

THE CORPORATION OF THE
CITY OF WHITE ROCK



DEVELOPMENT PERMIT NO. 400

1. This Development Permit No. 400 is issued to **IOM Nautilus Views Ltd., Inc. No. BC1288361** as the owner and shall apply only to ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description:

Lot A Section 10 Township 1 New Westminster District Plan EPP63510
PID: 031-395-805

Civic Address:

1454 Oxford Street

The property subject to this Development Permit No. 400, described legally above, is indicated on Schedule A (“the Lands”).

2. This Development Permit No. 400 is issued pursuant to the authority of Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, the “White Rock Official Community Plan Bylaw, 2017, No. 2220” as amended, and in conformity with the procedures prescribed by “City of White Rock Planning Procedures Bylaw, 2017, No. 2234” as amended.
3. The terms, conditions and guidelines as set out in “White Rock Official Community Plan Bylaw, 2017, No. 2220” as amended, that relate to the “Multi-family Development Permit Area” and the “Environmental (Ravine Lands and Significant Trees) Development Permit Area” shall apply to the Lands.

4. Permitted Uses of Land, Buildings and Structures

Land, buildings, and structures on the Lands shall only be used in accordance with the provisions of the “CD-46 Comprehensive Development Zone” as established in Schedule “B” to “City of White Rock Zoning Bylaw, 2012, No. 2000” as amended.

5. Terms and Conditions:

- a) All buildings, structures, and landscape features to be constructed, repaired, renovated, or sited on the Lands, in addition to pedestrian connections and a Public Access Pathway, shall be in substantial compliance with the architectural designs prepared by Chris Dikeakos Architects, dated June 9, 2021, attached hereto as Schedule B, in accordance with the provisions of Section 491 of the *Local Government Act*.

- b) All site landscaping on the Lands, including hard and soft landscape features, irrigation controls, site furnishing and other materials shall be in substantial compliance with the landscape designs prepared by ETA Landscape Architecture, dated September 14, 2015 (Issue No. "S", dated June 8, 2021), attached hereto as Schedule C in accordance with the provisions of Section 491 of the *Local Government Act*.
 - a. The permittee must submit to the City a cost estimate and related securities for the above-described landscape works prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of landscaping works was \$1,053,147.38, being 150 percent of the cost of landscaping works.
 - b. The release of all or a portion of these securities can be requested no sooner than 12 months following the receipt of a letter from the landscape architect or other qualified person confirming that the landscaping works tied to the securities have been installed in accordance with the landscape designs included as Schedule C.
- c) Sediment and erosion controls within the Lands shall be implemented and maintained throughout construction in substantial compliance with the Erosion and Sediment Control Plan prepared by GeoPacific, dated March 12, 2021, attached hereto as Schedule D in accordance with the provisions of Section 491 of the *Local Government Act*.
 - a. The permittee must submit to the City a cost estimate and related securities for the above-described controls prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of these controls was \$173,250, being 150 percent of the cost of landscaping works.
 - b. The release of all or a portion of these securities can be requested following the receipt of final building permit approval.
- d) Rooftop mechanical equipment shall be screened from view to the acceptance of the Director of Planning and Development Services;
- e) The hydro kiosk is to be located on site to the acceptance of the Director of Planning and Development Services;
- f) The owner is advised that in 2012 nine vacant Great Blue Heron ('heron') nests were observed within the wooded area immediately east of the Lands. These nests are protected under Section 34 of the *BC Wildlife Act*. Any activities that have the potential to disturb active heron nesting sites, shall be evaluated alongside the implementation of mitigative controls as recommended by a Qualified Environmental Professional (QEP).
- g) The applicant shall provide an updated Arborist Report and obtain a Tree Management Permit from the City as required by the "White Rock Tree Management Bylaw, 2008, No. 1831," as amended.
- h) The applicant will be required to provide a detailed geotechnical assessment, prepared by a Registered Geotechnical Engineer, in support of a building permit application tied to the architectural designs included as Schedule B to this permit. Note that the City may require the registration of a covenant, pursuant to Section 219 of the Land Titles Act, as a means of implementing the recommendations of the assessment.

6. In the interpretation of the Development Permit all definitions of words and phrases contained in Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, and the “White Rock Official Community Plan Bylaw, 2017, No. 2220”, as amended, shall apply to this Development Permit and attachments.
7. Where the holder of this Permit does not obtain the required building permits and commence construction of the development as outlined in this Development Permit within two years after the date this Permit was authorized by Council, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized further time extension of the Permit.
8. This permit does not constitute a subdivision approval, a tree management permit, a demolition permit, or a building permit.

Authorizing Resolution passed by the Council for the City of White Rock on the _____ day of _____, 20__.

This development permit has been executed at White Rock, British Columbia on the _____ day of _____ 20__.

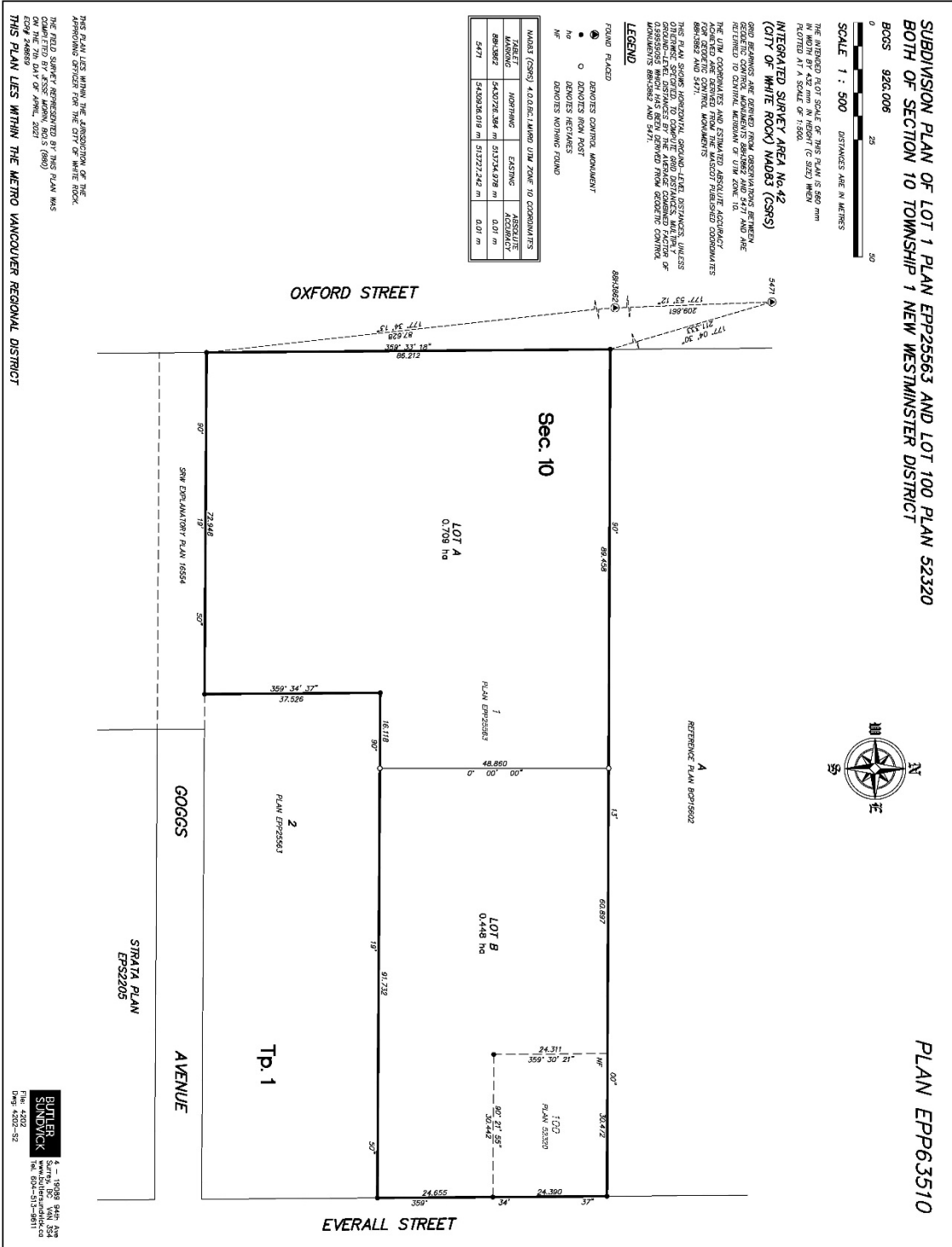
The Corporate Seal of THE CORPORATION
OF THE CITY OF WHITE ROCK was hereunto
affixed in the presence of:

Mayor - Authorized Signatory

Director of Corporate Administration - Authorized Signatory

Schedule A – Subject Property

Filed NW EPP63510 EPP63510 161-799-5561 RCVD:2021-05-10 RQST:2021-05-21 03:06 White Rock, The Corporation of the City of



Schedule B – Architectural Designs

[attached separately]

Schedule C – Landscape Plans

[attached separately]

Schedule D – Erosion and Sediment Control (ESC) Plans

[attached separately]



1 ARCHITECTURAL PAINTED CONCRETE
BENJAMIN MOORE - CREAM YELLOW 2155-60



2 GLUE-LAMINATED WOOD



4 GLASS WINDOW WALL
SPANDREL GLASS - #3-1373 BLACKTHORN
OPACI-COAT ON 6MM PILKINGTON CLEAR



6 GREY STONE VENEER



5 PAINTED MULLION
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER

MATERIAL LEGEND:

1 ARCHITECTURAL PAINTED CONCRETE
BENJAMIN MOORE - CREAM YELLOW 2155-60

2 GLUE-LAMINATED WOOD

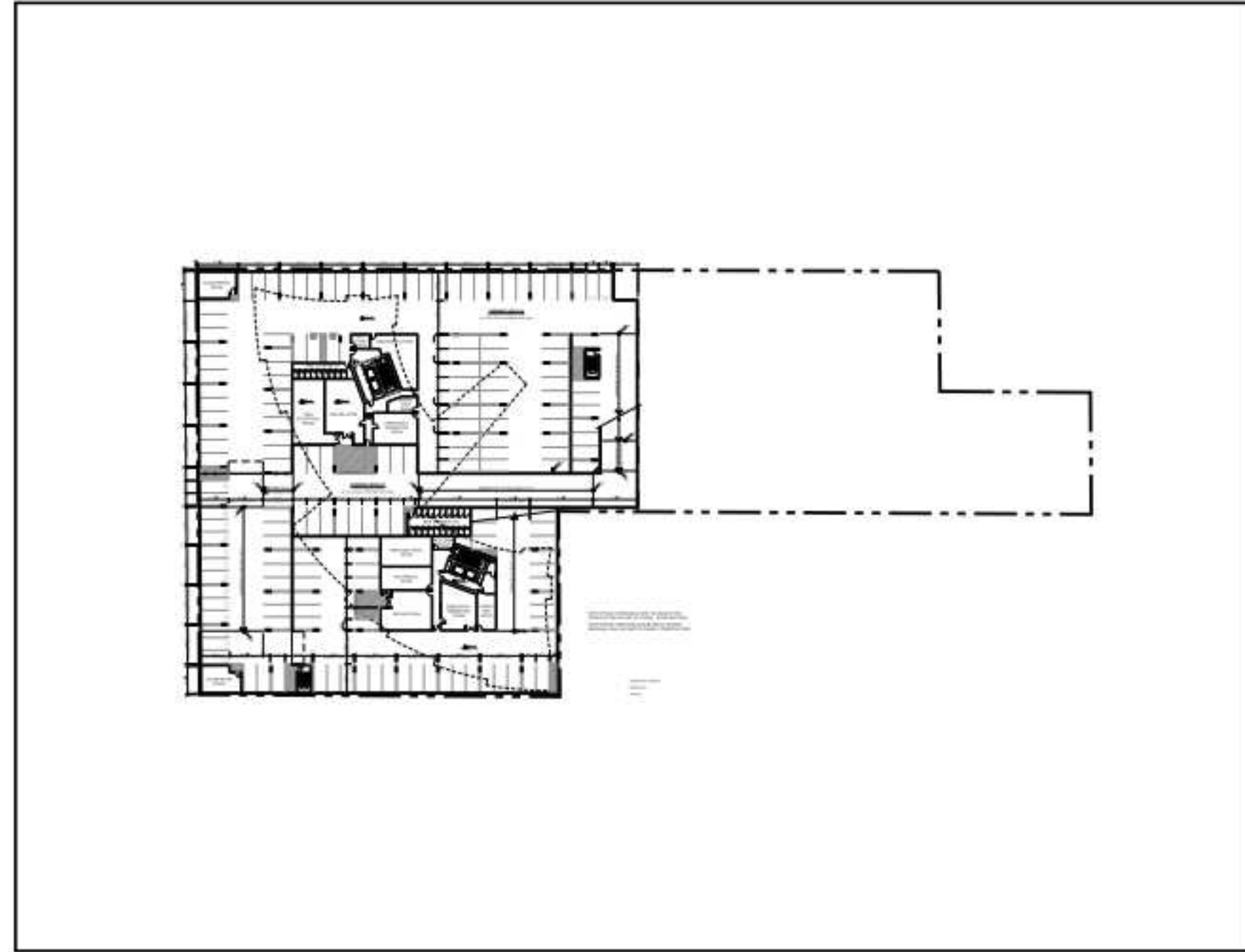
3 GLASS WINDOW WALL
CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE

4 GLASS WINDOW WALL
SPANDREL GLASS - #3-1373 BLACKTHORN
OPACI-COAT ON 6MM PILKINGTON CLEAR

5 PAINTED MULLION
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER

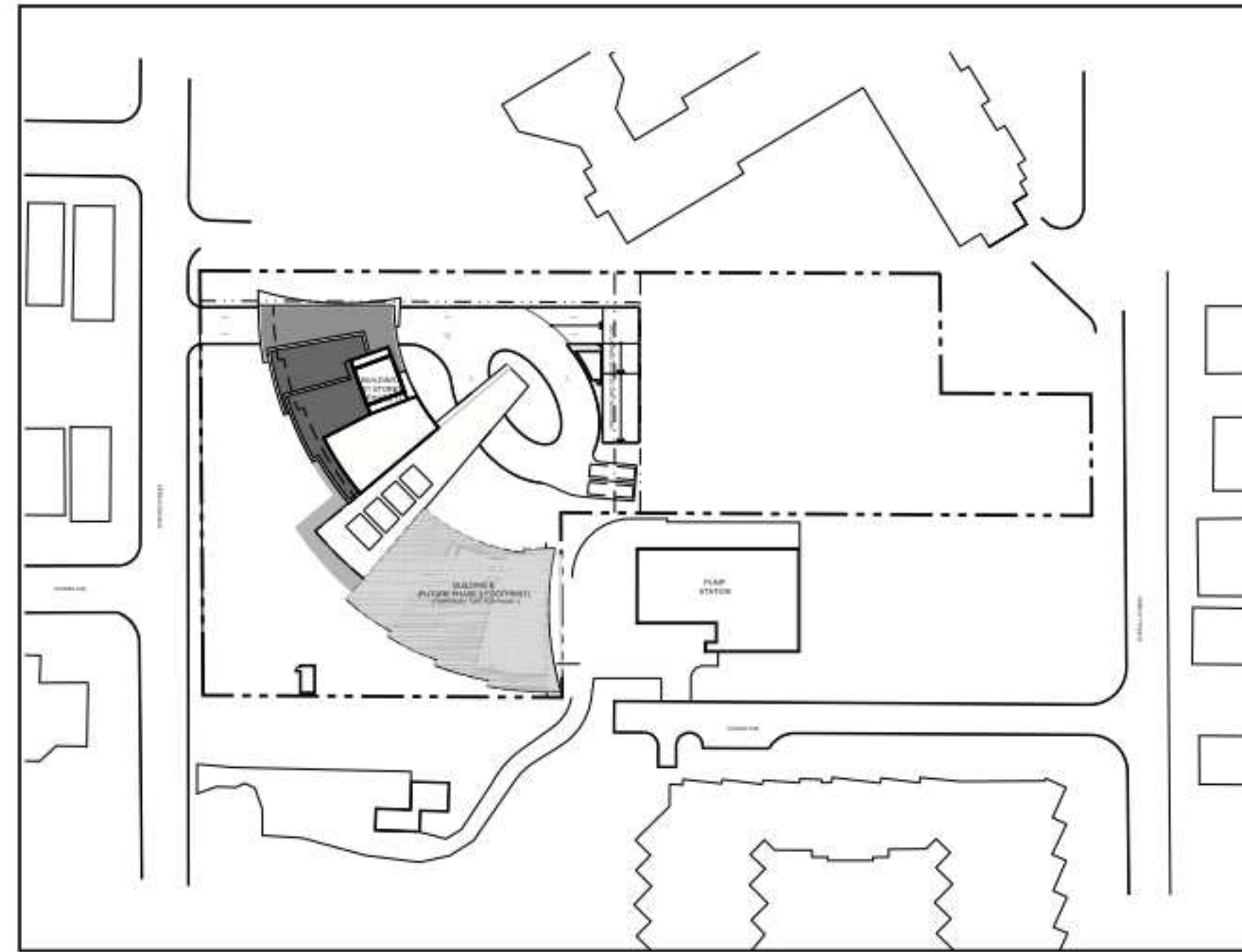
6 GREY STONE VENEER

PHASE 1



PHASE 1: BELOW GRADE

DURING THE CONSTRUCTION OF PHASE 1 THE ENTIRE BELOW GRADE PARKING STRUCTURE WILL BE BUILT UP TO GRADE. THIS INCLUDES CORE AND STRUCTURE FOR BOTH BUILDINGS. THE BELOW-GRADE PORTION OF BUILDING B WILL ALSO BE BUILT UP TO GRADE AND WILL BE COVERED AND TEMPORARILY TURFED UNTIL THE CONSTRUCTION OF PHASE 2 COMMENCES.



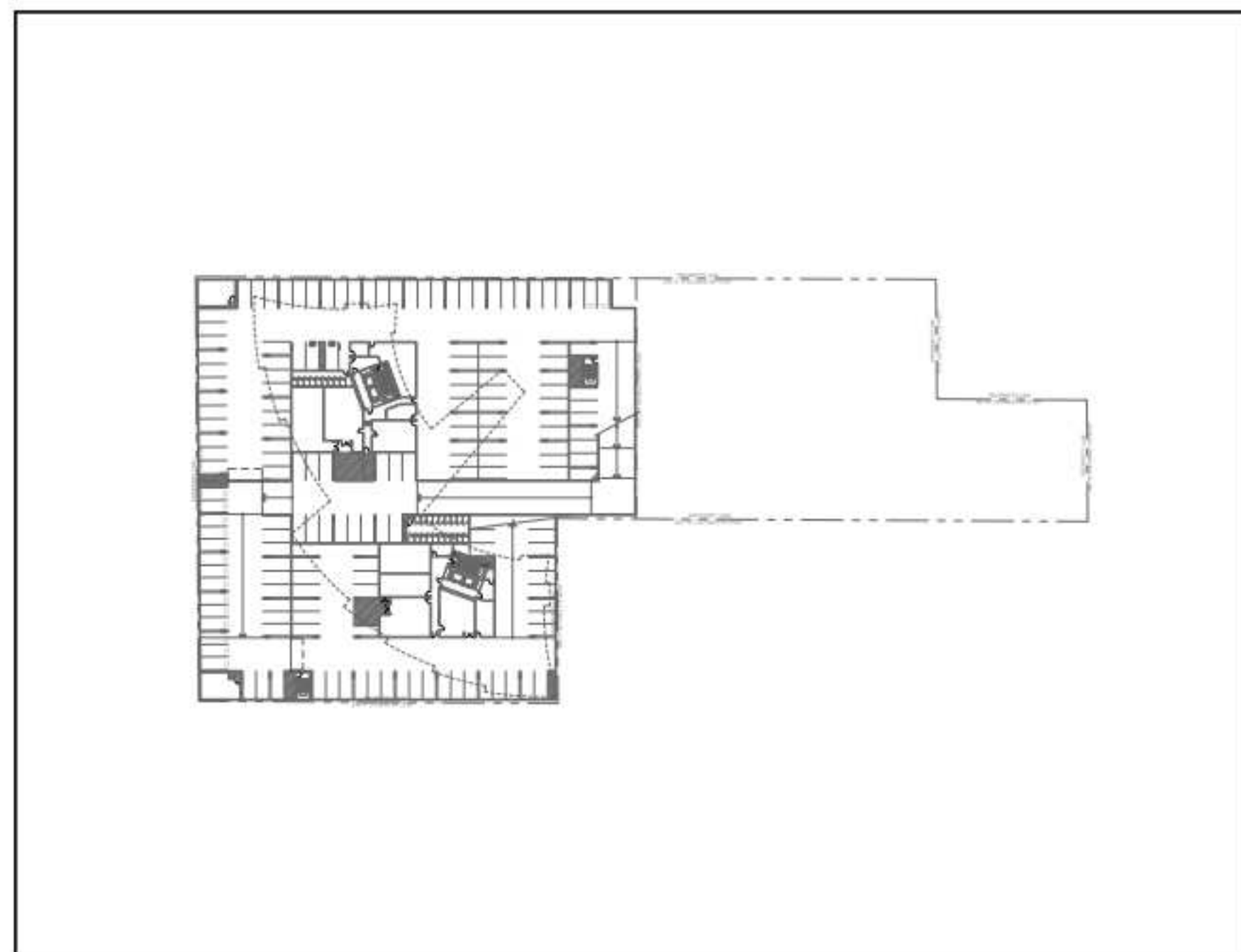
PHASE 1: ABOVE GRADE

THE ENTIRE BUILDING A WILL BE BUILT DURING PHASE ONE INCLUDING THE SURROUNDING LANDSCAPING, ROAD & PARKADE ENTRY. THE BUILDING FOOTPRINT OF BUILDING B WILL BE TEMPORARILY TURFED UNTIL THE COMMENCEMENT OF THE CONSTRUCTION OF PHASE 2.



