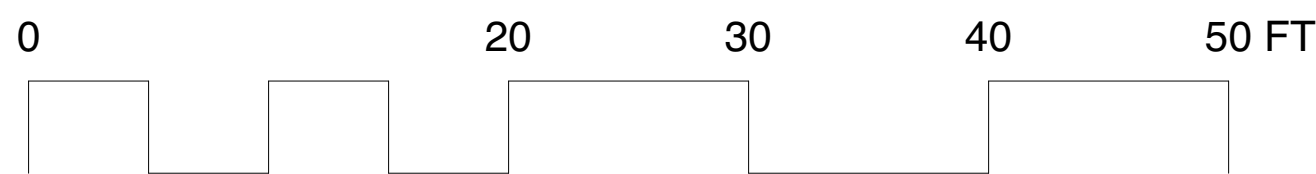
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No. <b>PH 2 - L7.1</b>
Date 2015-09-14	18

Plot Date:  
21-6-15  
21752 Oxford St Residential\_BP.mxd

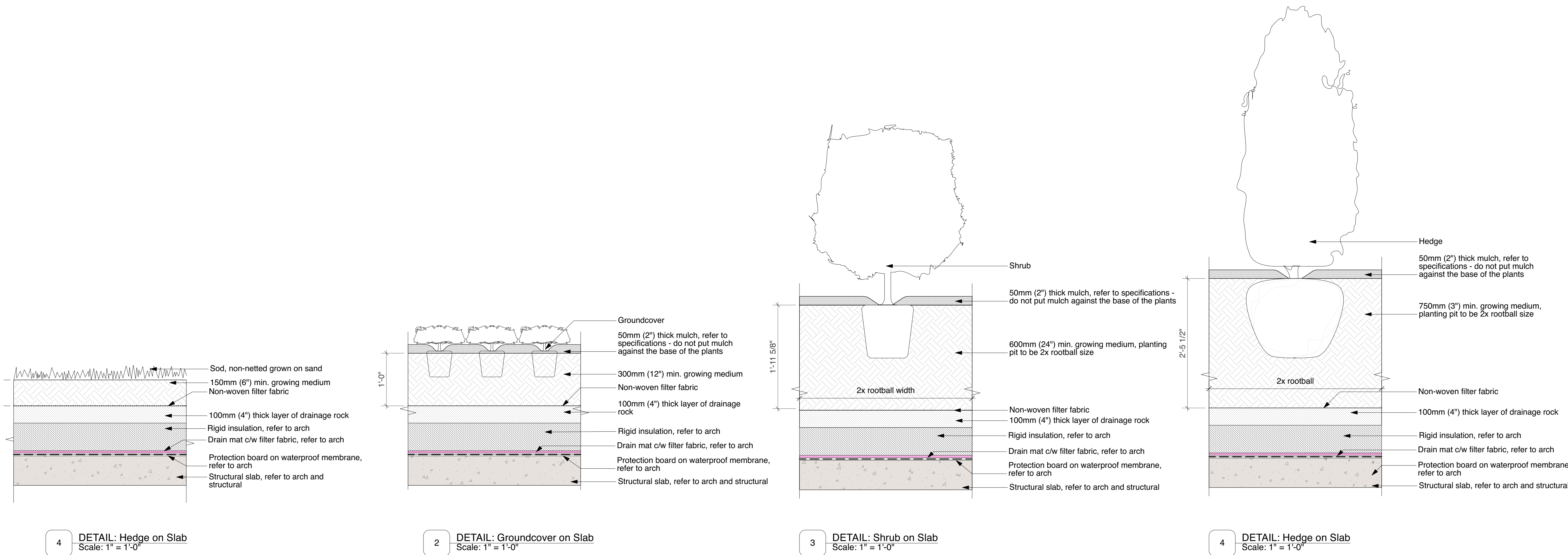


1 Scale: 1/8" = 1'-0"





Revision		
No.	Date	Revision Notes



Issue		
No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2019-06-11	Issue for DP
L	2020-03-02	Re-issue for DP
N	2021-03-10	Issued for BP
O	2021-05-07	Issued for Pricing
S	2021-06-09	Re-issued for DP

Professional Seal

**eta** landscape architecture

1690 West 2nd Avenue  
Vancouver , BC , Canada , V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture Inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

### Landscape Details - Soft

Legal

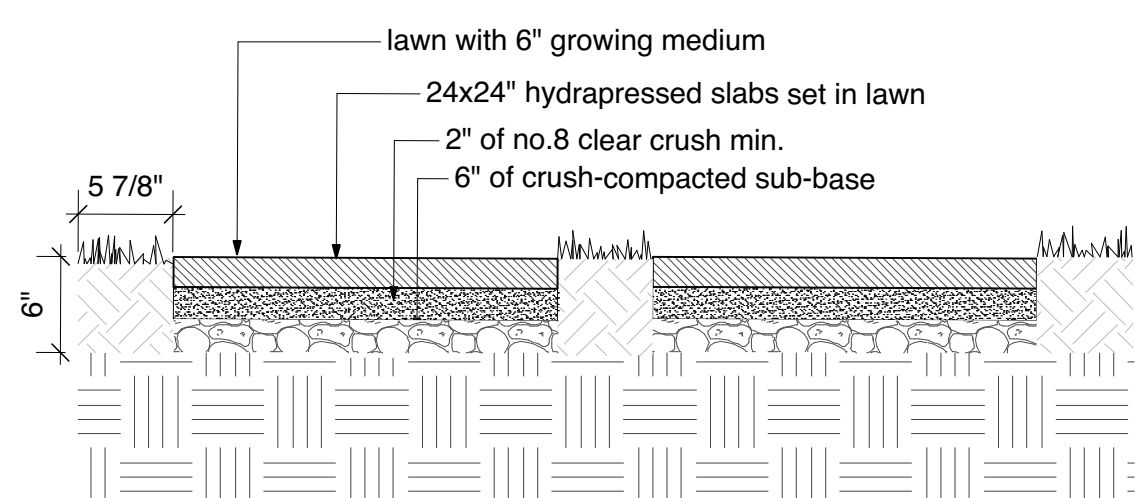
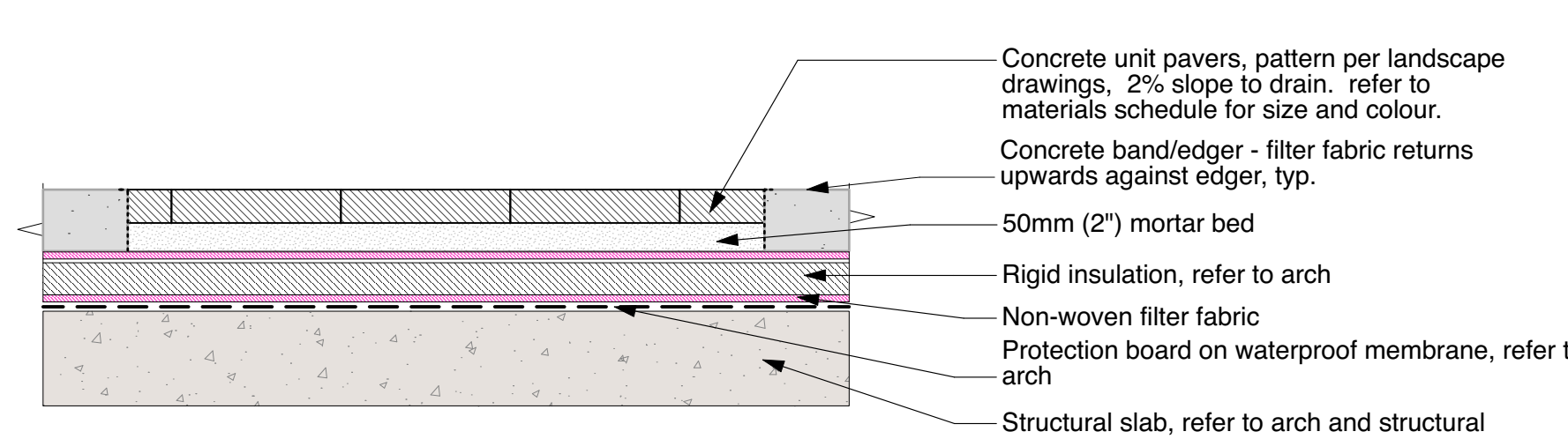
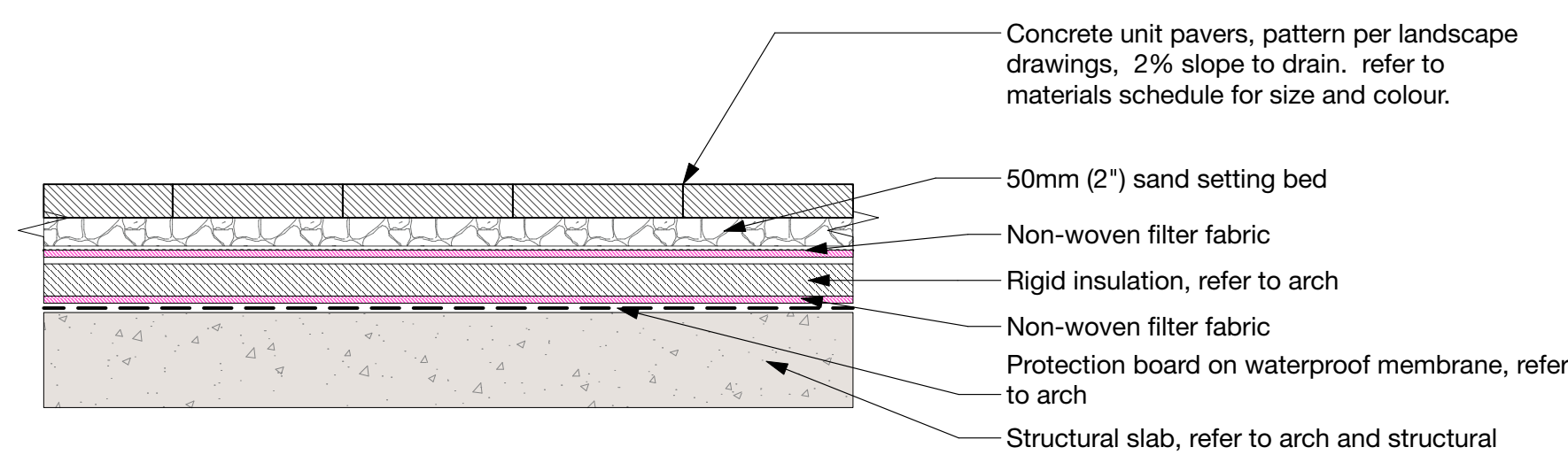
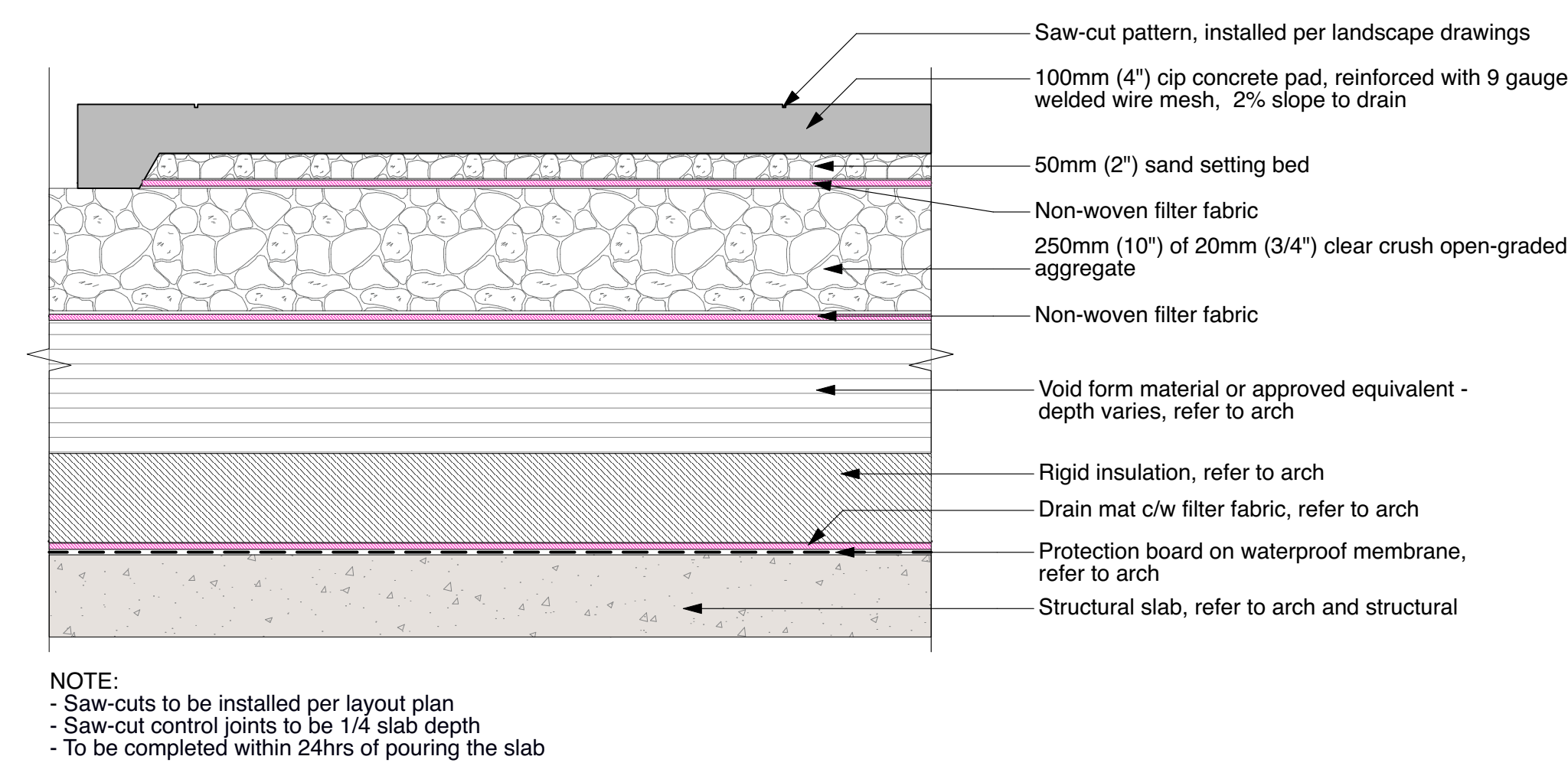
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan S2320, Section 10 Township 1

Project Manager	Project ID
GE	21752
Drawn By	Scale
GE/KB	AS SHOWN
Reviewed By	Drawing No.
GE	<b>L11.0</b>
Date	
2015-09-14	36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP1.vrx



Revision		
No.	Date	Revision Notes



Issue No.	Date	Issue Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CE
F	2015-11-17	Re-issue for OCP Amendment & CE
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2018-06-11	Issue for DP
L	2020-03-02	Re-Issue for DP
N	2021-03-10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-Issued for DP