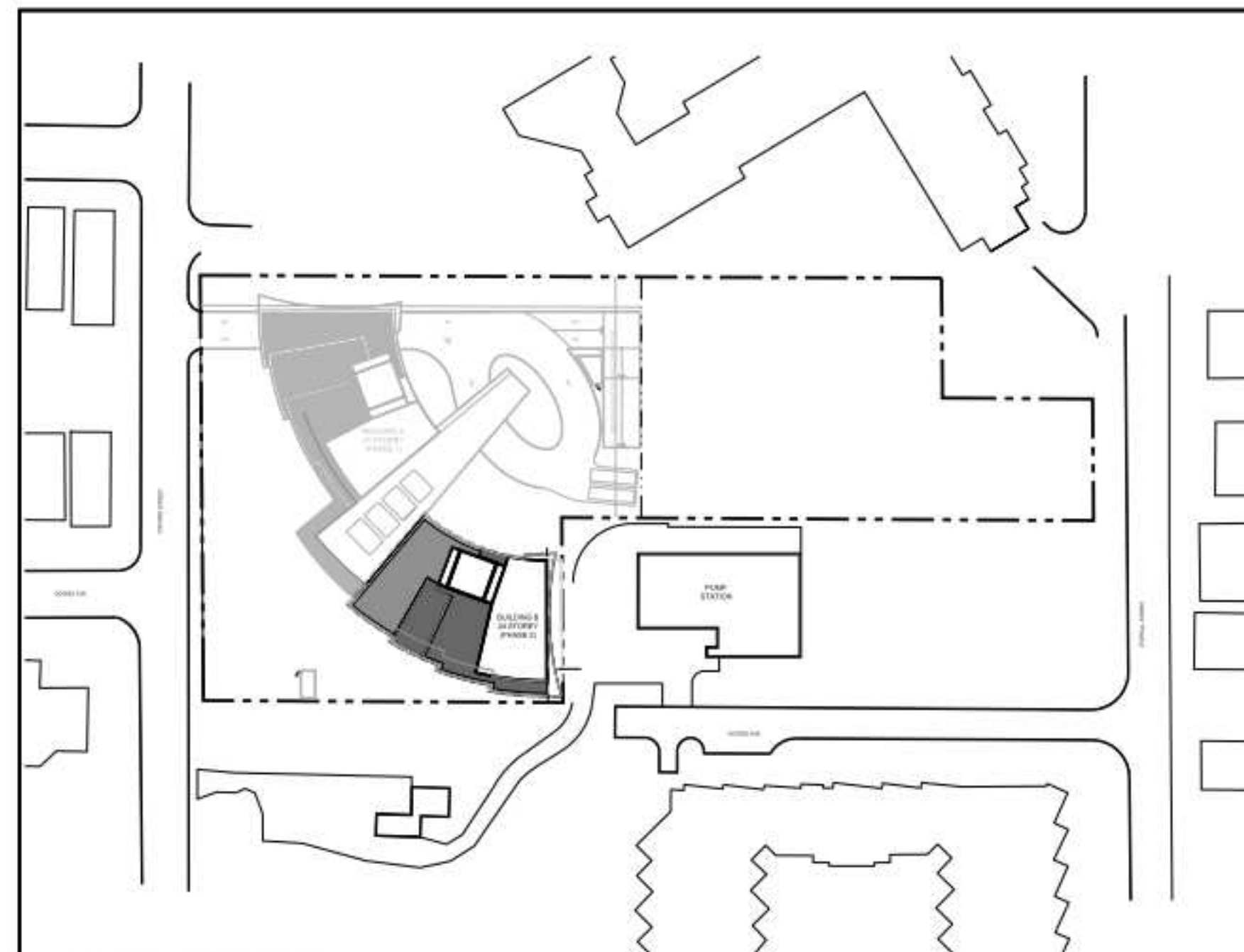
FUTURE PHASE 2 - BUILDING B

PHASE 2



PHASE 2: BELOW GRADE

THERE WILL BE NO PORTION OF BELOW GRADE ASSOCIATED WITH PHASE 2. ALL BELOW-GRADE CONSTRUCTION WILL OCCUR WITH PHASE 1

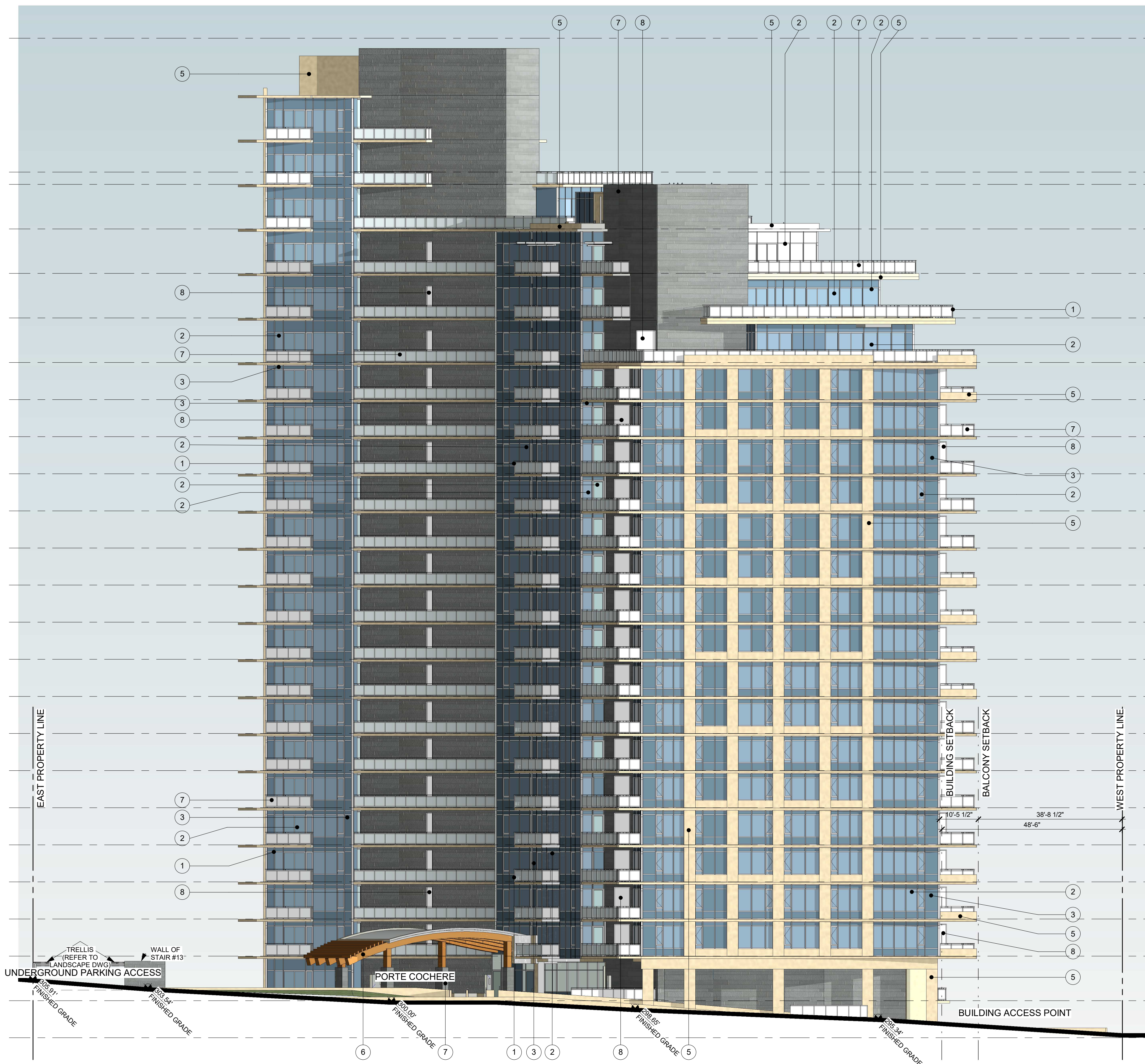


PHASE 2: ABOVE GRADE

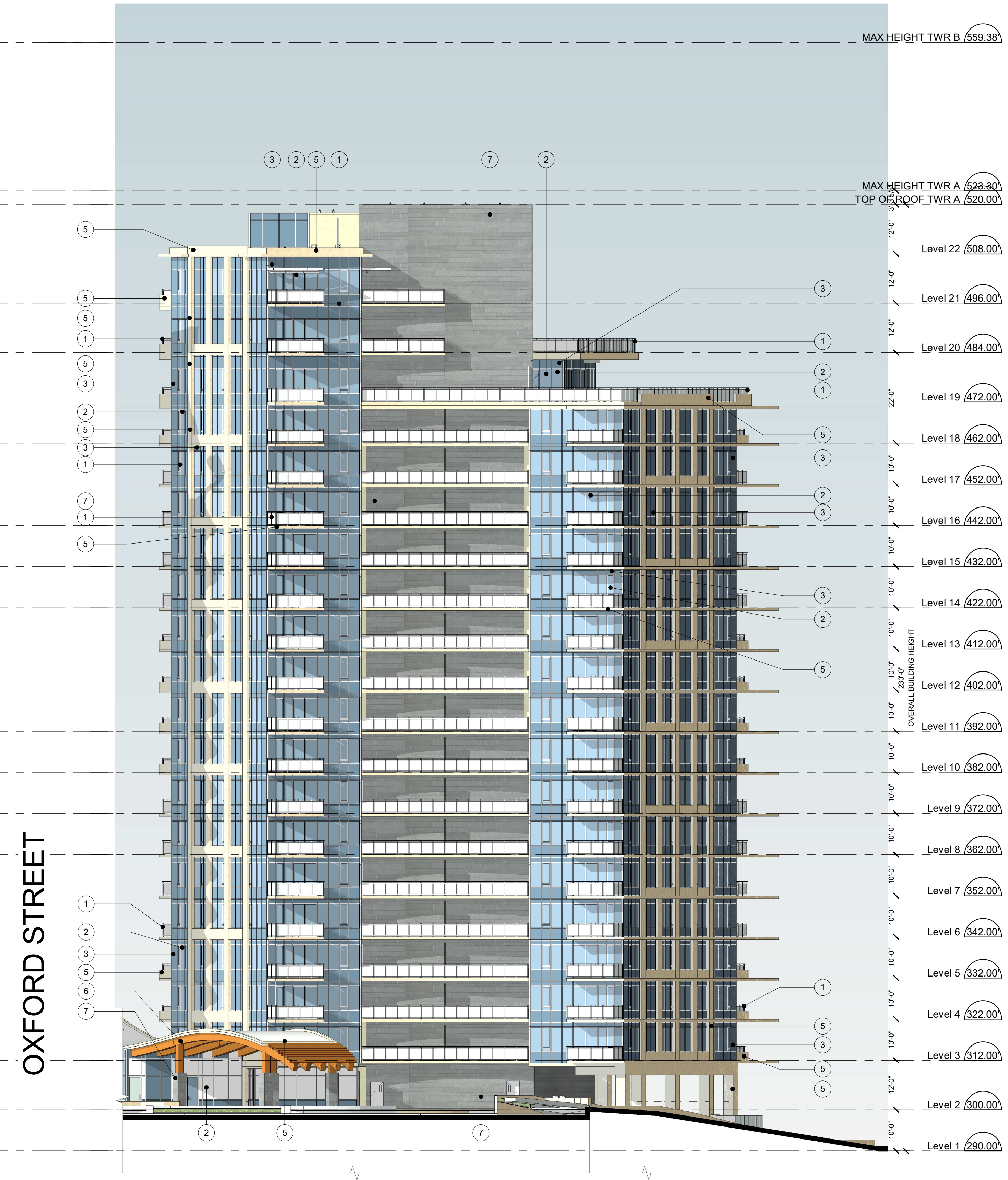
THE CONSTRUCTION OF PHASE 2 WILL ONLY INVOLVE THE CONSTRUCTION OF BUILDING B STARTING FROM GROUND LEVEL. THE TURF THAT WAS IN THIS LOCATION WILL BE REMOVED.



| MATERIAL LEGEND | | | |
|-----------------|---|---|---|
| 1 | ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER | 5 | ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60 |
| 2 | TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE | 6 | GLUE-LAMINATED WOOD |
| 3 | SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR | 7 | GREY STONE VENEER |
| 4 | METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60 | 8 | PRIVACY SCREEN |