4 DETAIL: Texada Stepping Stones  
Scale: 1" = 1'-0"

**P6**

2 DETAIL: Pedestrian Concrete Unit Pavers on Insulation on Slab  
Scale: 1" = 1'-0"

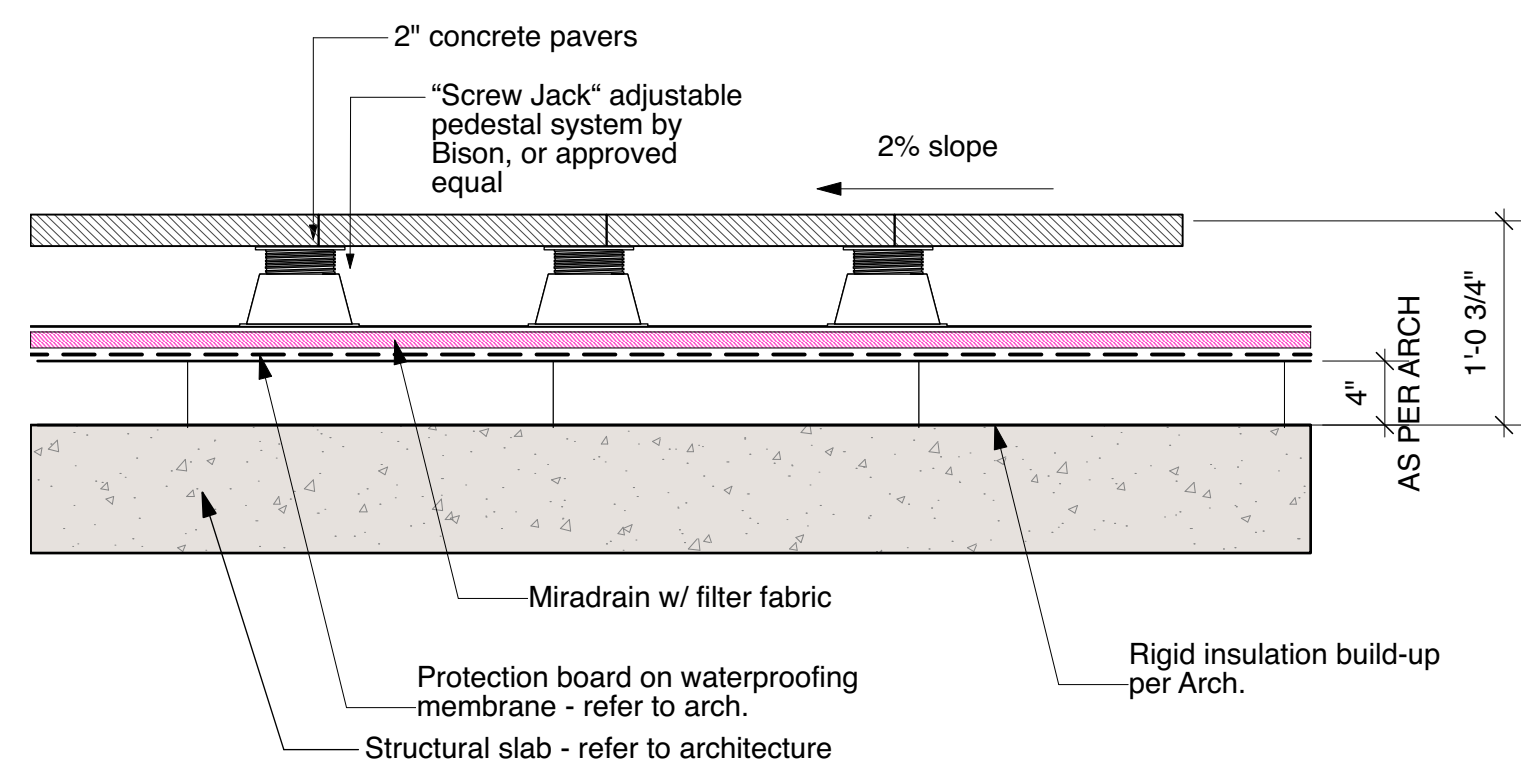
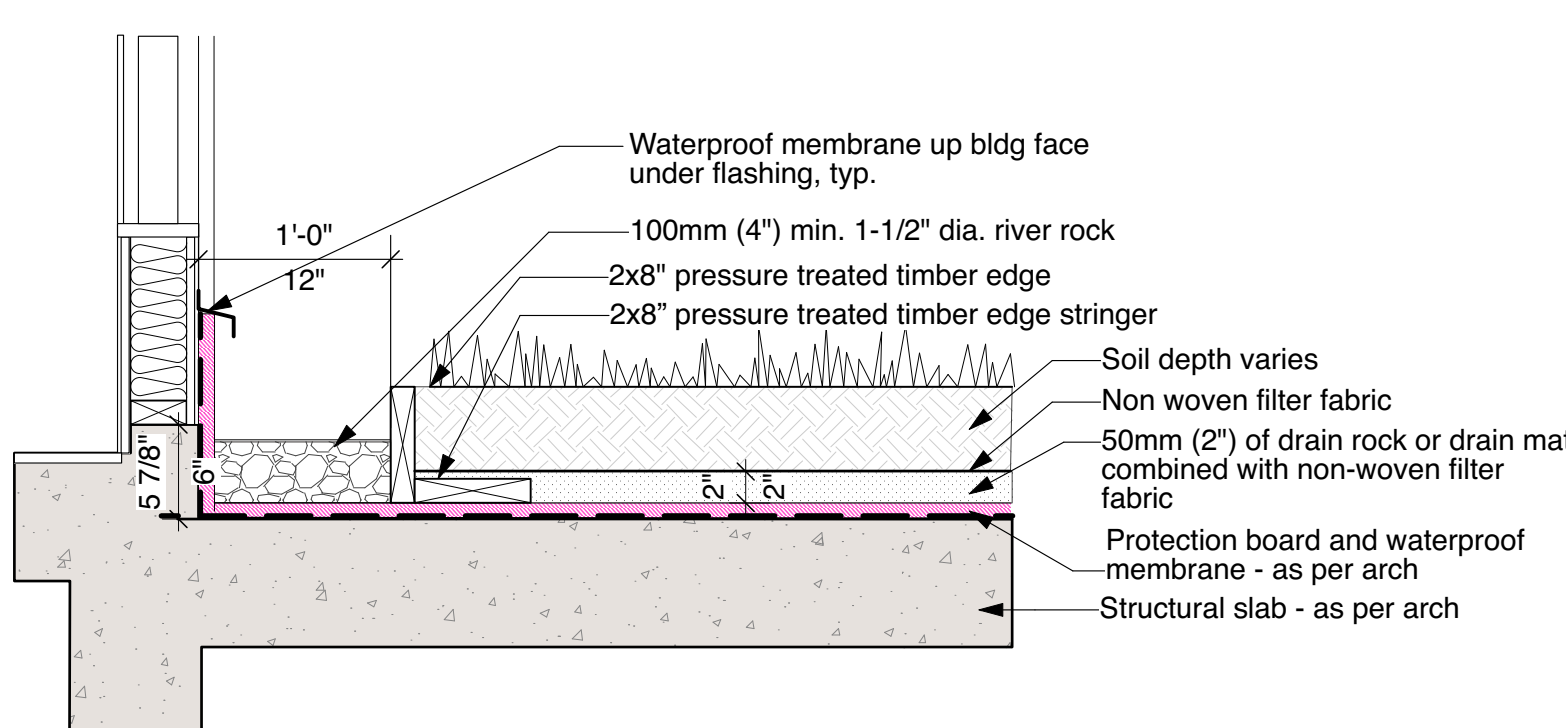
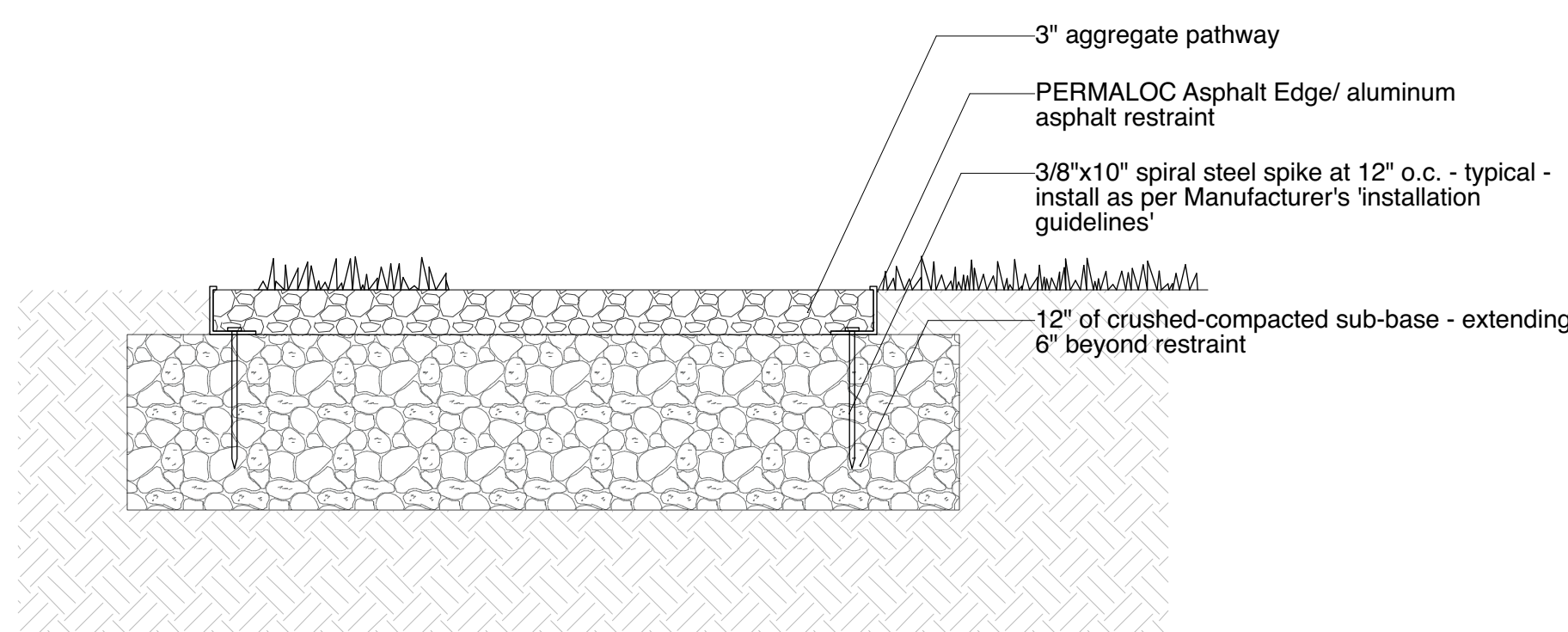
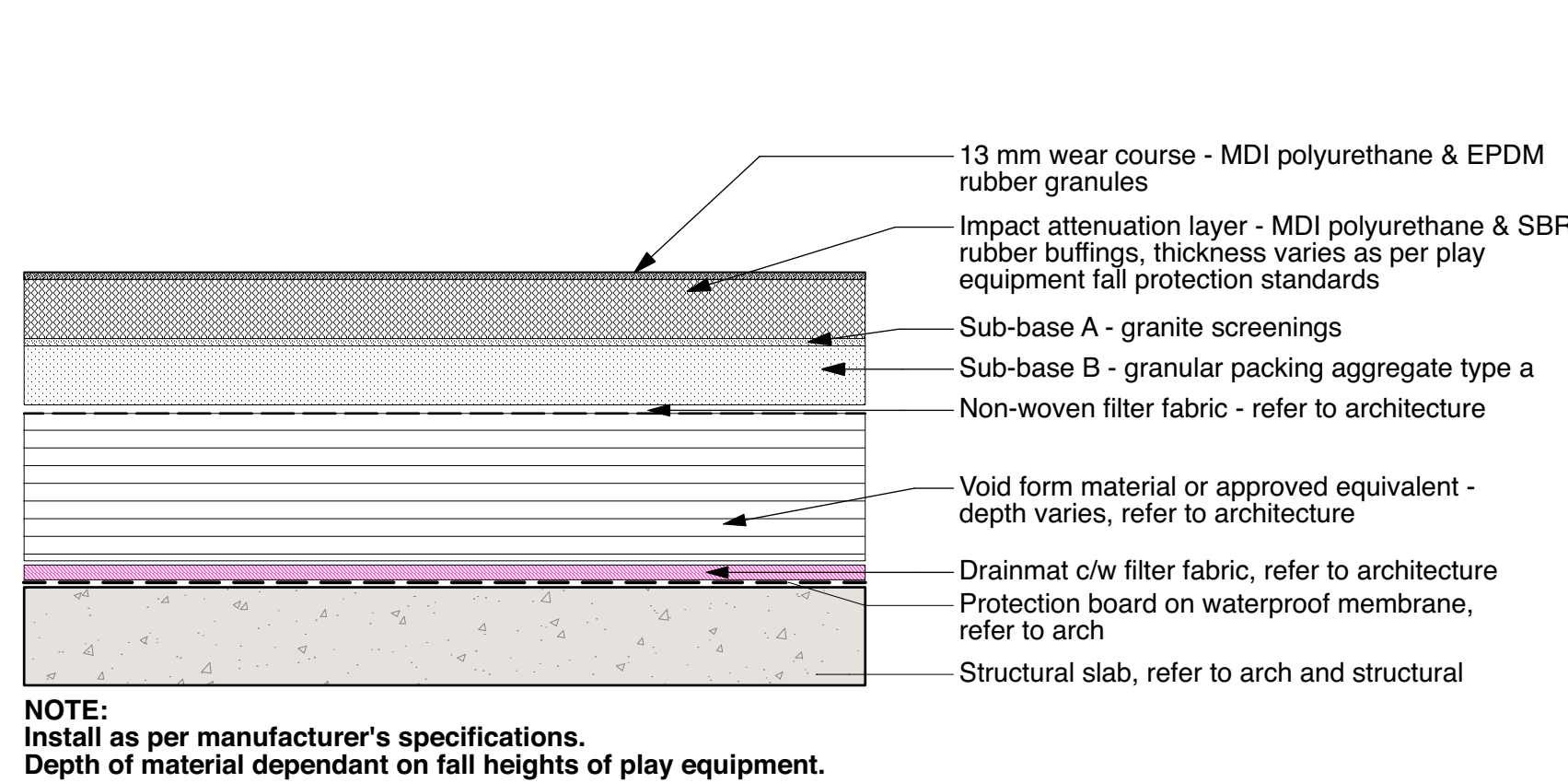
P1	P2	P3	P5
----	----	----	----

3 DETAIL: Vehicular Concrete Pavers on Insulation on Slab  
Scale: 1" = 1'-0"

P4

DETAIL: Texada Stepping Stones  
Scale: 1" = 1'-0"

**P7**



7 DETAIL: Drip Strip on Slab  
Scale: 1" = 1'-0"

**H4 H5 H6**

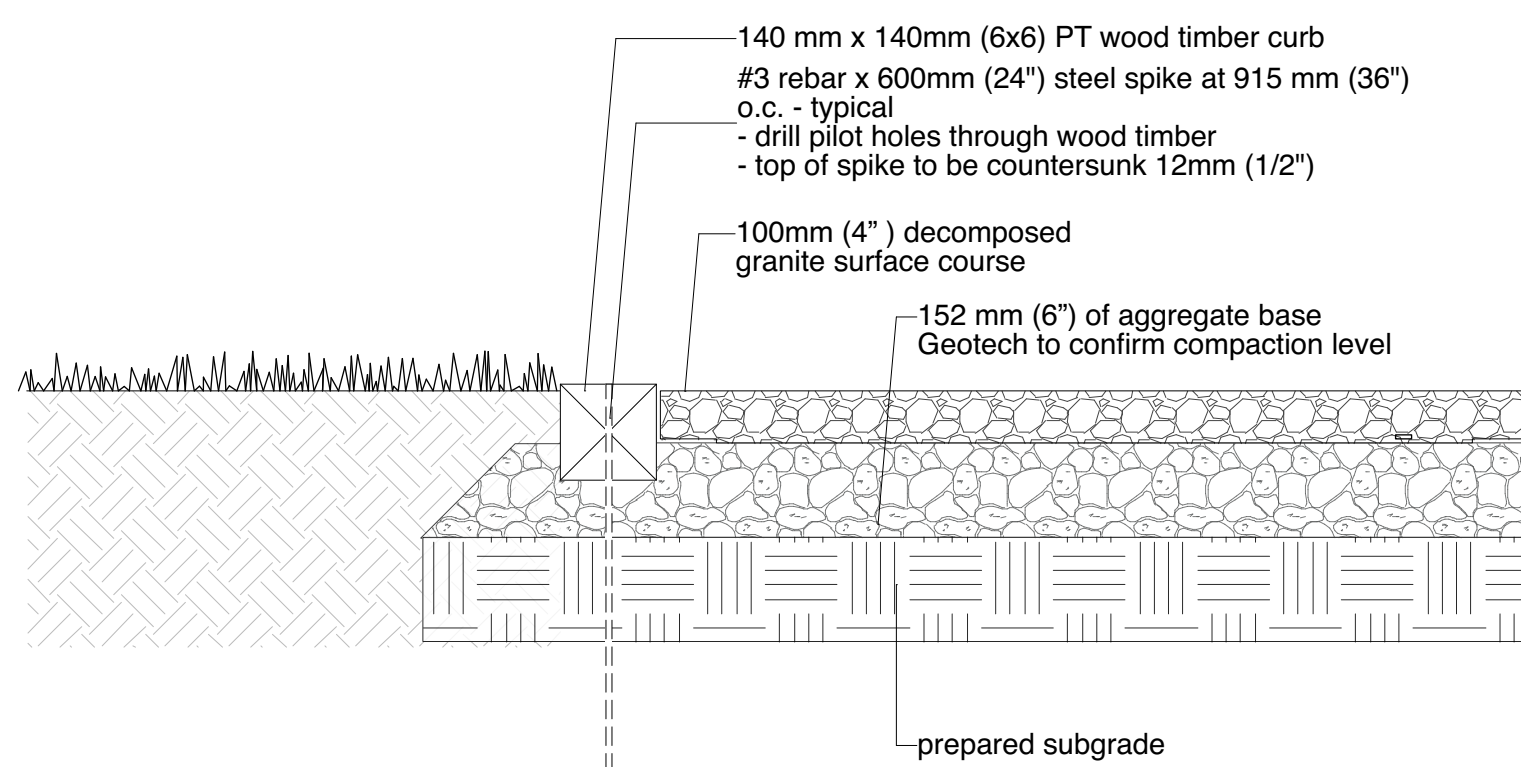
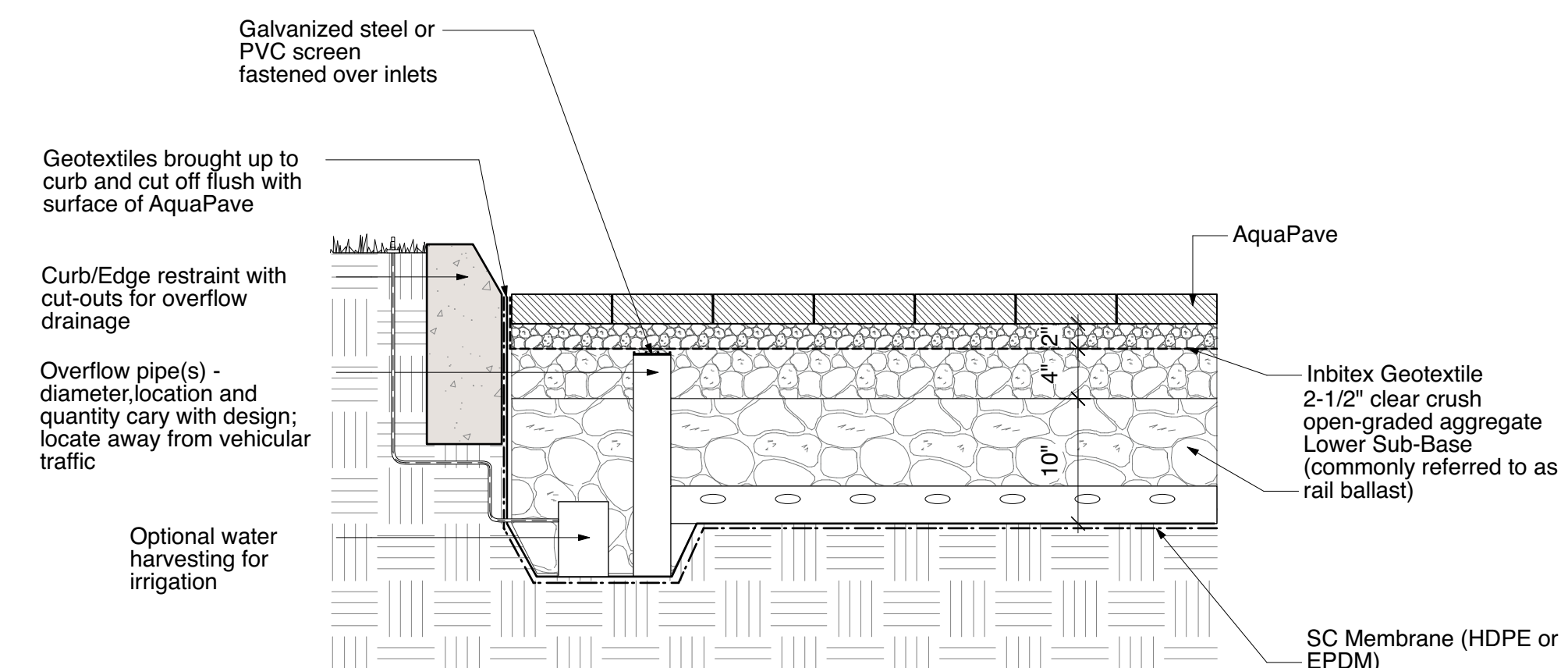
6 DETAIL: Decomposed Granite Path on Grade  
Scale: 1" = 1'-0"

7 DETAIL: Drip Strip on Slab  
Scale: 1" = 1'-0"

H7

8 DETAIL: Concrete Pavers on Pedestal  
Scale: 1" = 1'-0"

**P8**



10 DETAIL: Timber Edger on Bocce Court  
Scale: 1" = 1'-0"

10 DETAIL: Timber Edger on Bocce Court  
Scale: 1" = 1'-0"

H8

1690 West 2nd Avenue  
Vancouver, BC, Canada, V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | [www.etala.com](http://www.etala.com)

**All Rights Reserved by eta landscape architecture inc.**  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project

**OXFORD STREET  
RESIDENTIAL**

1500 OXFORD STREET  
White Rock, BC

Drawing Title

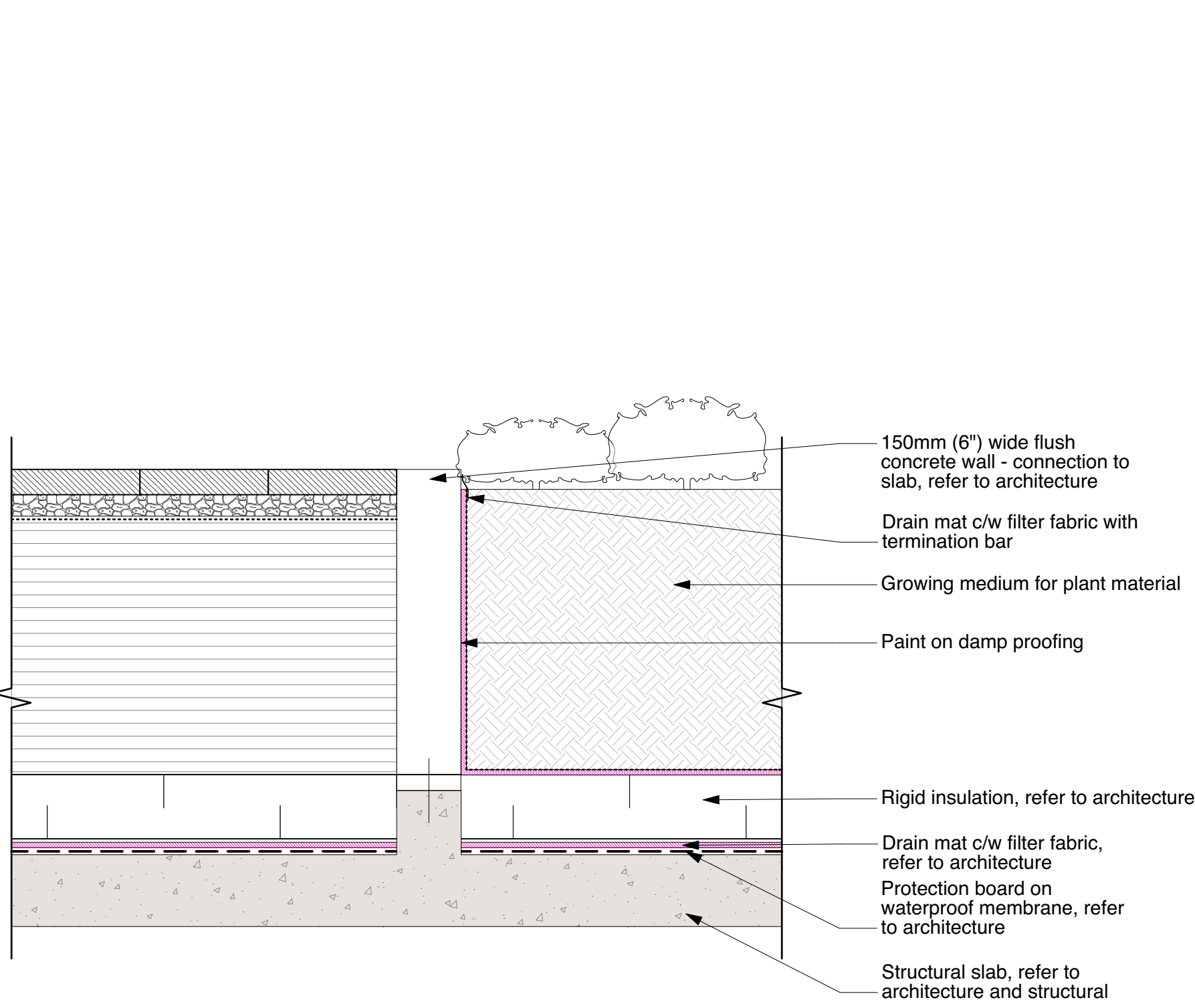
## Landscape Details - Hard

Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L12.1</b> _____ of _____ 36

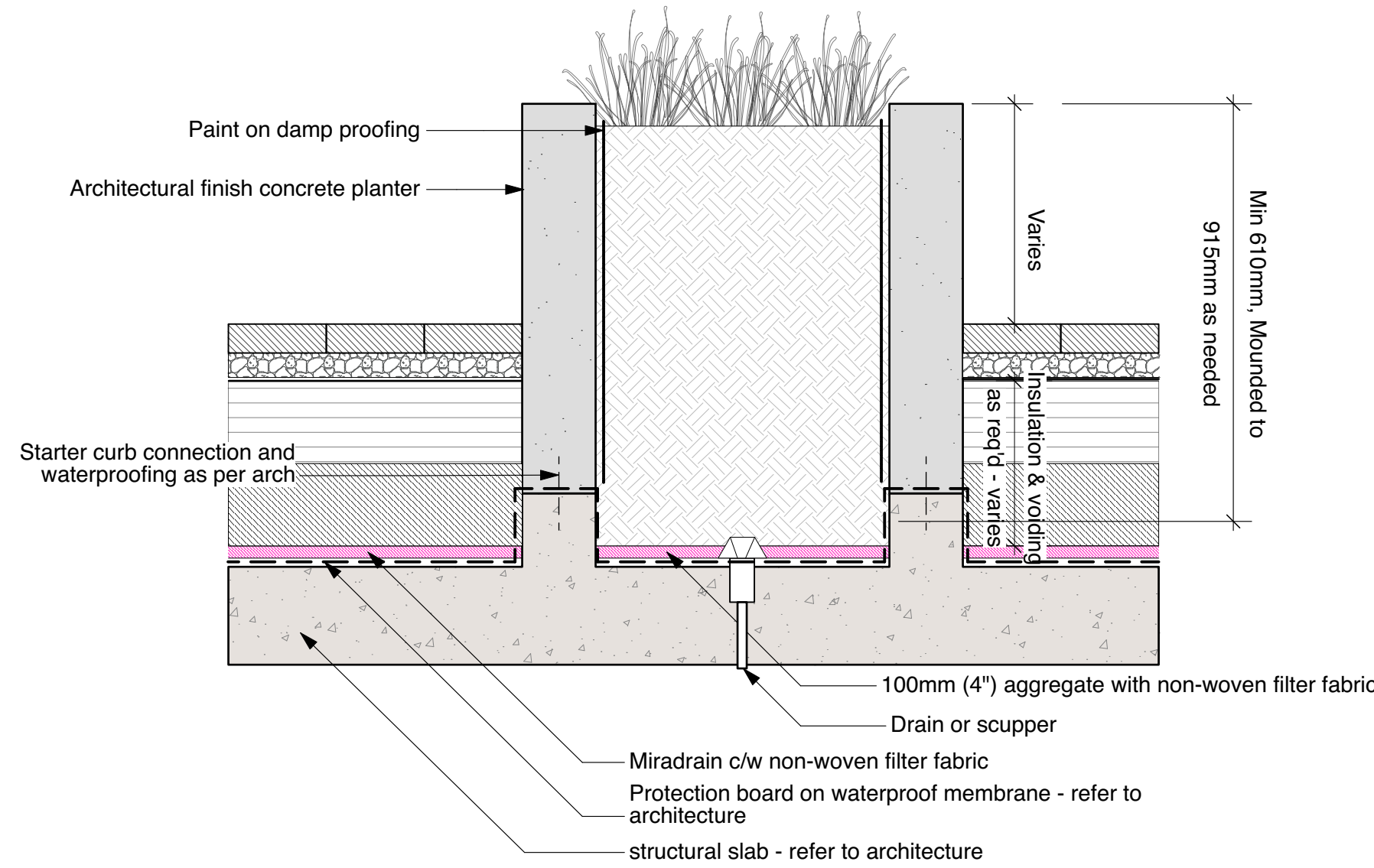
Plot Date:  
21-8-9  
21752 Oxford St Residential BP.vv





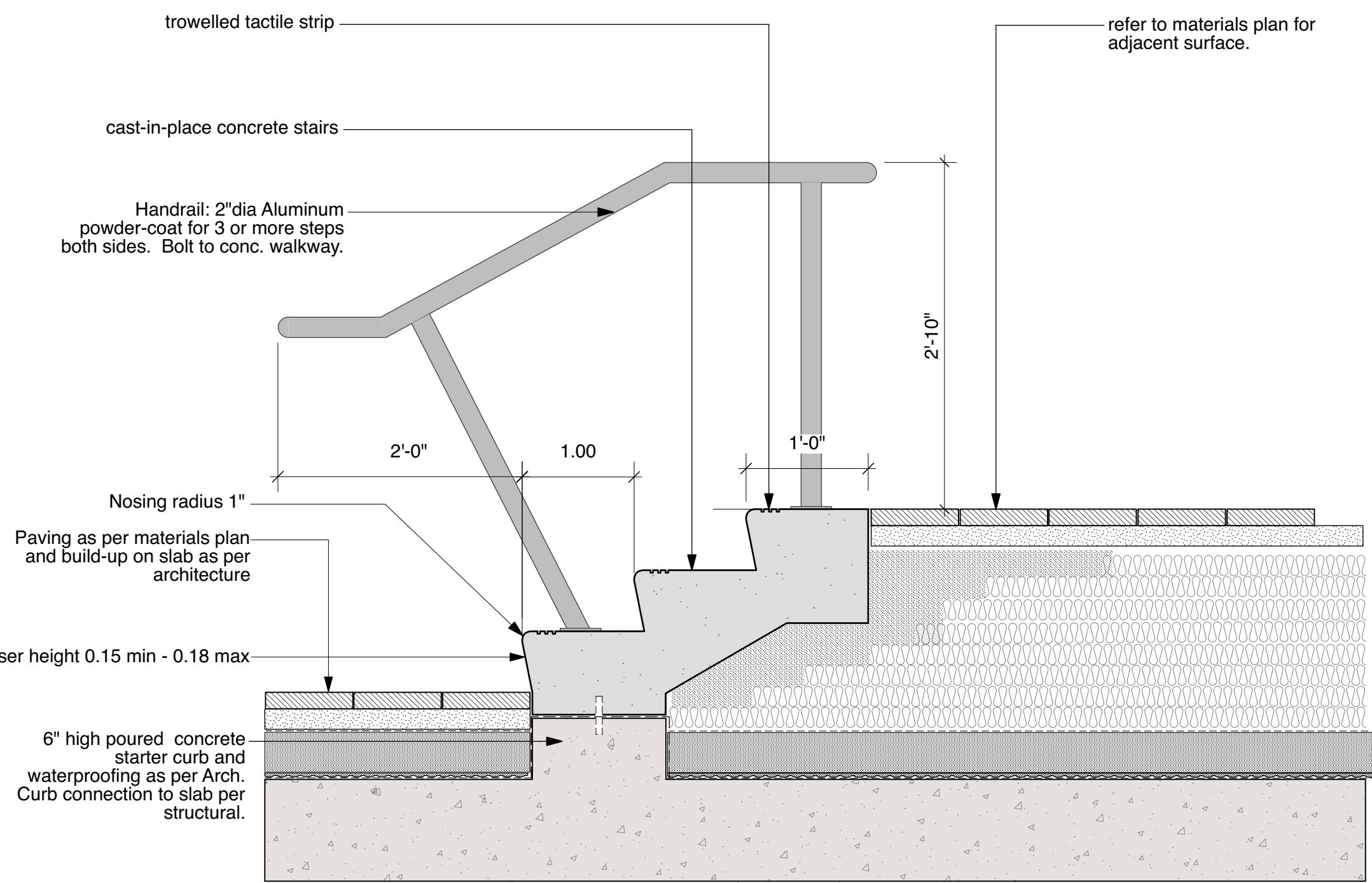
3 DETAIL: Concrete Unit Pavers with Flush Curb Planter  
Scale: 1" = 1'-0"

H3



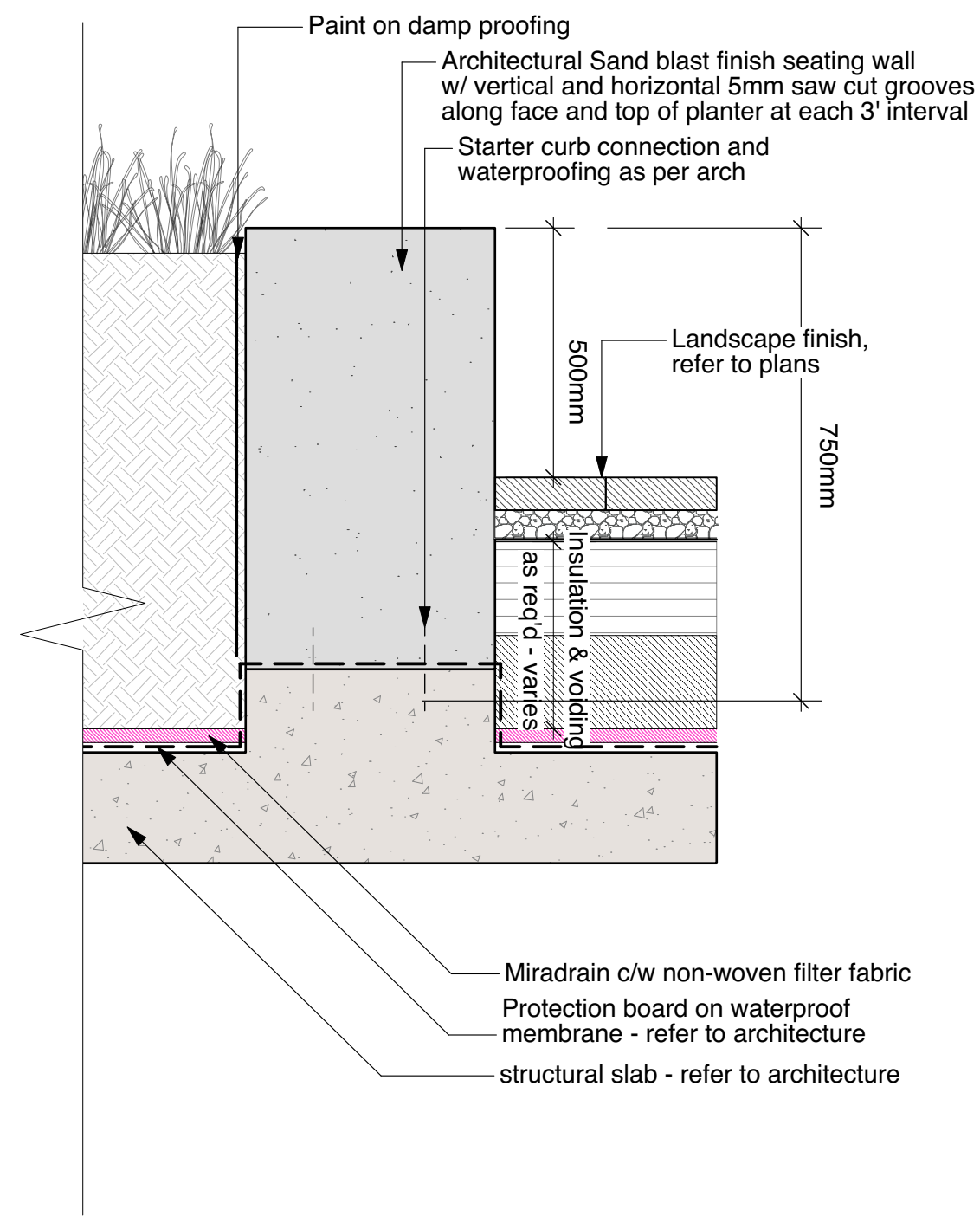
2 DETAIL: CIP Concrete Steps  
Scale: 1" = 1'-0"

H1



3 DETAIL: Concrete Unit Pavers with Flush Curb Planter  
Scale: 1" = 1'-0"

H2



4 DETAIL: CIP Concrete seating wall  
Scale: 1" = 1'-0"

Professional Seal

eta landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada, V6J 1H3

t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

All Rights Reserved by eta landscape architecture Inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

Landscape Details - Hard

Legal


Parcel "C" (Reference Plan 12042)  
Lot 4 Except; Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L12.2</b> of 36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP-vwx



MLB1050-W



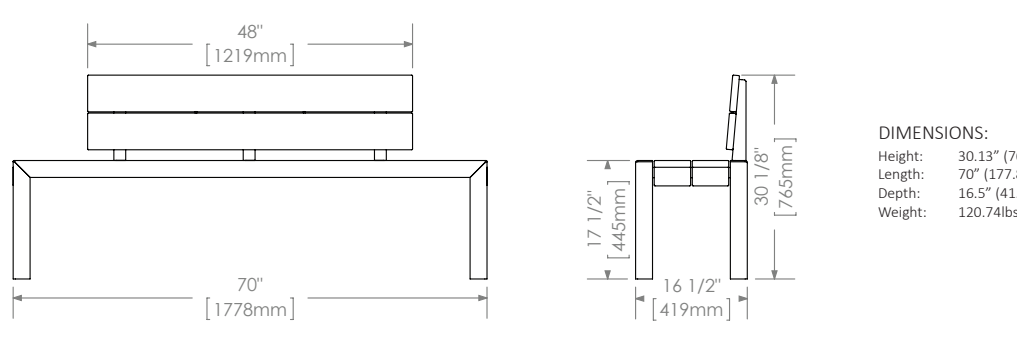
1050 SERIES

**MATERIALS:** The bench frame is constructed from formed steel and the top employs 1" birch wood.

**FINISH:** All steel components are protected with E-Coat and powder.

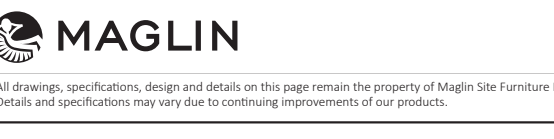
**INSTALLATION:** The bench is delivered pre-assembled. The legs have 5/16" holes for anchoring.