1 TOWER A NORTH ELEVATION (DP)
1/16" = 1'-0"

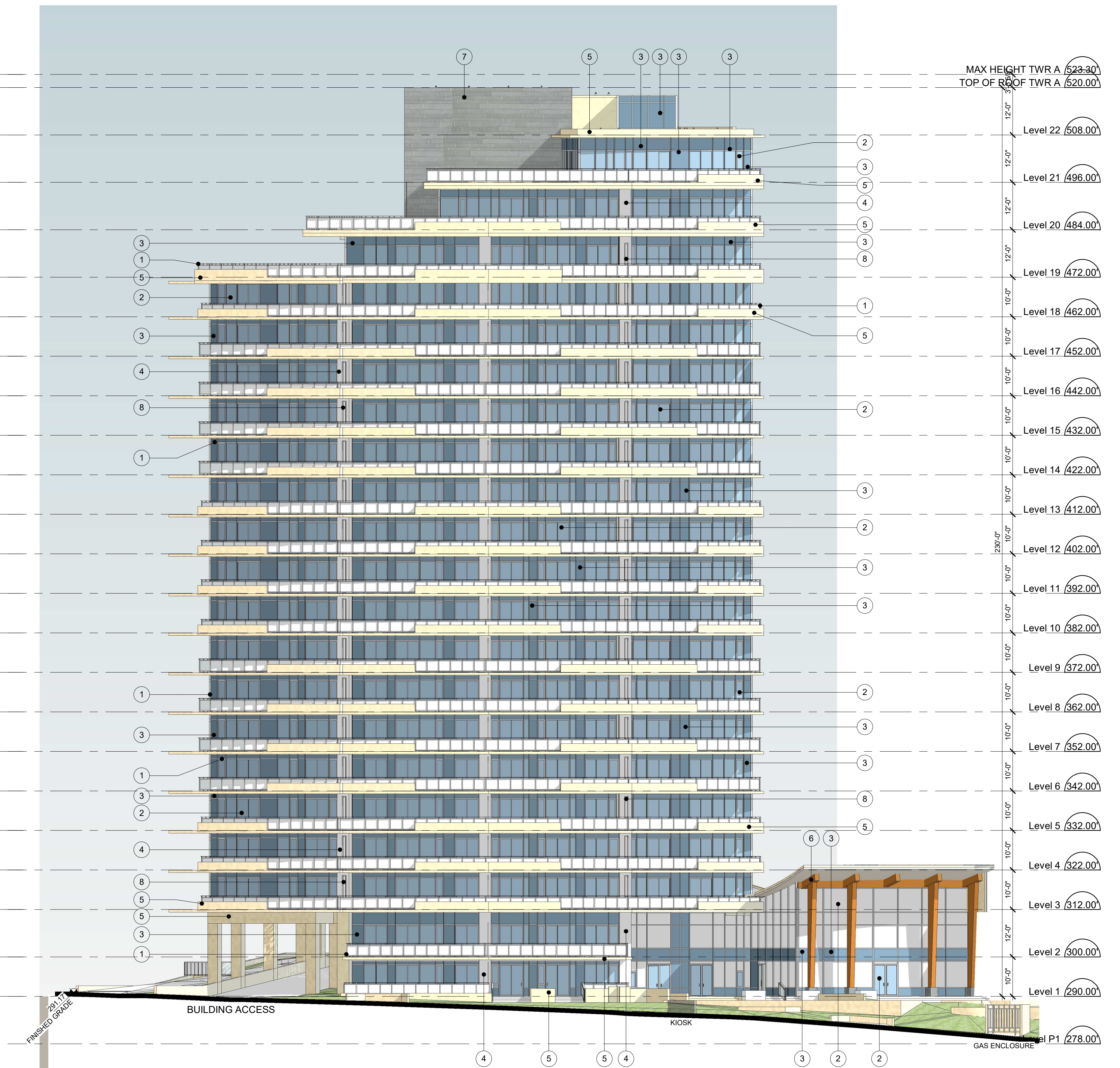


2 TOWER A NORTH EAST ELEVATION (DP)
1/16" = 1'-0"

| MATERIAL LEGEND | | | |
|-----------------|---|---|---|
| 1 | ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER | 5 | ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60 |
| 2 | TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE | 6 | GLUE-LAMINATED WOOD |
| 3 | SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR | 7 | GREY STONE VENEER |
| 4 | METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60 | 8 | PRIVACY SCREEN |



1 TOWER A SOUTH EAST ELEVATION
1/16" = 1'-0"



2 TOWER A SOUTH WEST ELEVATION
1/16" = 1'-0"

| MATERIAL LEGEND | | | |
|-----------------|---|---|---|
| 1 | ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER | 5 | ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60 |
| 2 | TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE | 6 | GLUE-LAMINATED WOOD |
| 3 | SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR | 7 | GREY STONE VENEER |
| 4 | METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60 | 8 | PRIVACY SCREEN |

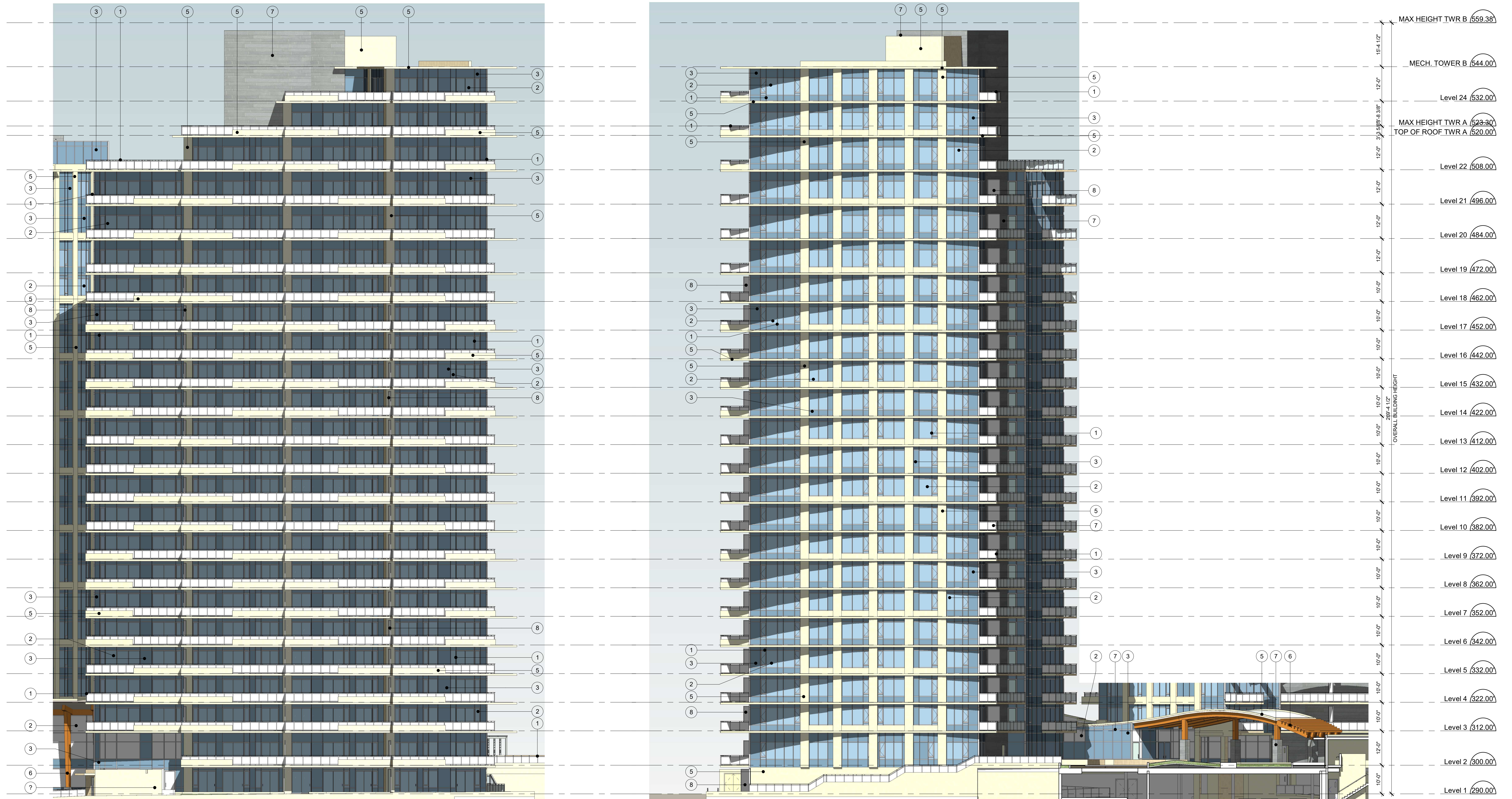


1 Tower B NE Elevation (DP)
1/16" = 1'-0"



2 Tower B NW Elevation (DP)
1/16" = 1'-0"

| MATERIAL LEGEND | | | |
|-----------------|---|---|---|
| 1 | ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER | 5 | ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60 |
| 2 | TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE | 6 | GLUE-LAMINATED WOOD |
| 3 | SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR | 7 | GREY STONE VENEER |
| 4 | METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60 | 8 | PRIVACY SCREEN |



1 Tower B SW Elevation (DP)
1/16" = 1'-0"

2 Tower B E Elevation (DP)
A502 1/16" = 1'-0"









| Revision No. | Date | Revision Notes |
|--------------|------------|------------------|
| R | 2021-06-06 | Re-Issued for DP |
| S | 2021.06.09 | Re-Issued for DP |

| Issue No. | Date | Issue Notes |
|-----------|------------|------------------|
| R | 2021-06-06 | Re-Issued for DP |
| S | 2021.06.09 | Re-Issued for DP |

Professional Seal



1690 West 2nd Avenue
Vancouver, BC, Canada V6J 1H3

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Project
**OXFORD STREET
RESIDENTIAL**
1500 OXFORD STREET
White Rock, BC

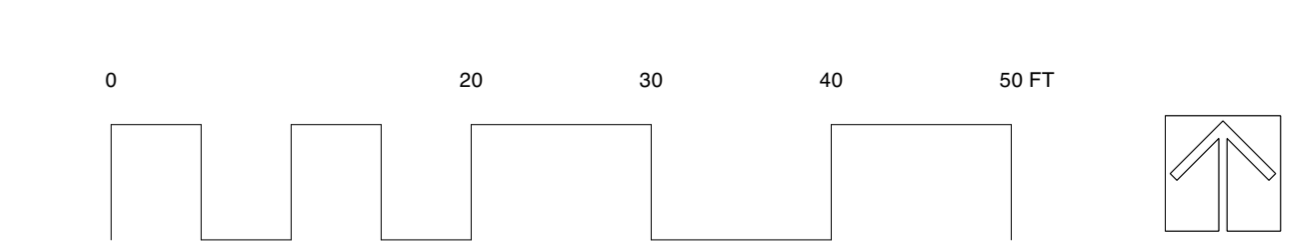
Drawing Title
Landscape Plan

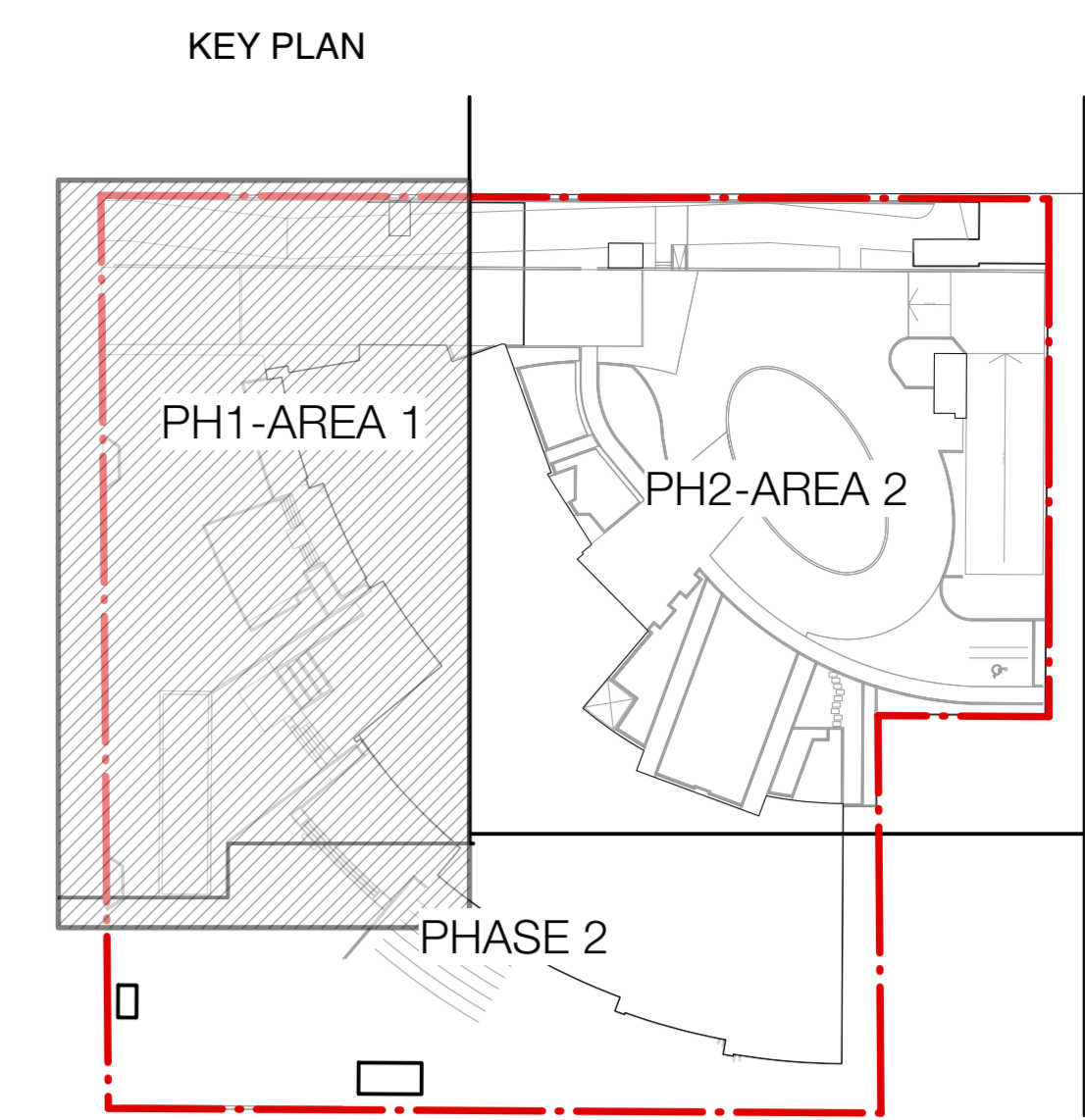
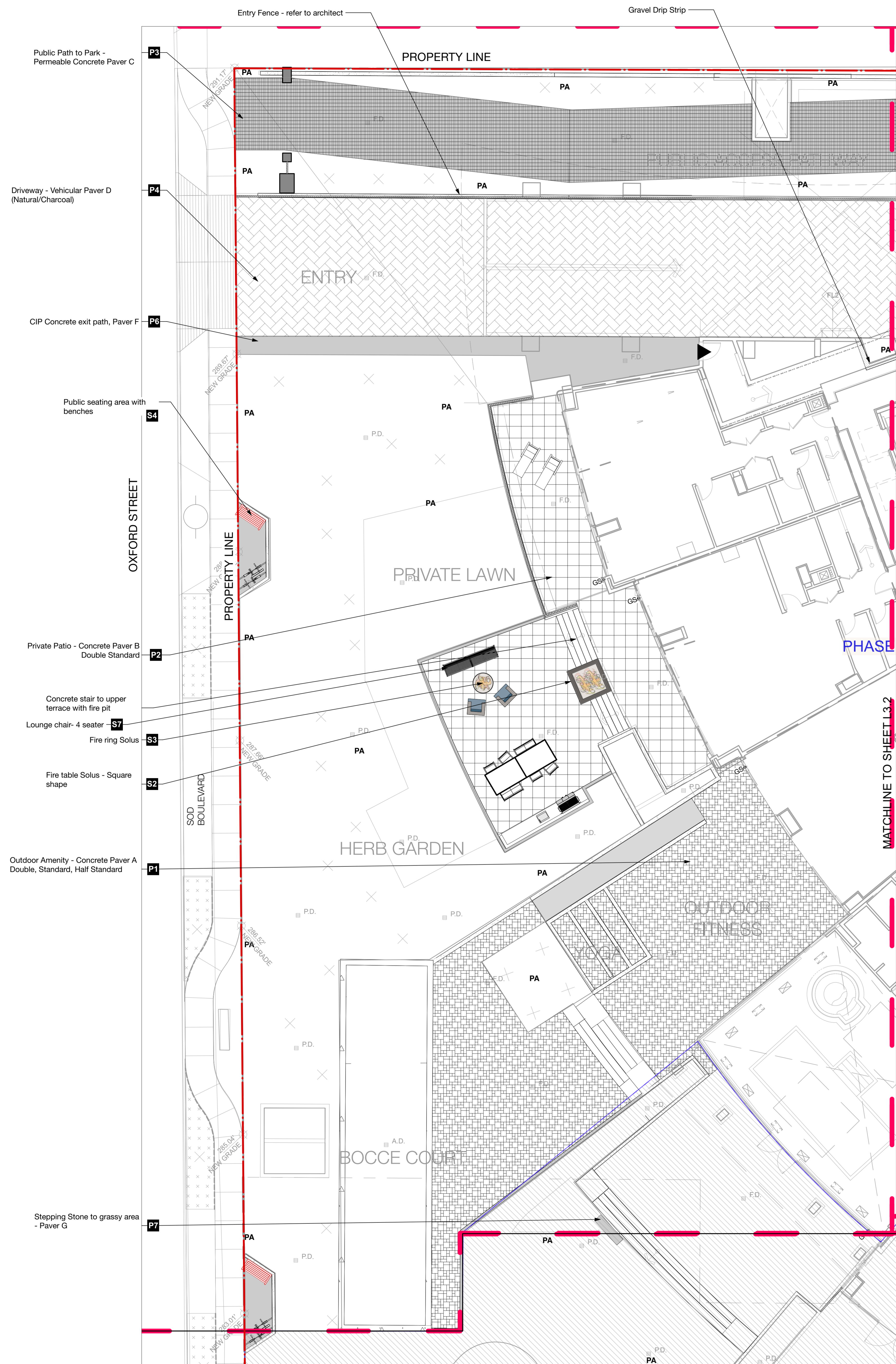
Legal
Parcel "C" (Reference Plan 12042)
Lot 4 Except Part Subdivided By
Plan 52320, Section 10 Township 1