**TO SPECIFY:** Select MLB1050-W  
Chair  
Finish  
Powdercoat Color



DIMENSIONS:


Length: 60" (1524mm)  
Width: 18" (457mm)  
Height: 22" (559mm)  
Seat Height: 17" (430mm)  
Back Height: 22" (559mm)  
Back Width: 18" (457mm)  
Back Depth: 18" (457mm)  
Back Angle: 10°



1 800 345-1004  
416-268-7328  
hausersite.com

1 800 345-1004  
416-268-7328  
hausersite.com

MLB970-W

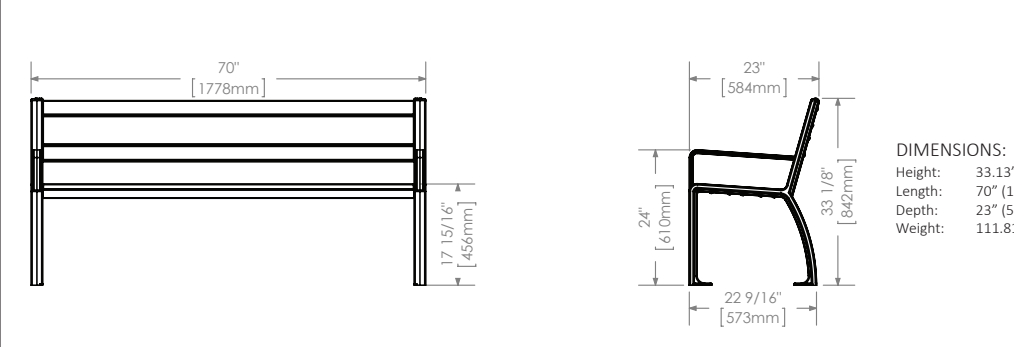


970 SERIES

**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs 1" birch wood.


**FINISH:** The bench is delivered pre-assembled. The legs have 5/16" holes for anchoring.

**TO SPECIFY:** Select MLB970-W  
Chair  
Finish  
Powdercoat Color



DIMENSIONS:

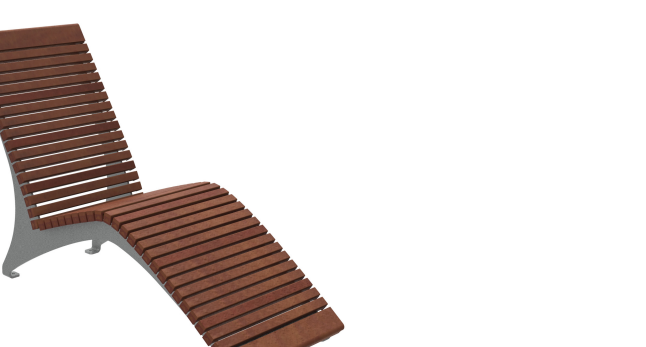
Length: 70" (1778mm)  
Width: 18" (457mm)  
Height: 22" (559mm)  
Seat Height: 17" (430mm)  
Back Height: 22" (559mm)  
Back Width: 18" (457mm)  
Back Depth: 18" (457mm)  
Back Angle: 10°



1 800 345-1004  
416-268-7328  
hausersite.com

1 800 345-1004  
416-268-7328  
hausersite.com

MCL720-W



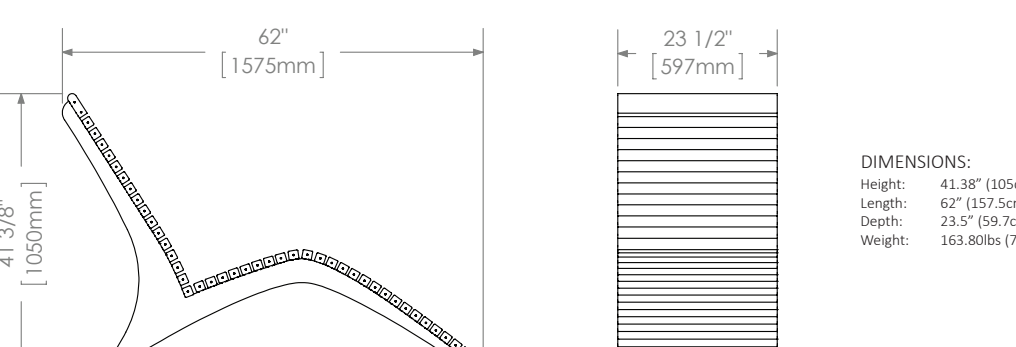
720 SERIES

**MATERIALS:** The lounge chair frame is constructed of open coil and formed steel. The seat employs birch wood slats.

**FINISH:** All steel components are protected with E-Coat and powder.


**INSTALLATION:** The chair is delivered pre-assembled. The legs have 5/16" holes for anchoring.

**TO SPECIFY:** Select MCL720-W  
Chair  
Finish  
Powdercoat Color



DIMENSIONS:

Length: 62" (1575mm)  
Width: 23 1/2" (597mm)  
Height: 41 3/8" (1063mm)  
Seat Height: 18 1/2" (468mm)  
Back Height: 23 1/2" (597mm)  
Back Width: 23 1/2" (597mm)  
Back Depth: 23 1/2" (597mm)  
Back Angle: 10°




1 800 345-1004  
416-268-7328  
hausersite.com

1 800 345-1004  
416-268-7328  
hausersite.com


Loft Club Chair

CH56201-WT - Loft Club Chair

The Loft Club Chair features an all-welded aluminum, powdercoated frame (weighted for commercial use). It is available in any Hauser/OTE powdercoat finish, with upholstery in any standard Hauser acrylic fabric, or COM. Shown here with our "Power" powdercoat finish, and Spectrum Dye acrylic fabric.



Width: 33 1/2" (851 mm)  
Depth: 32 1/2" (826 mm)  
Height: 32 1/2" (826 mm)  
Seat Height: 18" (457 mm)  
Arm Height: 25 1/2" (648 mm)  
Weight: 30 lbs (13.6 kg)  
Custom: Reversible



sales@hausersite.com  
800-268-7328  
hausersite.com

solus

Fire Features

**REITABLE:** ELECTRONIC START NG & LP

Fire is beautiful and also dangerous. If not handled properly, please have a qualified gas fitter install and install the product according to local codes.

The product has been tested and certified by Intertek Certification Inc. as being safe, as long as these minimum clearances to adjacent materials are maintained.

**FOR OUTDOOR USE ONLY**

NORTH AMERICA SPECIFICATIONS

Gas type: Natural Gas  
Gas pressure: 13.5" W.C.  
Electrical: 120V, 15A, 60 Hz  
BTU: 15,000

UK & EUROPEAN SPECIFICATIONS

Gas type: Natural Gas  
Gas pressure: 13.5" W.C.  
Electrical: 230V, 15A, 50 Hz  
BTU: 15,000

CONCRETE SPECS:

Depth: 10,000 psi (compressive)  
Weight: 475 lbs (215 kg)



CLEARANCES TO ADJACENT MATERIALS

Top: 27" (686mm)  
Side: 18" (457mm)  
Bottom: 18" (457mm)

JOB / ORDER

Name or Number:

Signature & Date:

S1

S2

1

SPEC SHEET: Onsite Bench - Maglin NTS

S5

2

SPEC SHEET: Public Bench - Maglin NTS

S4

3

SPEC SHEET: Lounge Chair - Maglin NTS

S6

4

SPEC SHEET: Ipe Outdoor Armchair - Equiparc NTS

S8

solus

Fire Features

**REITABLE:** ELECTRONIC START NG & LP

Fire is beautiful and also dangerous. If not handled properly, please have a qualified gas fitter install and install the product according to local codes.

The product has been tested and certified by Intertek Certification Inc. as being safe, as long as these minimum clearances to adjacent materials are maintained.

**FOR OUTDOOR USE ONLY**

NORTH AMERICA SPECIFICATIONS

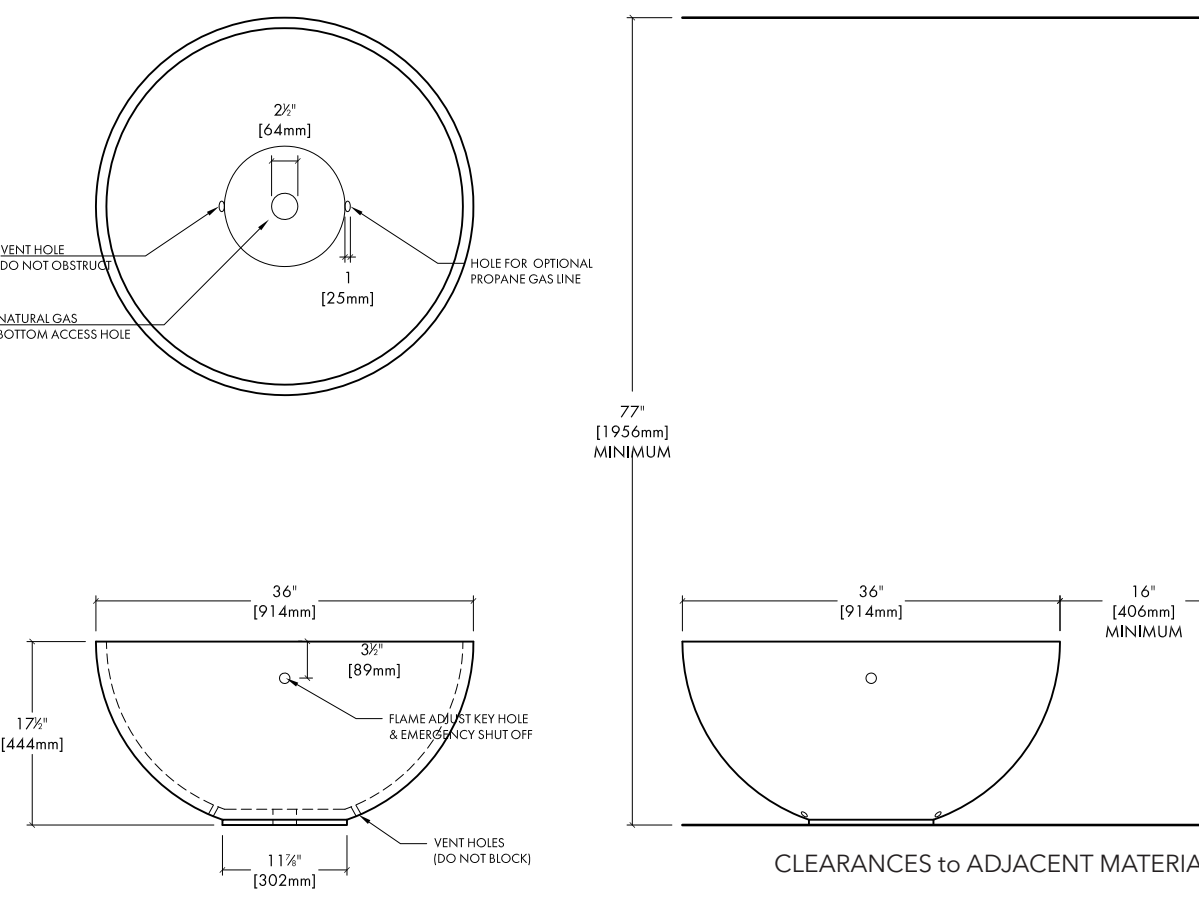
Gas type: Natural Gas  
Gas pressure: 13.5" W.C.  
Electrical: 120V, 15A, 60 Hz  
BTU: 15,000

UK & EUROPEAN SPECIFICATIONS

Gas type: Natural Gas  
Gas pressure: 13.5" W.C.  
Electrical: 230V, 15A, 50 Hz  
BTU: 15,000

CONCRETE SPECS:

Depth: 10,000 psi (compressive)  
Weight: 475 lbs (215 kg)



CLEARANCES TO ADJACENT MATERIALS

Top: 27" (686mm)  
Side: 18" (457mm)  
Bottom: 18" (457mm)

JOB / ORDER

Name or Number:

Signature & Date:

S3

7

SPEC SHEET: Outdoor Umbrella - Landscape Forms

S10

Equiparc

Bike rack

EP 5990

**SPECIFICATIONS:**

Frame: Aluminum components

Finish: Polyester powder coated

Foot support (UG): Hot-dipped galvanized steel flat

**AVAILABLE:**

5990-AG Surface mount

5990-UG In-ground mount

**Depth:** 300mm (11 3/4") **Length:** 200mm (7 7/8") **Height:** 825mm (32 1/2") **Weight:** 20 kg (45 lb)

This bike rack must be anchored. Our warranty applies when our product is properly assembled and anchored.


**CONCRETE SLABS AND ANCHORS:**

7056 1 slab 610mm X 610mm X 152mm (24" X 24" X 6")

7016 1 slab 610mm X 203mm (24" X 8")

GS 4 stainless steel tank bolts

QAV 4 drop-in anchors with stainless steel theftproof bolts



PLAN:

300 MM  
51 MM  
200 MM

JOB / ORDER

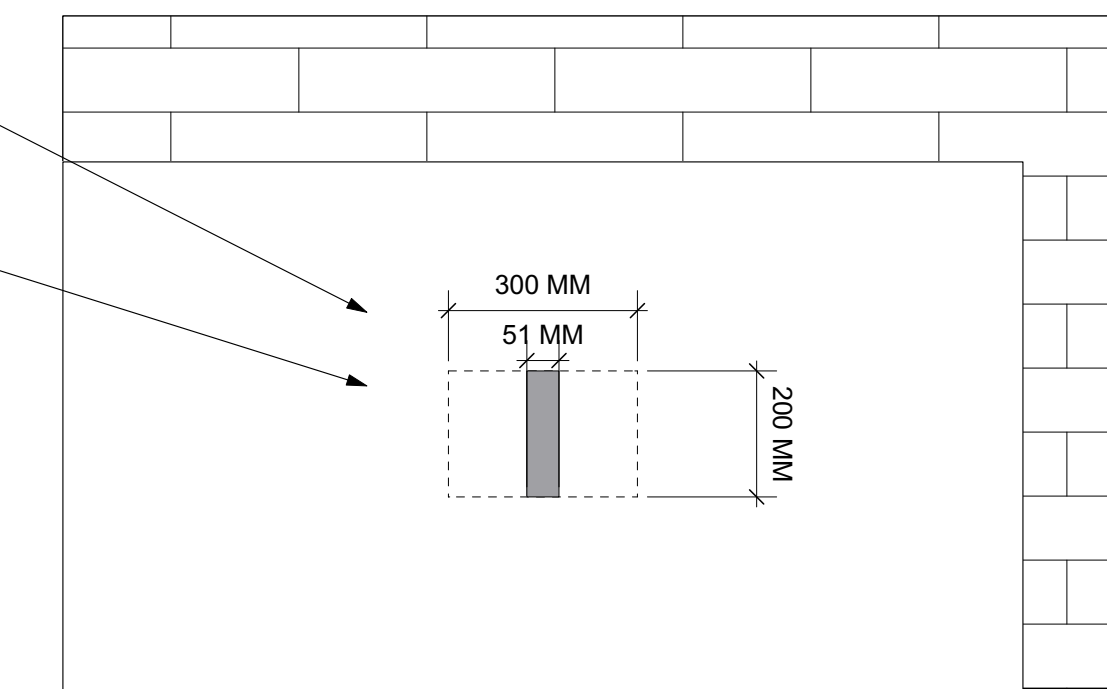
Name or Number:

Signature & Date:

S14

PLAN:

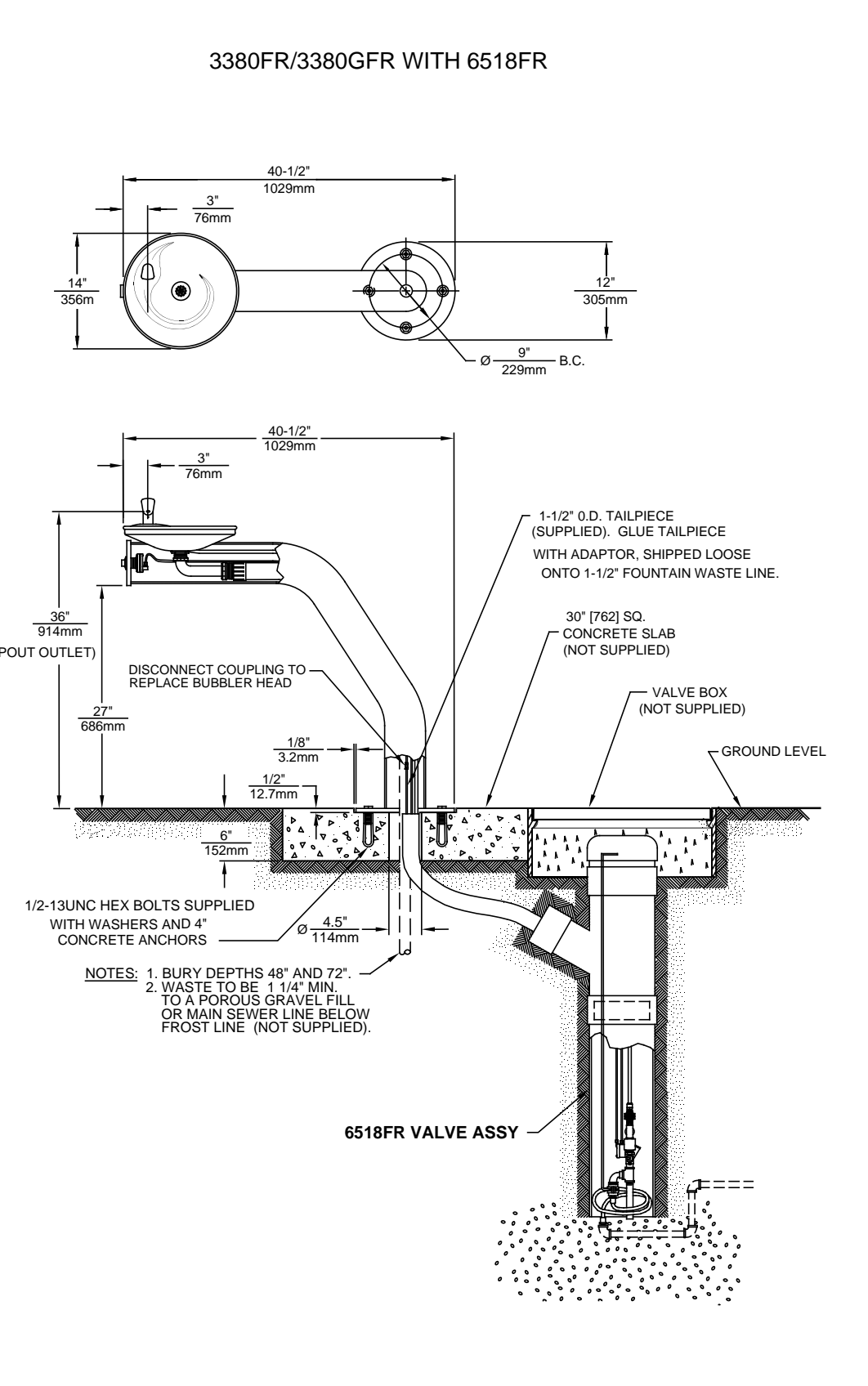
300 MM  
51 MM  
200 MM



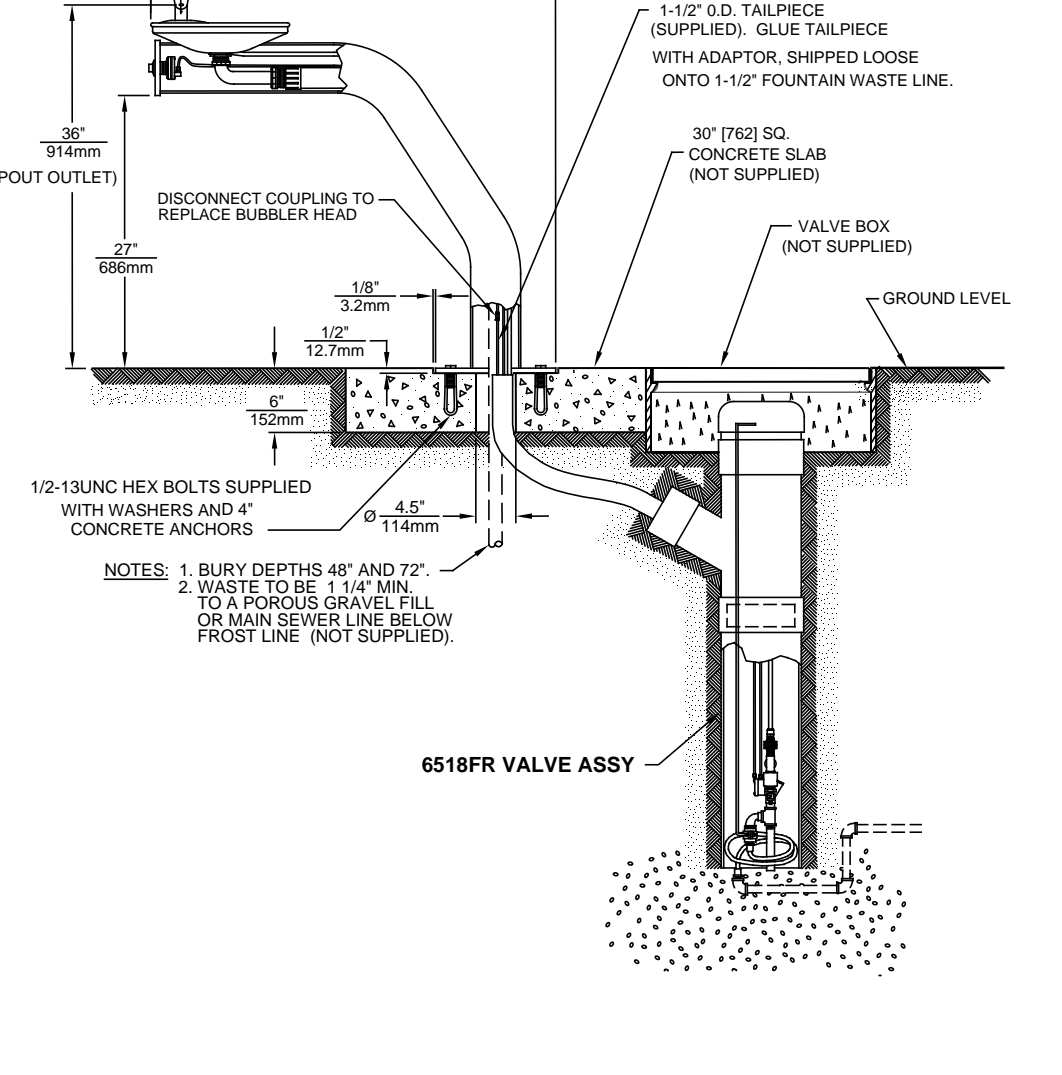
SIDE ELEVATION:

300 MM  
51 MM  
200 MM

3380FR/3380GFR WITH 6518FR



6518FR VALVE ASSY



6

SPEC SHEET: Fire Ring - Solus NTS

S3

7

SPEC SHEET: Outdoor Umbrella - Landscape Forms

S10

8

SPEC SHEET: Bike Rack - Equiparc NTS

S14

9


SPEC SHEET: Water Fountain - Haws NTS

S13


Loft Sofa

CH56203-WT - Loft Sofa

The Loft Sofa features an all-welded aluminum, powdercoated frame (weighted for commercial use). It is available in any Hauser/OTE powdercoat finish, with upholstery in any standard Hauser acrylic fabric, or COM. Shown here with our "Titanium" powdercoat finish, and "Coral Horizon" acrylic fabric.



Width: 81" (2057 mm)  
Depth: 32 1/2" (826 mm)  
Height: 32 1/2" (826 mm)  
Seat Height: 18" (457 mm)  
Arm Height: 25 1/2" (648 mm)  
Weight: 300 lbs (136 kg)  
Custom: Reversible



sales@hausersite.com  
800-268-7328  
hausersite.com

Equiparc

Seat

EP 1051

**SPECIFICATIONS:**

Frame: 10mm (3/8") aluminum components

Finish: Polyester powder coated

Slats: 51mm X 152mm (2" X 6")

Fasteners: Stainless steel

**COVERINGS:**

DFF Select Douglas fir

JAT Select hardwood

IFE Select hardwood

HWA Select hardwood

**Depth:** 567mm (22 1/4") **Length:** 892mm (35 1/4") **Height:** 450mm (17 3/4") **Weight:** 44 kg (97 lbs)

**A:** 892mm (35 1/4") **B:** 468mm (18 1/2") **C:** 610mm (23 3/4") **D:** 576mm (22 3/4")

This bench must be anchored. Make sure there is a 10mm (3/8") gap between each piece of furniture. Our warranty applies when our product is properly assembled and anchored.

**CONCRETE SLABS AND ANCHORS:**

7005 1 slab 610mm X 610mm X 152mm (24" X 24" X 6")

GS 4 stainless steel tank bolts

QAV 4 drop-in anchors with stainless steel theftproof bolts



PLAN:

567mm (22 1/4")  
892mm (35 1/4")  
450mm (17 3/4")  
468mm (18 1/2")  
610mm (23 3/4")  
576mm (22 3/4")

JOB / ORDER

Name or Number:

Signature & Date:

S7

Equiparc

Table and seats

EP 2300

**SPECIFICATIONS:**

Support: Steel tubes and flats

Finish: Hot-dipped galvanized

Slats: 51mm X 76mm (2" X 3") and 51mm X 152mm (2" X 6")

Fasteners: Stainless steel

ADA Compliant: The table top ends are already ADA compliant (813 X 724mm / 32" X 28 1/2")

**COVERINGS:**

YRPU Grey plastic

SRPU Select plastic

ORPU Olive plastic

CRPU Cedar plastic

WRPU Walnut recycled plastic

**OPTIONS:**

GP Galvanized and painted frame

HAND Table top extended to 95 1/2" for wheelchair access

PARASOL Modified for parasol

**EP 2300 (Set of one EP 2300-T and two EP 2300-LB)**

**Depth:** 1784mm (70 1/4") **Length:** 1800mm (71") **Height:** 812mm (32") **Weight:** 234 kg (515 lb)

**EP 2300 - SB (Small bench only)**

**Depth:** 345mm (13 1/2") **Length:** 500mm (19 5/8") **Height:** 462mm (18 3/16") **Weight:** 24 kg (53 lb)

**EP 2300 - T (Table only)**

**Depth:** 614mm (24 1/8") **Length:** 1800mm (71") **Height:** 812mm (32") **Weight:** 130 kg (286 lb)

**EP 2300 - LB (Long bench only)**


**Depth:** 345mm (13 1/2") **Length:** 1498mm (59") **Height:** 462mm (18 3/16") **Weight:** 52 kg (115 lb)

This table must be anchored. Our warranty applies when our product is properly assembled and anchored.

**CONCRETE SLABS AND ANCHORS:**

GS 12 drop-in anchors with stainless steel theftproof bolts

QAV 12 stainless steel tank bolts



PLAN:

1784mm (70 1/4")  
1800mm (71")  
812mm (32")  
345mm (13 1/2")  
500mm (19 5/8")  
462mm (18 3/16")  
614mm (24 1/8")  
1498mm (59")

JOB / ORDER

Name or Number:

Signature & Date:

S11

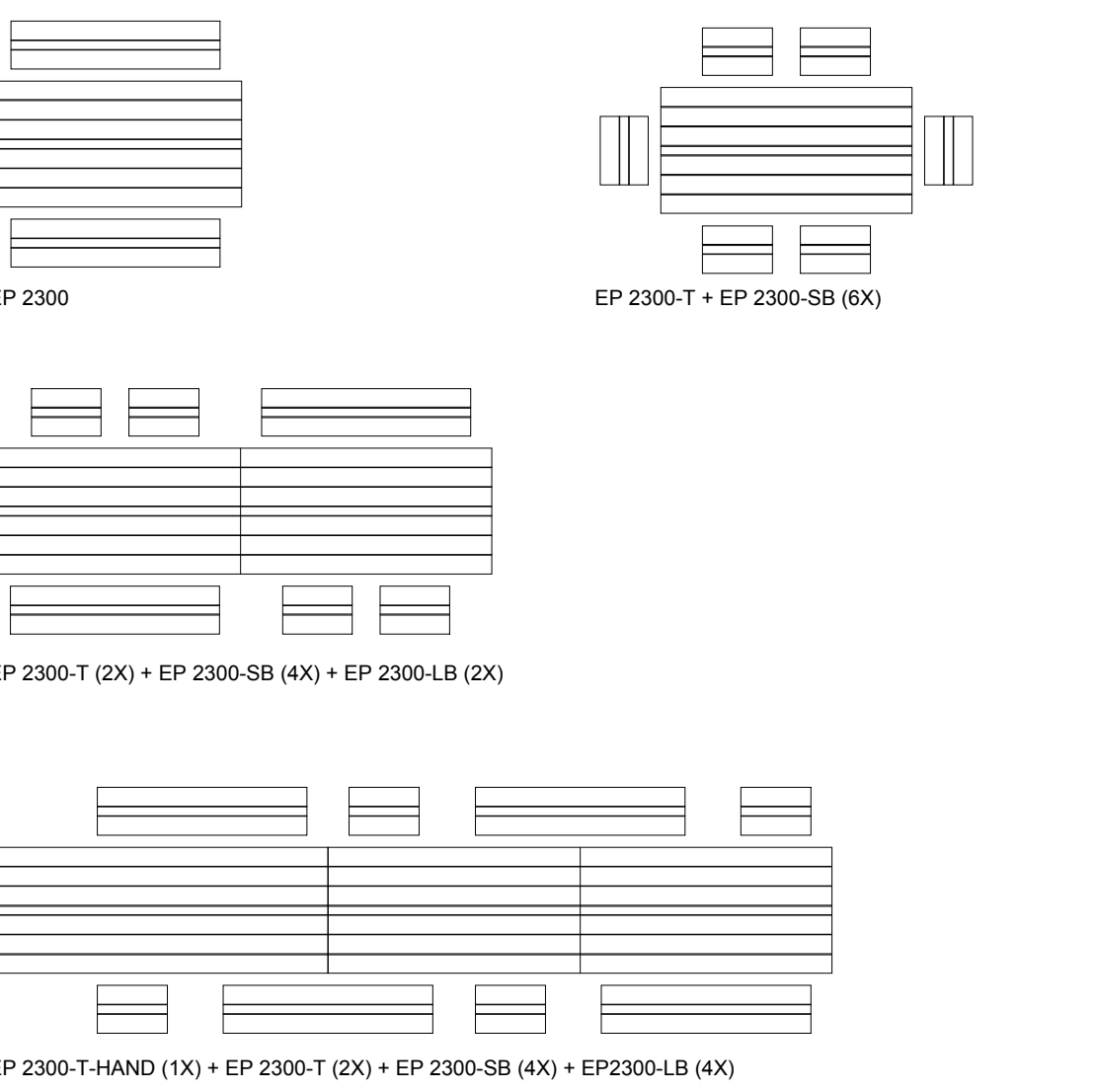
Equiparc

SUGGESTED LAYOUTS

EP 2300

EP 2300-T (2X) + EP 2300-SB (4X) + EP 2300-LB (2X)

EP 2300-T (1X) + EP 2300-T (2X) + EP 2300-SB (4X) + EP 2300-LB (4X)



PLAN:

1784mm (70 1/4")  
1800mm (71")  
812mm (32")  
345mm (13 1/2")  
500mm (19 5/8")  
462mm (18 3/16")  
614mm (24 1/8")  
1498mm (59")

JOB / ORDER

Name or Number:

Signature & Date:

S11

Note:  
For all Landscape site furniture, refer to manufacturer / supplier's recommendations for installation process and item details, cut sheets and specifications.

Revision

No.

Date

Revision Notes

Issue

No.

Date

Issue Notes

Professional Seal

Professional Seal

Project

Project ID

Scale

Drawn By

Reviewed By

Date

2015-09-14

Project Manager

GE

Scale

AS SHOWN

Drawing No.

L13.1

Plot Date:

21-6-9

21752 Oxford St Residential\_BJP.wvx

eta

landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H3

t 604.683.1456  
f 604.683.1459  
w www.etalandscape.com

Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project ID: 21752

Scale: AS SHOWN

Drawing No: L13.1

21-6-9

21752 Oxford St Residential\_BJP.wvx



Note:

For all Landscape site furniture, refer to manufacturer / supplier's recommendations for installation process and item details, cut sheets and specifications.

Coordinate with Structure and Architecture Engineers for fixation & construction details

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2018-06-11	Issue for DP
L	2020-03-02	Re-issue for DP
N	2021-03-10	Issued for BP
O	2021-05-07	Issued for Pricing
S	2021-06-09	Re-issued for DP

Professional Seal

eta landscape architecture

1690 West 2nd Avenue  
Vancouver, BC, Canada, V6J 1H3

t | 604.683.1456

f | 604.683.1459

w | www.etalala.com

All Rights Reserved by eta landscape architecture inc.  
Information contained on these documents is part of the Consultant's instruments of service, and the Consultant shall retain ownership thereof. Such information shall not be used for any purpose other than for the construction of the referenced project. Any other use, reuse or modification of the documents without the Consultant's prior written consent will be at the recipient's sole risk and without liability or legal exposure to the Consultant.

Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

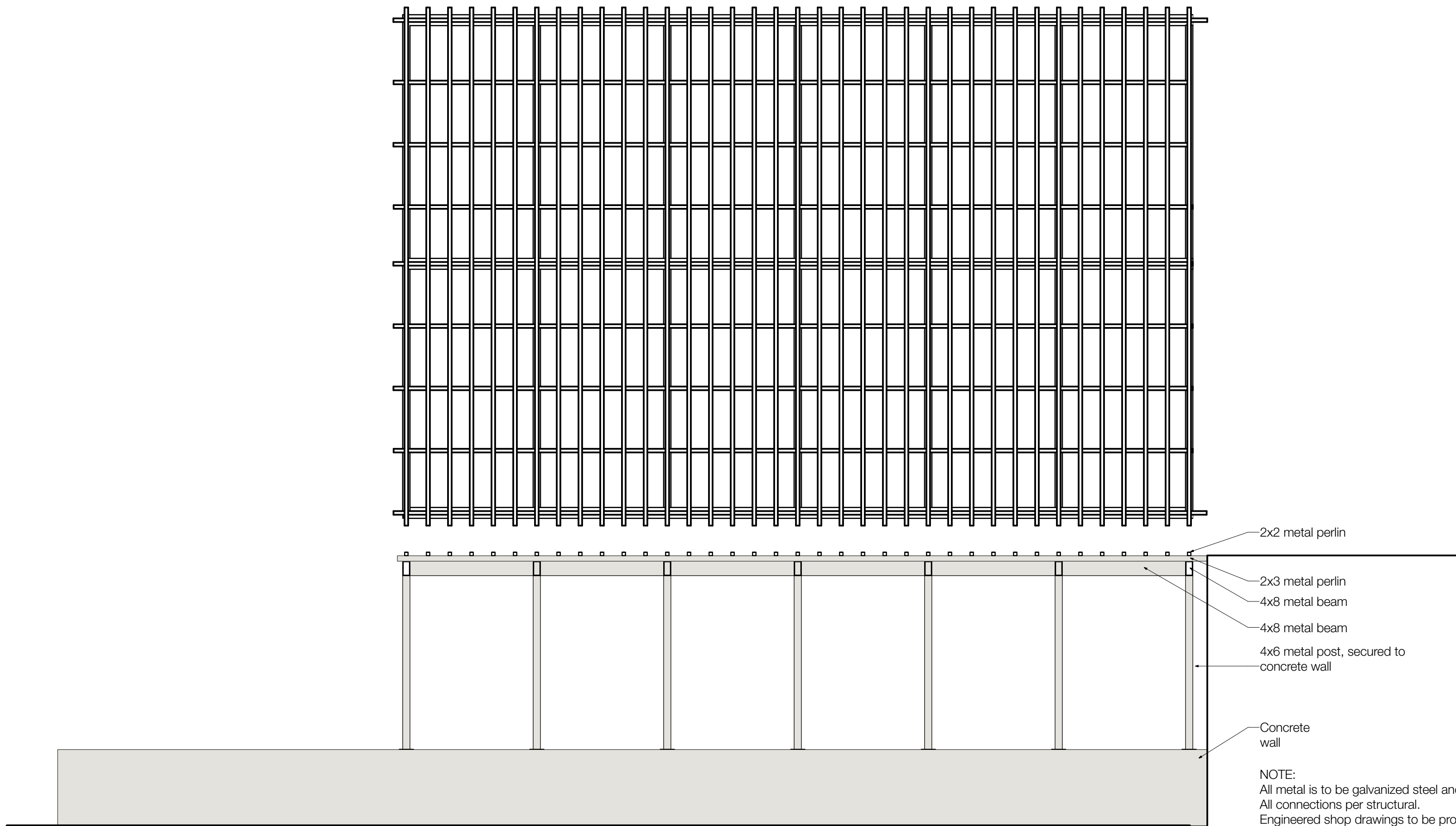
### Landscape Details - Site Furnishings

Legal

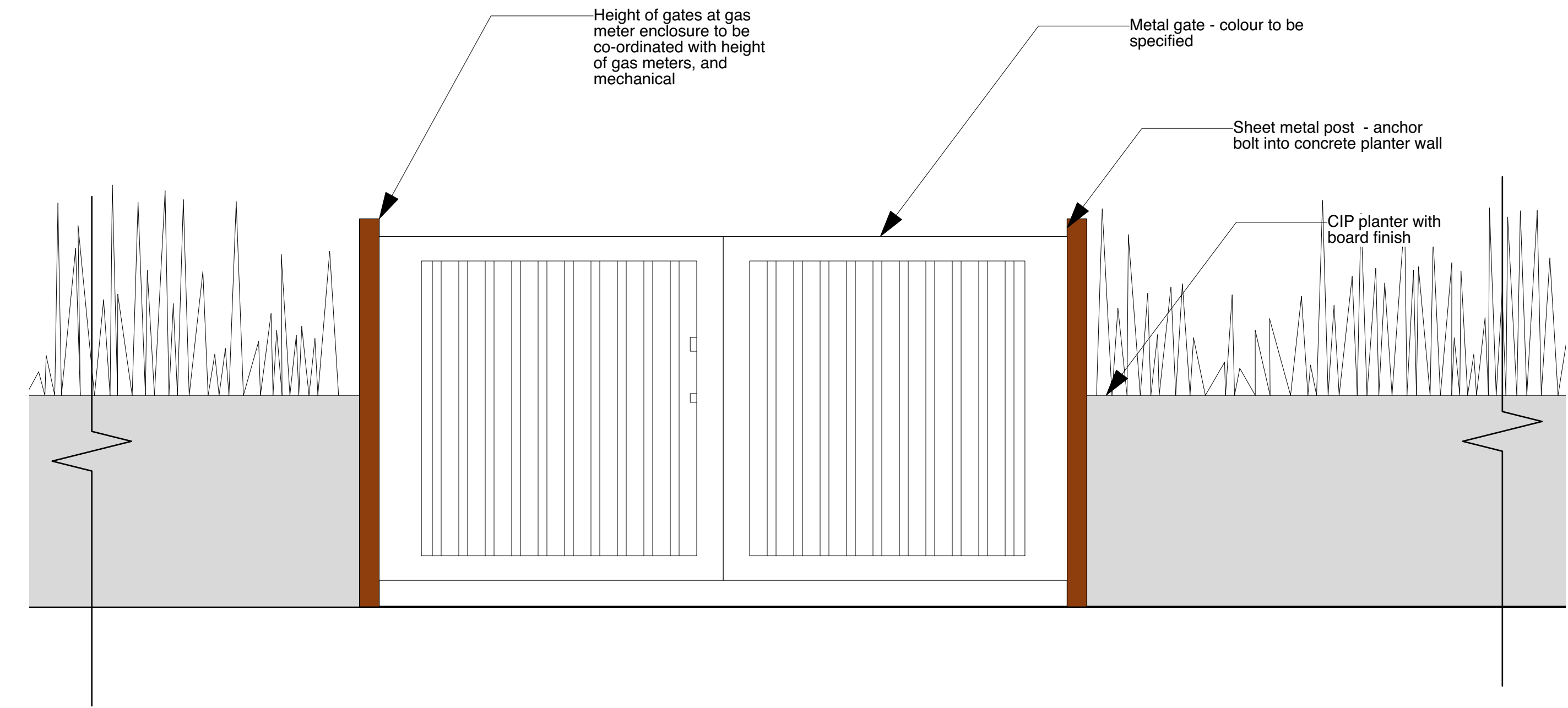
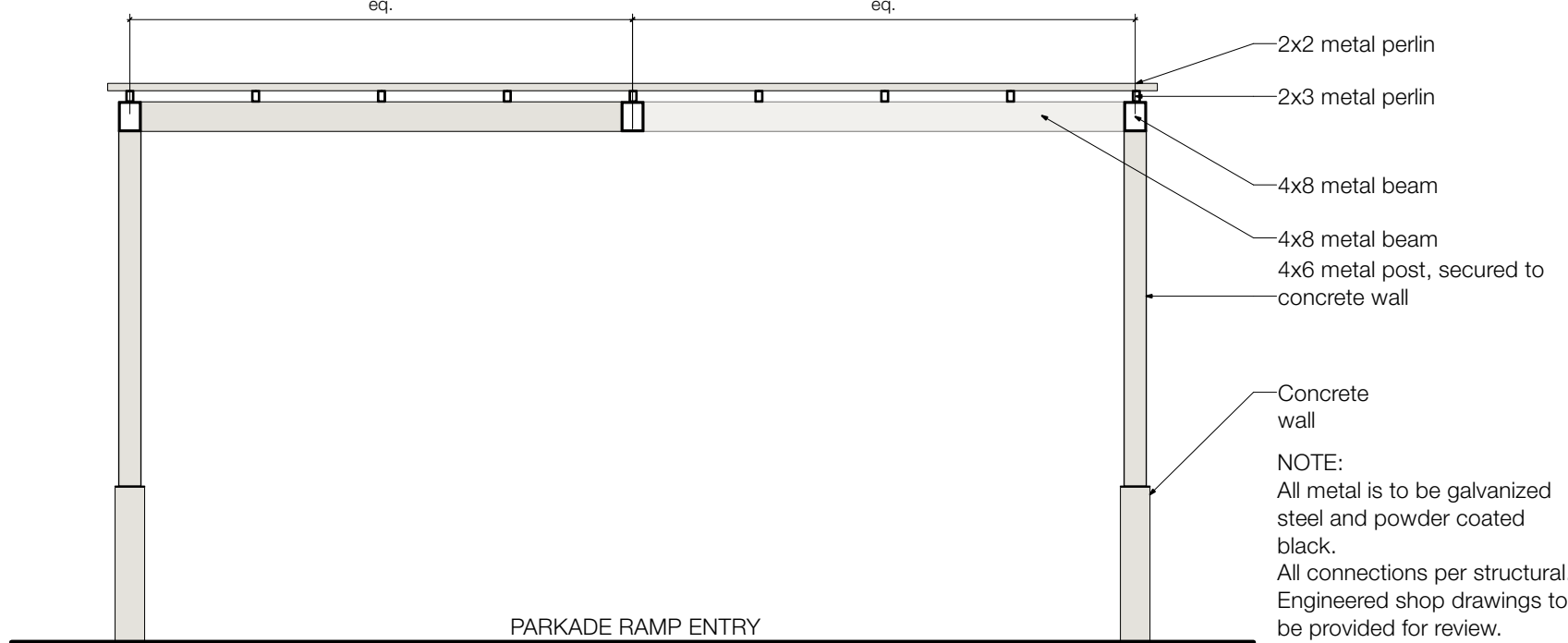
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan S2320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L13.2</b> of 36

Plot Date:  
21-9-9  
21752 Oxford St Residential\_BP Prev

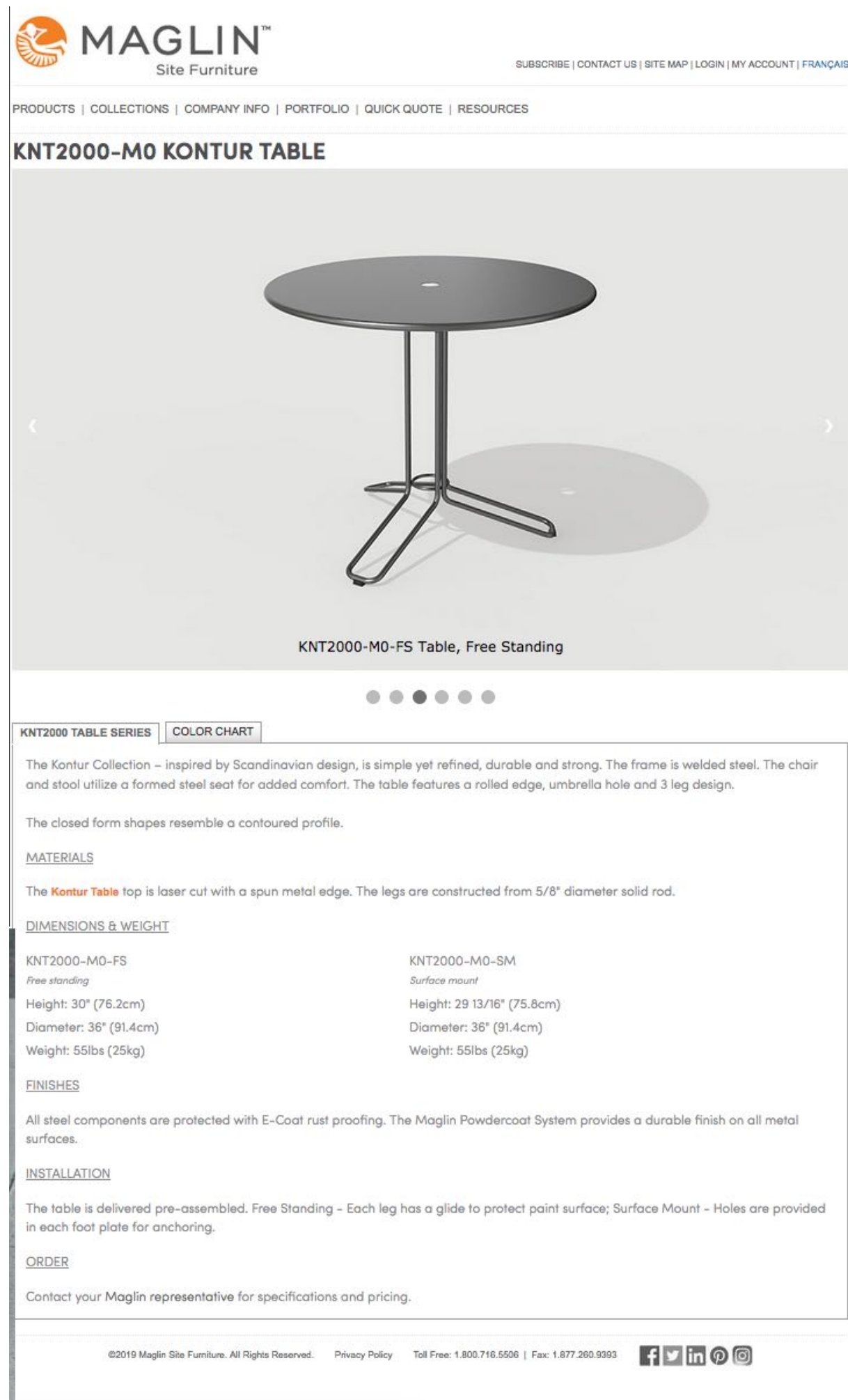


1 DETAIL: Metal Arbour over Parkade Entrance - Custom  
Scale: 1/4" = 1'-0"

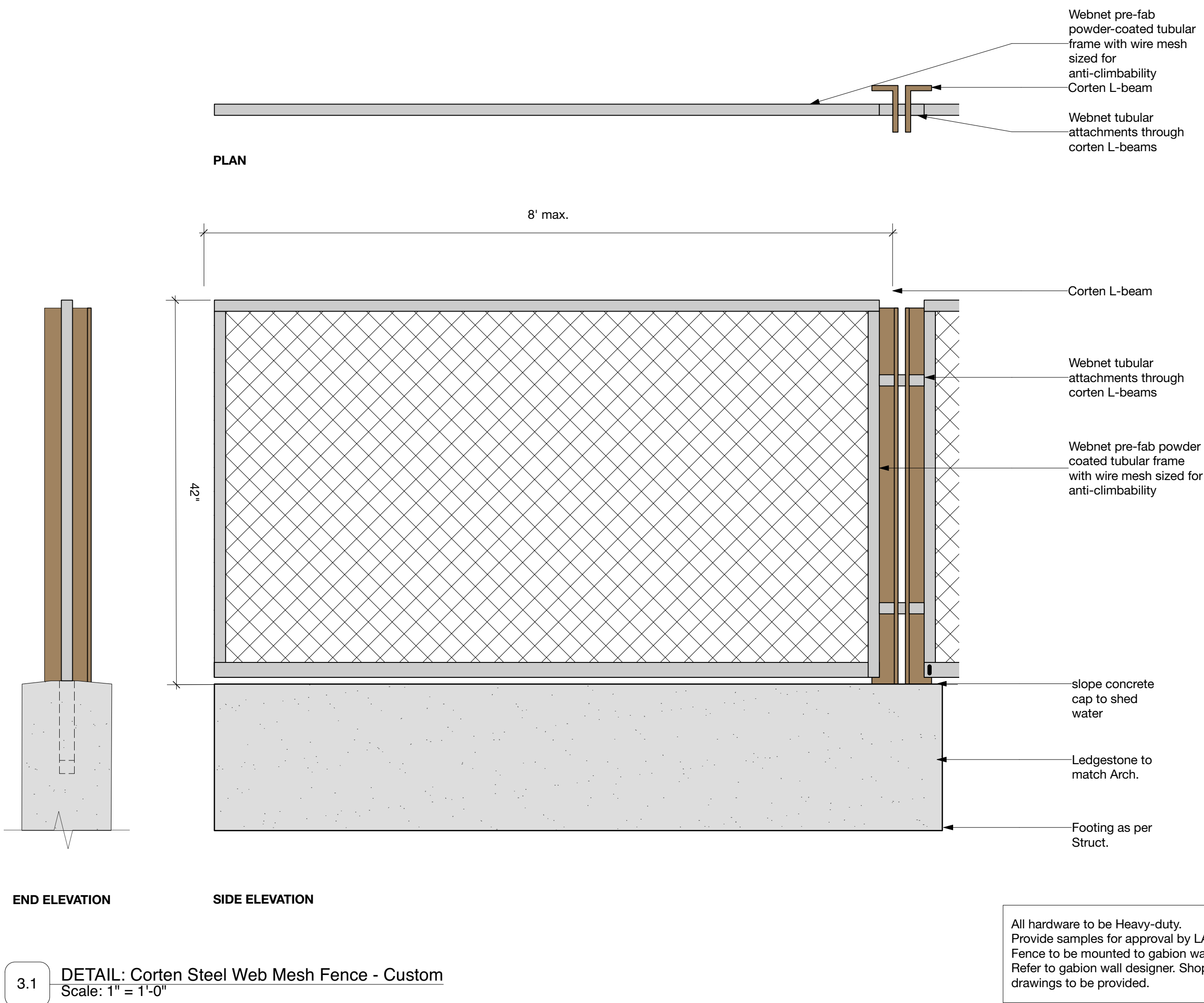
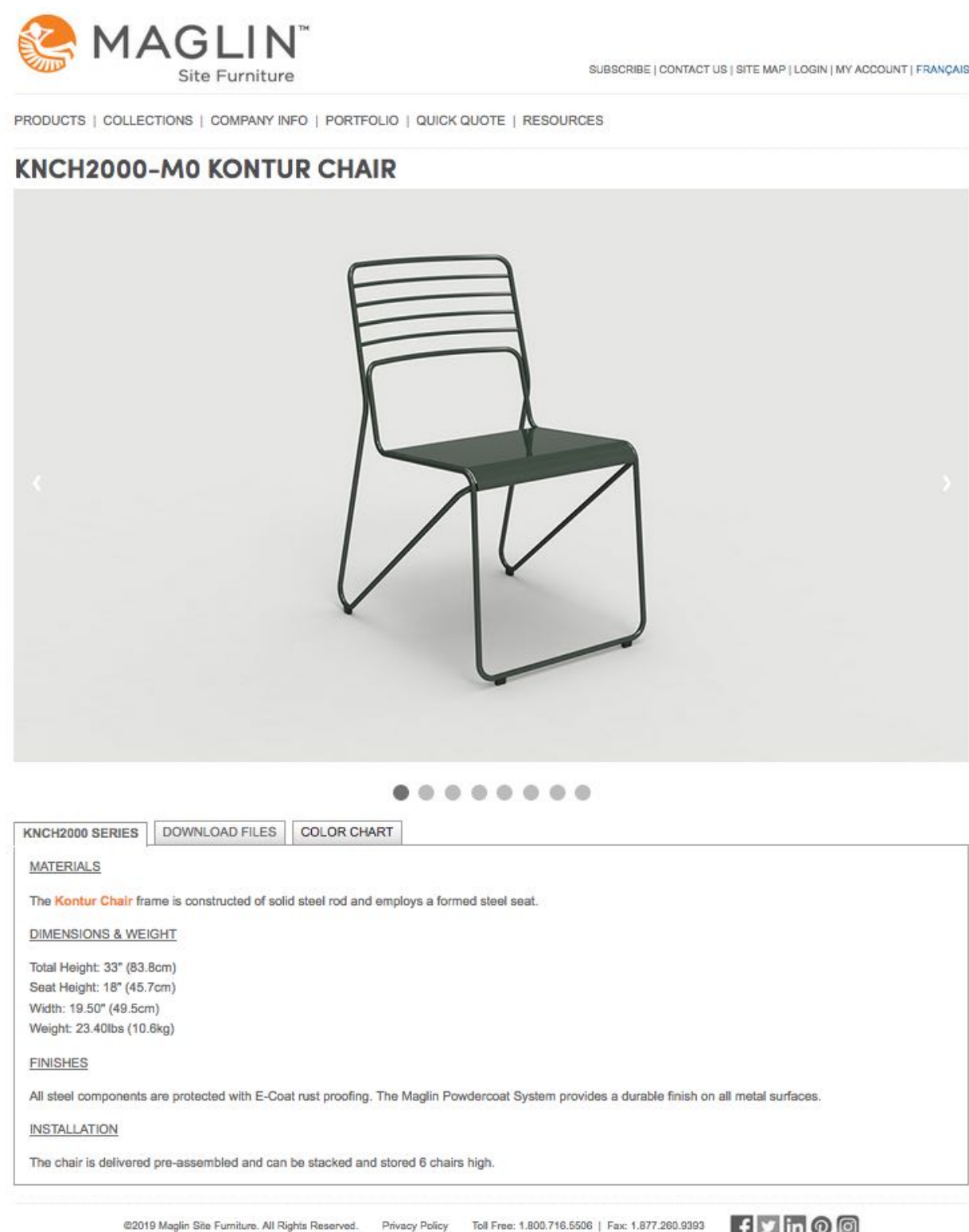


2 DETAIL: Gas Meter Enclosure Fence  
Scale: 1" = 1'-0"

3 PERSPECTIVE: Corten Steel Web Mesh Fence - Custom  
NTS



4 SPEC SHEET: Bistro Table + chairs arrangement  
NTS



3.1 DETAIL: Corten Steel Web Mesh Fence - Custom  
Scale: 1" = 1'-0"







NOTES:

1. WATER TREATMENT SYSTEM, CATCH BASIN PROTECTION, ACCESS STABILIZATION, AND OTHER ESC MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF BULK EXCAVATION.
2. GEOPACIFIC SHALL BE CONTACTED BY THE CONTRACTOR TO INSPECT THE INSTALLATION OF THE ESC SYSTEM PRIOR TO THE COMMENCEMENT OF ANY STRIPPING, EXCAVATION OR OTHER CONSTRUCTION.
3. MONITORING OF THE ESC SYSTEM AND DISCHARGE WATER TO OCCUR AS PER MUNICIPAL MONITORING AND REPORTING REQUIREMENTS. MONITORING MUST BE PERFORMED BY A QUALIFIED PERSON AS DEFINED IN THE MUNICIPAL BYLAW(S).
4. NO WATER MAY BE DISCHARGED FROM THE SITE THAT BYPASSES THE SEDIMENT CONTROL SYSTEM.
5. ALL CONCRETE TRUCKS SHALL UTILIZE A SELF-CONTAINED WASH SYSTEM. ALL WATER TO BE COLLECTED IN SELF-CONTAINED WASH SYSTEM. NO WASH WATER TO ENTER STORM DRAINS.
6. ALL CONCRETE TRUCKS SHALL UTILIZE LEAK-PROOF CONTAINMENT BERM TO ENSURE NO CONCRETE OR WASH WATER IS DEPOSITED ON ROADWAYS OR ENTERS THE STORM DRAINS. PLACEMENT OF PLYWOOD UNDER CONCRETE PUMPS AND BUCKETS IS NOT AN ADEQUATE METHOD OF SPILL PROTECTION.
7. NO EXCESS CONCRETE SHALL BE DUMPED ON SITE, EXCEPT IN DESIGNATED CONCRETE WASTE BINS. CONCRETE WASTE BINS MUST BE LINED WITH POLY SHEETING AND SECURED TO PREVENT CONCRETE LEAKAGE ONTO ROADWAYS.
8. ALL WASHOUT ACTIVITIES MUST BE PERFORMED OFF-SITE OR IN DESIGNATED AREAS ONLY. LOCATE DESIGNATED WASHOUT AREAS AS FAR AWAY FROM STORM DRAINS AS POSSIBLE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL SYSTEM.
10. ALL BEST MANAGEMENT PRACTICES ARE DESIGNED WITH REFERENCE TO THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON" VOLUME II.
11. BELOW IS THE GENERAL EXPECTED ONSITE SOIL STRATIGRAPHY. FOR DETAILED SOIL DESCRIPTIONS, REFER TO GEOPACIFIC'S GEOTECHNICAL REPORT DATED FEBRUARY 8, 2018.



**ONSITE SOIL STRATIGRAPHY**

N.T.S.

**STORM WATER TREATMENT SYSTEM**

SYSTEM TO BE SIZED BASED ON THE FOLLOWING FLOW RATE:  
RATIONAL METHOD:  $Q = CA$

WHERE:  $Q$  = PEAK DISCHARGE FLOW RATE

$C$  = RUNOFF COEFFICIENT  $C = 0.75$   
 $I$  = RAINFALL INTENSITY  $I = 17\text{mm/hr}$   
 $A$  = SITE CATCHMENT AREA  $A = 6941.2\text{m}^2$

DESIGN PERIOD: 2-YEAR STORM EVENT  
 $Q = 24.6 \text{ L/SEC}$  PEAK DISCHARGE FLOW RATE @  $T_c = 30 \text{ MIN}$   
 $Q = 3.0 \text{ L/SEC}$  24HR DISCHARGE RATE  
IDF CURVE FOR WHITE ROCK (ENVIRONMENT CANADA)

ALL HAUL ROADS WITHIN VICINITY OF SITE TO BE SWEEPED OF ACCUMULATED SEDIMENT DAILY. SEDIMENT SHALL BE RETURNED TO SITE IN SUCH A MANNER THAT IT DOES NOT ENTER STORM WATER OR EXIT ROUTES. FLUSHING OF SEDIMENT INTO STORM DRAINS IS NOT PERMITTED.

ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE SHALL BE PROTECTED TO PREVENT ENTRY OF SEDIMENT INTO THE STORM SEWER. BMP C220

WATER TREATMENT SYSTEM SHALL INCLUDE:  
• CO2 pH ADJUSTMENT - BMP C252  
• SETTLING TANKS - BMP C250  
• MECHANICAL FILTRATION - BMP C251  
SYSTEM MAY BE RELOCATED AS REQUIRED. WATER TREATMENT SYSTEM TO BE DESIGNED AND SIZED BY SUPPLIER TO STORE AND TREAT STORM WATER FROM A 2-YEAR STORM EVENT TO THE DISCHARGE REQUIREMENTS OF  $<75\text{mg/L}$  AND pH BETWEEN 6 AND 9. MONITORING OF DISCHARGE WATER SHALL OCCUR MONTHLY AND FOLLOWING A MAJOR STORM EVENT ( $\geq 25 \text{ mm}$  IN 24 HOURS).

DISCHARGE TO STORM SEWER WITH MONITORING OF T.S.S., TURBIDITY, AND pH.

SITE ACCESS TO BE STABILIZED WITH 150mm CLEAR CRUSH ROCK A MINIMUM OF 300mm THICK. STABILIZED EXIT PAD MUST BE LOCATED IMMEDIATELY PRIOR TO SITE EXIT AND BE LOWER THAN EXISTING ROAD. EXIT PAD MAY BE RELOCATED BY THE CONTRACTOR AS REQUIRED. BMP C105

GRADE EXCAVATION TO DIRECT WATER TO SUMP. INSTALL INTERCEPTOR SHALES TO DIRECT WATER TO SUMP WHEN FEASIBLE. BMP C200

SUMP TO BE CONSTRUCTED AT LOW POINT(S) OF SITE TO COLLECT STORM WATER. SUMP SHALL INCORPORATE A SEDIMENT TRAP AND FLOAT-ACTUATED PUMP AS SHOWN IN THE DETAILS. SUMP MUST BE MAINTAINED REGULARLY TO PREVENT BUILD UP OF SEDIMENT FROM BEING PUMPED INTO TREATMENT SYSTEM. DO NOT PLACE PUMPS DIRECTLY IN SEDIMENT. BMP C240

WATER SHALL BE PUMPED FROM SUMP INTO WATER TREATMENT SYSTEM.

ALL VEHICLES TRAVELING ONSITE MUST BE RESTRICTED TO PAVED OR GRAVEL STABILIZED AREAS. IF VEHICLES AND EQUIPMENT TRAVEL ON EXPOSED SOILS, CONSTRUCTION OR INSTALLATION OF A WHEEL WASH AT SITE EXIT MAY BE REQUIRED TO PREVENT TRACK OUT FROM SITE. BMP C107

STOCKPILES TO BE COVERED WITH POLY SHEETING A MINIMUM OF 6 mil THICK PRIOR TO FORECASTED RAINFALL OR IF STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS. STOCKPILES TO BE LOCATED ON FLAT GROUND, AWAY FROM DRAINAGE AND WATERBODIES, AND WORK/EQUIPMENT TRAFFIC. BMP C123

WATER TREATMENT SYSTEM

LEGEND:

- - GRADE DIRECTION
- - CATCH BASIN PROTECTION
- - STOCKPILE
- ⊗ - SUMP

NO.	DATE	BY	REVISION



1779 W. 75th Avenue  
Vancouver, B.C. V6P 6P2  
P 604.439.0922  
F 604.439.9959

DESIGNED BY: A.G.  
DRAWN BY: N.K.  
APPROVED BY: R.A.  
REVIEWED BY: M.T.L.  
SCALE: AS SHOWN

**PROPOSED RESIDENTIAL DEVELOPMENT**

1500 OXFORD STREET, WHITE ROCK, B.C.

**EROSION & SEDIMENT CONTROL PLAN**

FILE NO:

15792

DRAWING NO:

G-ESC1

DATE:

MARCH 12, 2021

SEAL:

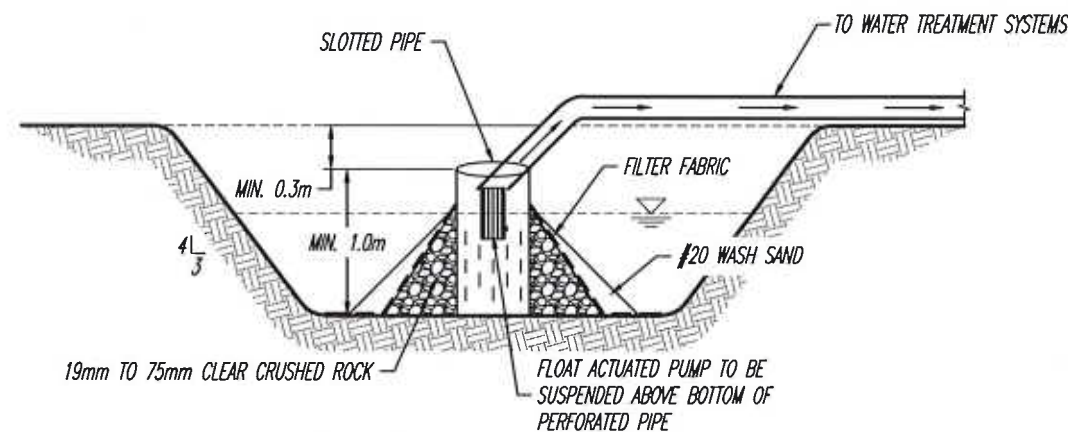


**SITE PLAN**

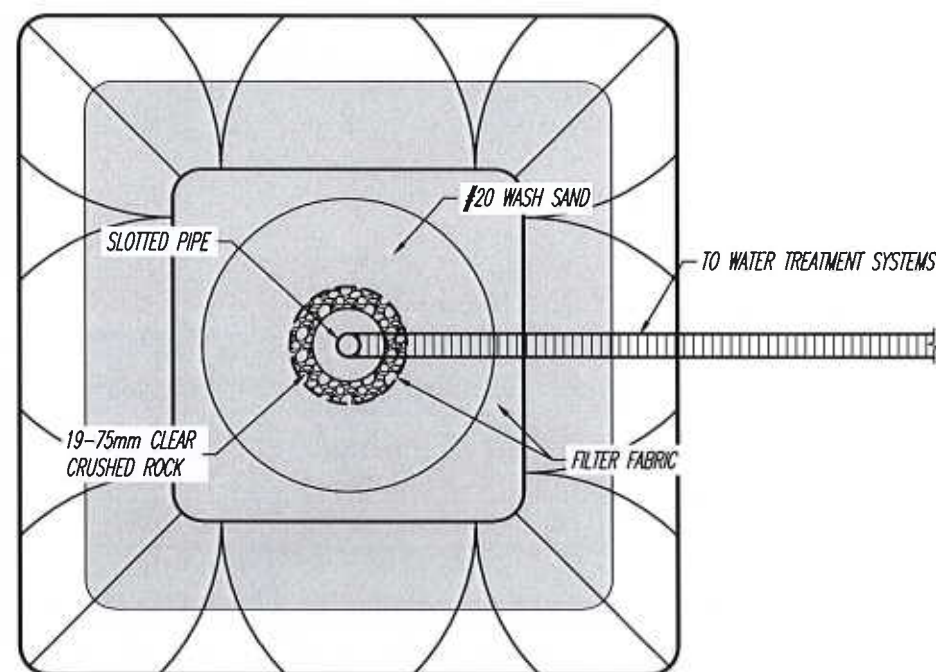
1:100







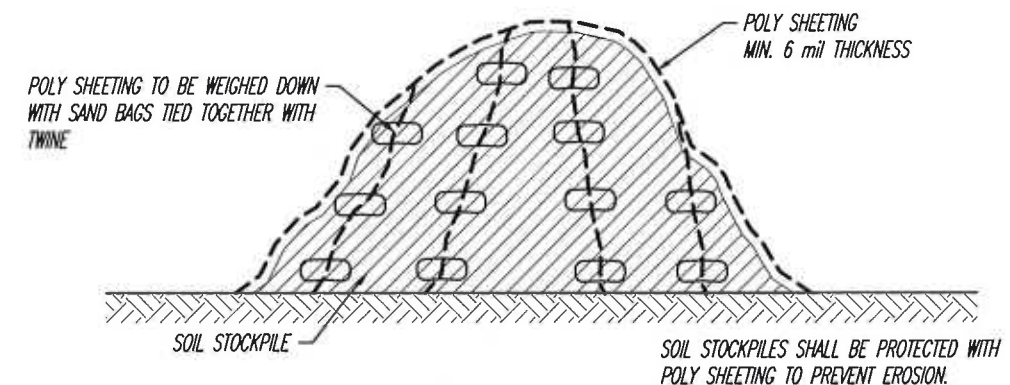
TYPICAL CROSS SECTION



TYPICAL PLAN VIEW

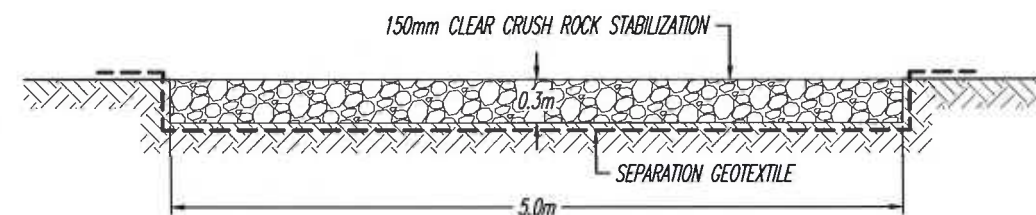
SUMP WITH SEDIMENT TRAP DETAIL - BMP C240

1:50



PLASTIC SHEETING - BMP C123

N.T.S.



GEOTEXTILE SEPARATION SPECS

GRAB TENSILE STRENGTH (ASTM D4751)	200psi MIN.
GRAB TENSILE ELONGATION (ASTM D4632)	30% MAX.
MULLEN BURST STRENGTH (ASTM D3786 - 80A)	400psi MIN.
AVERAGE OPENING SIZE (ASTM D4751)	20 - 45 (U.S. STANDARD SIZE)

STABILIZED CONSTRUCTION ACCESS DETAIL - BMP C105

1:50

LEGEND:

NO.	DATE	BY	REVISION



**GEOPACIFIC**  
VANCOUVER EDMONTON CALGARY

1779 W. 76th Avenue  
Vancouver, B.C. V6P 6P2  
P 604.439.0922  
F 604.439.9889

DESIGNED BY:  
A.Ge.  
DRAWN BY:  
N.K.  
APPROVED BY:  
R.A.  
REVIEWED BY:  
M.T.L.  
SCALE:  
AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT

1500 OXFORD STREET, WHITE ROCK, B.C.

EROSION & SEDIMENT CONTROL DETAILS (1 OF 2)

FILE NO:

15792

DRAWING NO:

G-ESC2A

DATE:

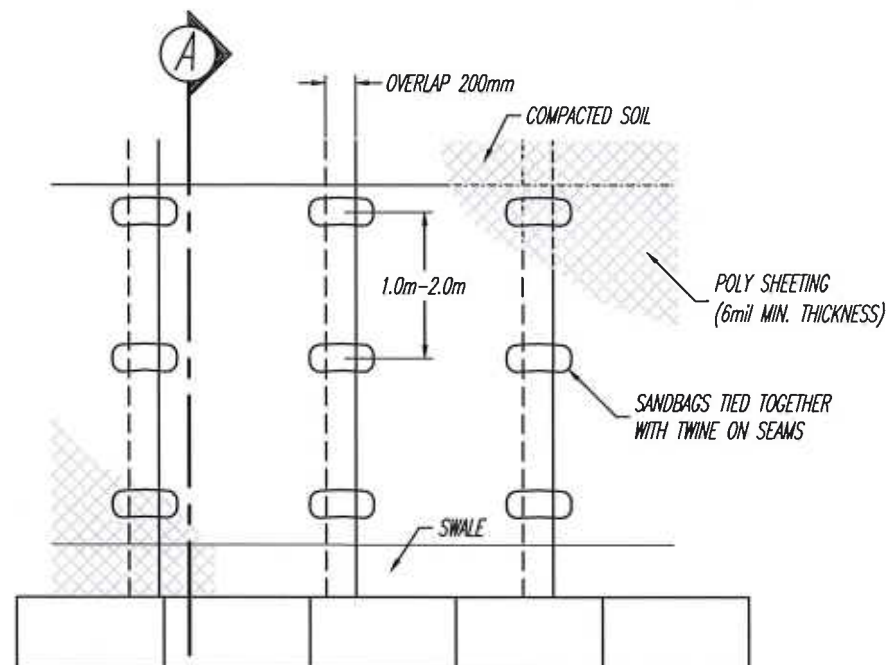
MARCH 12, 2021

SEAL:

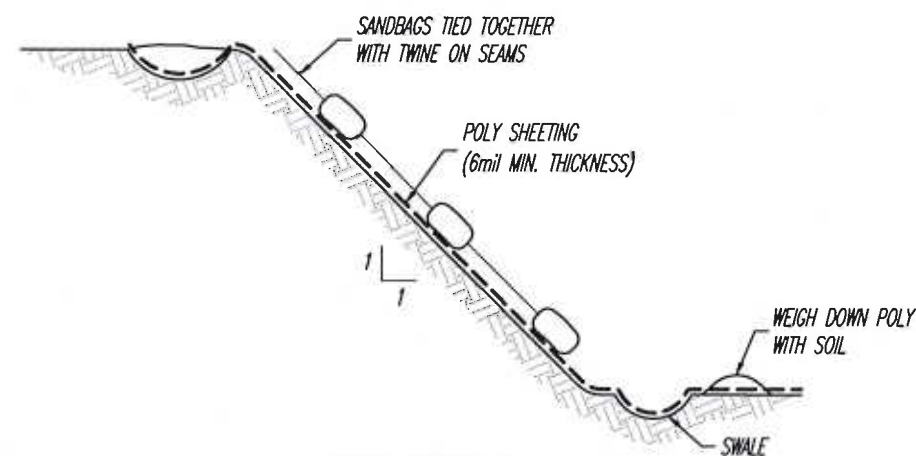


MAR 15 2021

ORIGINAL PAPER SIZE 11"x17"



SLOPE PLAN VIEW



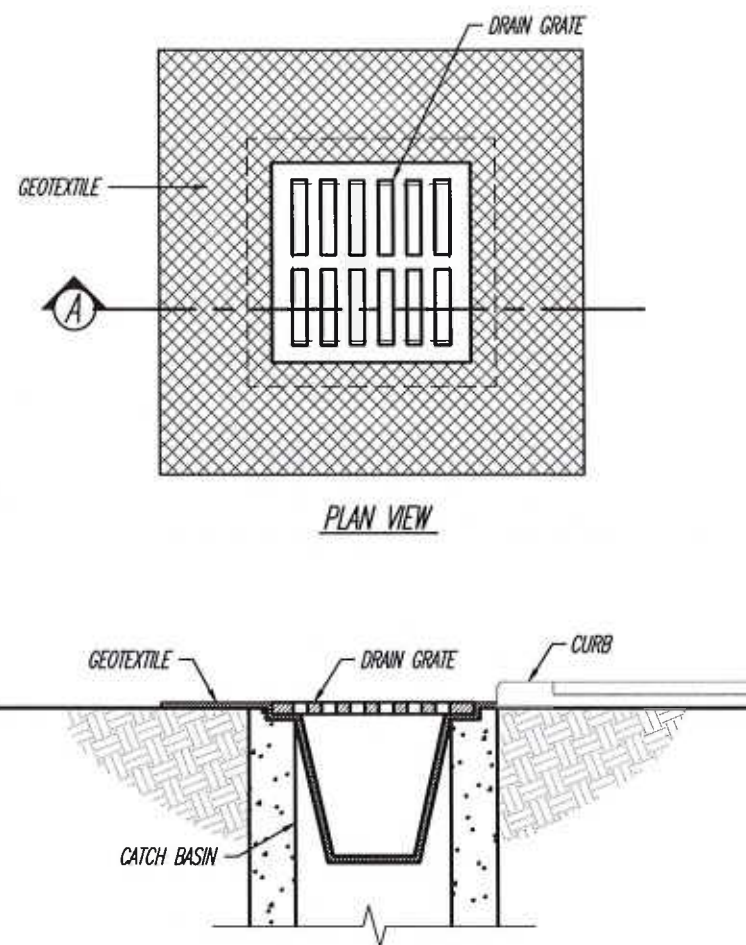
SLOPE SECTION A

**PLASTIC COVERING - BMP C123**

N.T.S.

**NOTE:**

1. POLYETHYLENE SHEETING WITH A MINIMUM THICKNESS OF 6mil TO BE USED.
2. SHEETING TO BE PLACED PARALLEL TO THE SLOPE WITH A MINIMUM 200mm OVERLAP BETWEEN SHEETS.
3. TRENCH TO BE EXCAVATED AT THE HEAD OF THE SLOPE TO ALLOW SHEETING TO BE SECURED UNDER COMPACTED SOIL.
4. TRENCH TO BE EXCAVATED AT THE TOE OF THE SLOPE, TO A DEPTH OF 300mm, WHICH WILL ACT AS A SWALE.
5. BURLAP OR GEOTEXTILE BAGS FILLED WITH SAND TO BE PLACED AT 1.0m TO 2.0m INTERVALS ALONG SEAMS. BAGS TO BE TIED TOGETHER WITH TWINE TO HOLD IN PLACE.
6. REGULAR INSPECTION OF THE SHEETING IS REQUIRED. TORN SHEETS MUST BE REPLACED AND OPEN SEAMS MUST BE SEALED.

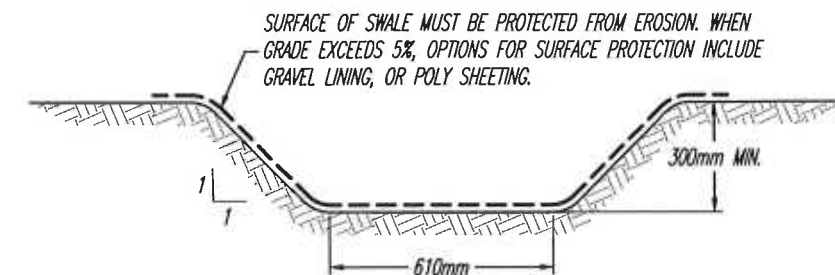


- STORE SPARE CATCH BASIN PROTECTION ONSITE AT ALL TIMES.
- INSPECT CATCH BASIN PROTECTION WEEKLY, AND DAILY DURING STORM EVENTS. CLEAN OR REPLACE WHEN 1/3 FULL, CLOGGED, OR SIGNS OF WEAR OCCUR.
- CATCH BASIN PROTECTION TO BE USED ON ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE.

SECTION A

**CATCH BASIN SEDIMENT SACK DETAIL - BMP C220**

N.T.S.



**INTERCEPTOR SWALE DETAIL - BMP C200**

1:20

SPACING OF CHECK DAMS BASED ON SLOPE OF SWALES	
SLOPE	SPACING OF CHECK DAMS
0.5%	EVERY 50m
1.0%	EVERY 35m
1.5%	EVERY 20m
2.0%	EVERY 15m
2.5%	EVERY 12m
3.0%	EVERY 10m

**NOTES:**

- DRAINAGE SWALE TO BE CONSTRUCTED WITH MIN. SLOPE TO FACILITATE FLOW.
- SMALL SWALES SHALL DIRECT WATER INTO DRAINAGE SWALE.

- DURING ARID PERIODS OR DURING TIMES OF HIGH TRAFFIC OVER EXPOSED SOILS USE NATURAL OR ARTIFICIAL WIND BREAKS OR SCREEN.
- SPRINKLE WATER ON SITE UNTIL SURFACE SOILS ARE WETTED.
- SPRAY EXPOSED SOIL WITH DUST PALLIATIVE FOLLOWING MANUFACTURER'S INSTRUCTION.

**DUST CONTROL - BMP C140**

**LEGEND:**

NO.	DATE	BY	REVISION



**GEOPACIFIC**  
VANCOUVER KALLOOFS CALGARY

1779 W. 75th Avenue  
Vancouver, B.C. V6P 6P2  
P 604.439.0922  
F 604.439.9189

DESIGNED BY:  
A.Ge.  
DRAWN BY:  
N.K.  
APPROVED BY:  
R.A.  
REVIEWED BY:  
M.T.L.  
SCALE:  
AS SHOWN

**PROPOSED RESIDENTIAL DEVELOPMENT**

1500 OXFORD STREET, WHITE ROCK, B.C.

**EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)**

FILE NO:

**15792**

DRAWING NO:

**G-ESC2B**

DATE:

**MARCH 12, 2021**



**MAR 15 2021**



GENERAL NOTES

- 1. UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, ESC MONITOR, CIVIL CONTRACTOR, CIVIL SUBCONTRACTOR, BUILDER AND BUILDING SUB-TRADES; ENGAGED ONSITE SHALL COMPLY WITH THE REQUIREMENTS OF ALL REGULATORY AUTHORITIES, FEDERAL, PROVINCIAL AND MUNICIPAL GOVERNMENT DEPARTMENTS PERTAINING TO ONSITE MANAGEMENT AND DISCHARGE ASSOCIATED WITH EROSION AND SEDIMENT CONTROL REGULATIONS.
- 2. THE DEVELOPER/PERSONS RESPONSIBLE SHALL ENSURE THAT CONSTRUCTION ACTIVITIES ARE UNDERTAKEN IN A MANNER THAT ENSURES BEST MANAGEMENT PRACTICES ARE IMPLEMENTED TO CONTAIN ONSITE, SILT LADEN RUNOFF THAT EXCEEDS FEDERAL, PROVINCIAL, AND MUNICIPAL REQUIREMENTS, AND PREVENT ITS ENTERING DOWNSTREAM DRAINAGE INFRASTRUCTURE AND AQUATIC SYSTEMS.
- 3. THE DEVELOPER/OWNER/PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTIONS ISSUED BY THE ESC MONITOR TO RECTIFY DEFICIENCIES THAT RESULT IN NON-COMPLIANCE.
- 4. NO PERSON SHALL OBSTRUCT OR IMPEDE THE FLOW OF THE DRAINAGE SYSTEM. NO PERSON SHALL STORE, TRANSPORT OR DISPOSE OF ANY WASTE OR DELETERIOUS SUBSTANCES IN SUCH A MANNER SO AS TO PERMIT THE LIKELY ESCAPE OF THE MATERIALS INTO THE DRAINAGE SYSTEM, OR RELEASE DIRECTLY OR INDIRECTLY DELETERIOUS SUBSTANCES INTO THE DRAINAGE SYSTEM.
- 5. NO PERSON SHALL CAUSE OR PERMIT TO BE RELEASED INTO THE DRAINAGE SYSTEM, DIRECTLY OR INDIRECTLY, ANY SEDIMENT, EARTH, CONSTRUCTION OR EXCAVATION WASTES, CEMENT, CONCRETE OR OTHER SUBSTANCES WHICH WHEN MIXED WITH WATER WILL RESULT IN A PH AND/OR TURBIDITY VALUE OUTSIDE OF FEDERAL, PROVINCIAL, AND MUNICIPAL DISCHARGE REQUIREMENTS.
- 6. THE EROSION AND SEDIMENT CONTROL WORKS SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED UNTIL THE SITE NO LONGER POSES A THREAT TO THE DRAINAGE SYSTEM AND APPROVAL TO REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES HAS BEEN OBTAINED FROM THE ESC MONITOR.

MAINTENANCE

- 1. UPON INSTRUCTION/NOTIFICATION BY ENGINEER OF RECORD OR ESC MONITOR, PERSONS RESPONSIBLE ARE REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES TO MODIFY OR MAINTAIN ESC FACILITIES.
- 2. SHOULD ANY PART OF THE SEDIMENT CONTROL FACILITIES BECOME DAMAGED, BLOCKED OR IN ANY WAY NOT FUNCTION PROPERLY, THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO REPAIR AND/OR REMOVE SUCH DAMAGE, BLOCKAGE OR CAUSE OF MALFUNCTION.
- 3. ACCUMULATED SEDIMENT REMOVED DURING MAINTENANCE OF THE SEDIMENT CONTROL FACILITIES SHALL BE DISPOSED OF IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO THE SITE DRAINAGE SYSTEM, AND/OR INTO ANY STORM SEWER OR WATERCOURSE.
- 4. STREETS ARE TO BE INSPECTED DAILY AT MINIMUM AND SWEEPED TO ENSURE THAT NO SEDIMENT OR DEBRIS ENTERS THE STORM SYSTEM. FLUSHING IS NOT PERMITTED.
- 5. PAVED ROAD SURFACES ARE TO BE CLEANED OF ANY ACCUMULATED SEDIMENT AT THE END OF EACH DAY AS REQUIRED. NO MATERIAL WITH HIGH SEDIMENT CONTENT IS TO BE DEPOSITED OR PILED NEAR CATCH BASINS, LAWN BASINS OR OUTSIDE OF PROPERTY BOUNDARIES.

- 6. CATCH BASINS ARE TO BE INSPECTED DAILY AND FOLLOWING STORM EVENTS. SEDIMENT SACKS ARE TO BE REMOVED AND CLEANED WHEN THEY REACH APPROXIMATELY ONE THIRD CAPACITY.
- 7. SOIL DISTURBING CONSTRUCTION TO BE AVOIDED DURING PERIODS OF HEAVY OR PERSISTENT RAINFALL WHERE POSSIBLE.
- 8. STOCKPILED MATERIAL AND ALL EXPOSED SLOPES TO BE COVERED WITH 6 MIL THICK POLYETHYLENE SHEETING ANCHORED WITH WEIGHTS.
- 9. SILT FENCES AND BARRIERS ARE TO BE INSPECTED AND REPAIRED PRIOR TO FORECASTED RAIN EVENTS, AND FOLLOWING SIGNIFICANT RAINFALL EVENTS OR PERIODS OF EXTENDED RAIN. SEDIMENT TO BE REMOVED WHEN IT HAS REACHED APPROXIMATELY ONE THIRD THE HEIGHT OF THE FENCE.
- 10. SITE ACCESS PADS TO BE INSPECTED DAILY TO ENSURE FUNCTIONALITY AND ADDITIONAL ROCK IS TO BE ADDED AS REQUIRED.
- 11. NO CONCRETE WASH WATER IS TO BE DIRECTED INTO THE SEDIMENT CONTROL SYSTEM OR THE STORM SEWERS. ALL CONCRETE TRUCKS ARE TO BE EQUIPPED WITH A RECIRCULATORY WASH SYSTEM. NO DISCHARGE FROM CONCRETE TRUCKS IS PERMITTED ON THE STREET OR TO ENTER THE ONSITE DRAINAGE SYSTEM.
- 12. AN ADDITIONAL SUPPLY OF MATERIALS SHALL BE STORED ONSITE TO ENABLE A SUITABLE RESPONSE TO ANY MAINTENANCE ACTIONS REQUIRED.
- 13. WET WEATHER SHUT DOWN PROCEDURES TO INCLUDE SUSPENDING ANY HAULING OR MAJOR EARTHWORK ACTIVITIES USING UNPAVED ROAD SURFACES PRIOR TO FORECASTED RAIN EVENTS EXCEEDING 25mm IN 24 HOURS. ALL ERODIBLE SURFACES MUST BE STABILIZED, OR COVERED WITH POLY SHEETING, PRIOR TO SIGNIFICANT RAINFALL EVENT. ANY WATER POOLING ONSITE MUST BE DIRECTED TO SUMP AND TREATED BY WATER TREATMENT SYSTEM PRIOR TO DISCHARGE. NO UNTREATED WATER IS TO ENTER THE STORM SYSTEM.

MONITORING, SAMPLING AND TESTING PROGRAM

- 1. ALL DISCHARGE TO MUST MEET THE PH RANGE REQUIREMENT OF 6.0-9.0.
- 2. THE TOTAL SUSPENDED SOLIDS OF ALL DISCHARGE MUST NOT EXCEED 75 mg/L.
- 3. WHERE ANY WASTE, DELETERIOUS SUBSTANCE, OR WATER RELEASED DIRECTLY OR INDIRECTLY INTO THE DRAINAGE SYSTEM EXCEEDS THE ALLOWABLE PH, TURBIDITY AND/OR TOTAL SUSPENDED SOLIDS LEVELS, ALL DISCHARGE IS TO BE CEASED AND CORRECTIVE MEASURES ARE TO BE IMPLEMENTED IMMEDIATELY.
- 4. A LOGBOOK OF ALL INSPECTIONS SHALL BE MAINTAINED ONSITE AND BE MADE AVAILABLE TO THE CITY UPON REQUEST.
- 5. WATER QUALITY MONITORING AND ESC FACILITIES INSPECTIONS BY THE ESC MONITOR SHOULD BE CONDUCTED AT THE MIN. FREQUENCY NOTED BELOW.
- 6. INSPECTION REPORTS SHALL BE SUBMITTED TO THE DEVELOPER AND CONTRACTORS.

MIN. MONITORING FREQUENCY

MIN. REPORTING FREQUENCY

YEAR ROUND

MONTHLY

WITHIN 7 DAYS OF INSPECTION

DECOMMISSIONING

- 1. BUILDING CONSTRUCTION MUST BE AT STREET LEVEL OR HIGHER WITH ALL EXPOSED SURFACES STABILIZED PRIOR TO BEGINNING THE PROCESS OF DECOMMISSIONING ANY ESC FACILITIES.
- 2. APPROVAL TO ALTER AND/OR REMOVE ANY COMPONENT OF THE WATER TREATMENT SYSTEM MUST BE OBTAINED FROM THE ESC MONITOR.
- 3. PRIOR TO RECIEVING FOR APPROVAL TO REMOVE COMPONENTS OF THE WATER TREATMENT SYSTEM, WATER QUALITY TESTING OF THE UNTREATED WATER IN THE BUILDING SUMP WILL BE CONDUCTED TO ENSURE ALLOWABLE TURBIDITY AND/OR PH LEVELS CAN BE MAINTAINED WITHOUT ADDITIONAL TREATMENT. THE PH TREATMENT COMPONENT OF THE SYSTEM MUST REMAIN ONSITE UNTIL ALL MAJOR CONCRETE POURS HAVE BEEN COMPLETED AT MINIMUM.
- 4. THE DECOMMISSIONING OF ANY ESC FACILITIES WITHOUT PRIOR APPROVAL MAY RESULT IN FINES AND/OR A STOP WORK ORDER.

ENFORCEMENT

- 1. FAILURE TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR TO COMPLY WITH MUNICIPAL REGULATIONS MAY RESULT IN FINES AND/OR A STOP WORK ORDER.
- 2. FEDERAL ENVIRONMENTAL OFFENCES ARE STRICT LIABILITY OFFENCES AND CAN RESULT IN FINES AND/OR INCARCERATION.

ORIGINAL PAPER SIZE 11"x17"

LEGEND:	NO.	DATE	BY	REVISION	 <div><b>GEOPACIFIC</b> VANCOUVER KALLOOFS CALGARY</div> <div><small>1779 W. 76th Avenue Vancouver, B.C. V6P 6P2 P 604.455.0922 F 604.459.9659</small></div>	DESIGNED BY: A.Ge.	<b>PROPOSED RESIDENTIAL DEVELOPMENT</b>  1500 OXFORD STREET, WHITE ROCK, B.C.	FILE NO: <b>15792</b>	
						DRAWN BY: N.K.		DRAWING NO: <b>G-ESC3</b>	
						APPROVED BY: R.A.		DATE: <b>MARCH 12, 2021</b>	
						REVIEWED BY: M.T.L.			
						SCALE: AS SHOWN			