| | |
|-----------------------|-------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/KB | Scale AS SHOWN |
| Reviewed By GE | |
| Date 2015-09-14 | |
| | L0.2 of 36 |

Plot Date:
21-6-9
21752 Oxford St Residential_BP100

1 Landscape Plan
Scale: 3/32" = 1'-0"





LEGEND:

- P1** Concrete Paver A, Model: Pacific Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Double & Half Standard, Color: Granite Blend
- P2** Concrete Paver B, Model: Pacific Stone, Manufacturer: Abbotsford Concrete, Size: Double Standard, Color: Granite Blend
- P3** Concrete Paver C, Model: AquaPave Old Country Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Color: Tan Brown Blend
- P4** Concrete Paver D, Model: VS-5 Exoprete, Manufacturer: Belgard, Size: 6"x12", Color: Natural/Charcoal
- P5** Concrete Paver E, Model: Decomposed Granite, Manufacturer: Custom, Size: 6"x12", Color: Charcoal
- P6** Concrete sidePath Paver F, Color: Grey concrete
- P7** Stepping Stone Paver G, Model: Texas, Manufacturer: Abbotsford Concrete, Size: 12"x24", Color: Charcoal
- PZ** Stepping Stone Paver G, Model: Texas, Manufacturer: Abbotsford Concrete, Size: 12"x24", Color: Charcoal
- 6" Concrete Retaining Curb
- Raised CIP Concrete Planter Wall
- Drip Strip with Timber Edger
- Metal Fence - refer to architect
- Timber edger for Bocce Court
- CIP Stairs
- S1** Firetable Solus, Rectangle shape
- S2** Firetable Solus, Square shape
- S3** FireRing Solus
- S4** Bench - Public Realm Maglin MLB970-W Silvertop
- S5** Bench Maglin MLB1050-W Matte Finish - Core-Ten Powder Coat/pe
- S6** Chaise Lounge Equiper EP 1974 Ipe/Colour co-ord with ID
- S7** Lounge Sofa Hausel Loft Sofa CHS6203 WT Colour Co-ord with ID
- S8** Club chair Hausel Loft CHS6201 WT Colour co-ord with ID
- S9** Outdoor Coffee table Equiper EP 1051 Ipe/Colour co-ord with ID
- S10** Outdoor Umbrella
- S11** 2 No. Dining Table + 2 No. 2 seater chair + 4 No. 1 seater chair
- S12** Bistro table & Chairs Maglin Kontour RAL 2009
- S13** Public drinking Fountain w/Dog Bowl HAWKS
- S14** Bike Rack Equiper EP 5990 Embedded Concrete pad below pavers
- S15** Amenity area with BBQ
- Tree trunk
- PA** Planted area
- Limit of Work

| Revision No. | Date | Revision Notes |
|--------------|------------|------------------------------------|
| D | 2015-10-27 | Re-issued for ADP |
| E | 2015-10-27 | Re-issue for OCP Amendment & CD RZ |
| F | 2015-11-17 | Re-issue for OCP Amendment & CD RZ |
| H | 2/20/14 | Issued for public information |
| I | 3/13/14 | Issued for rezoning |
| J | 7/2/15 | Issued for Advisory Design Panel |
| K | 2018-06-11 | Issue for DP |
| L | 2020-03-02 | Re-issue for DP |
| N | 2021-03-10 | Issued for BP |
| O | 2021-05-07 | Issued for Pricing |
| S | 2021-06-09 | Re-issued for DP |

ISSUE

| No. | Date | Issue Notes |
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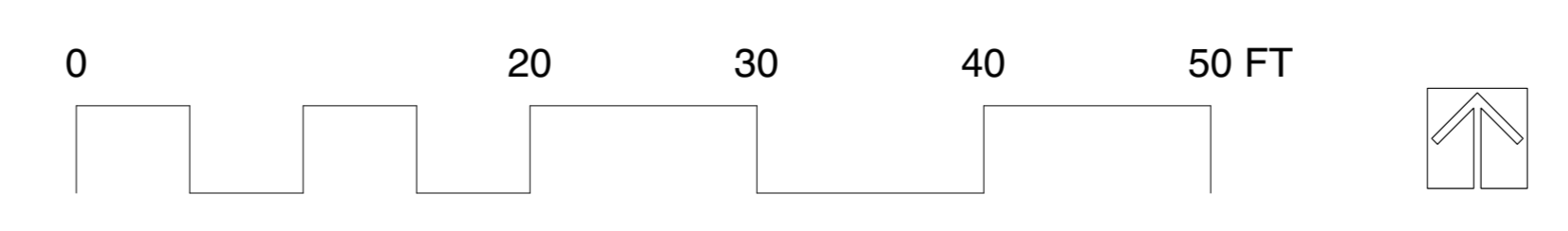
Project
OXFORD STREET RESIDENTIAL
1500 OXFORD STREET
White Rock, BC

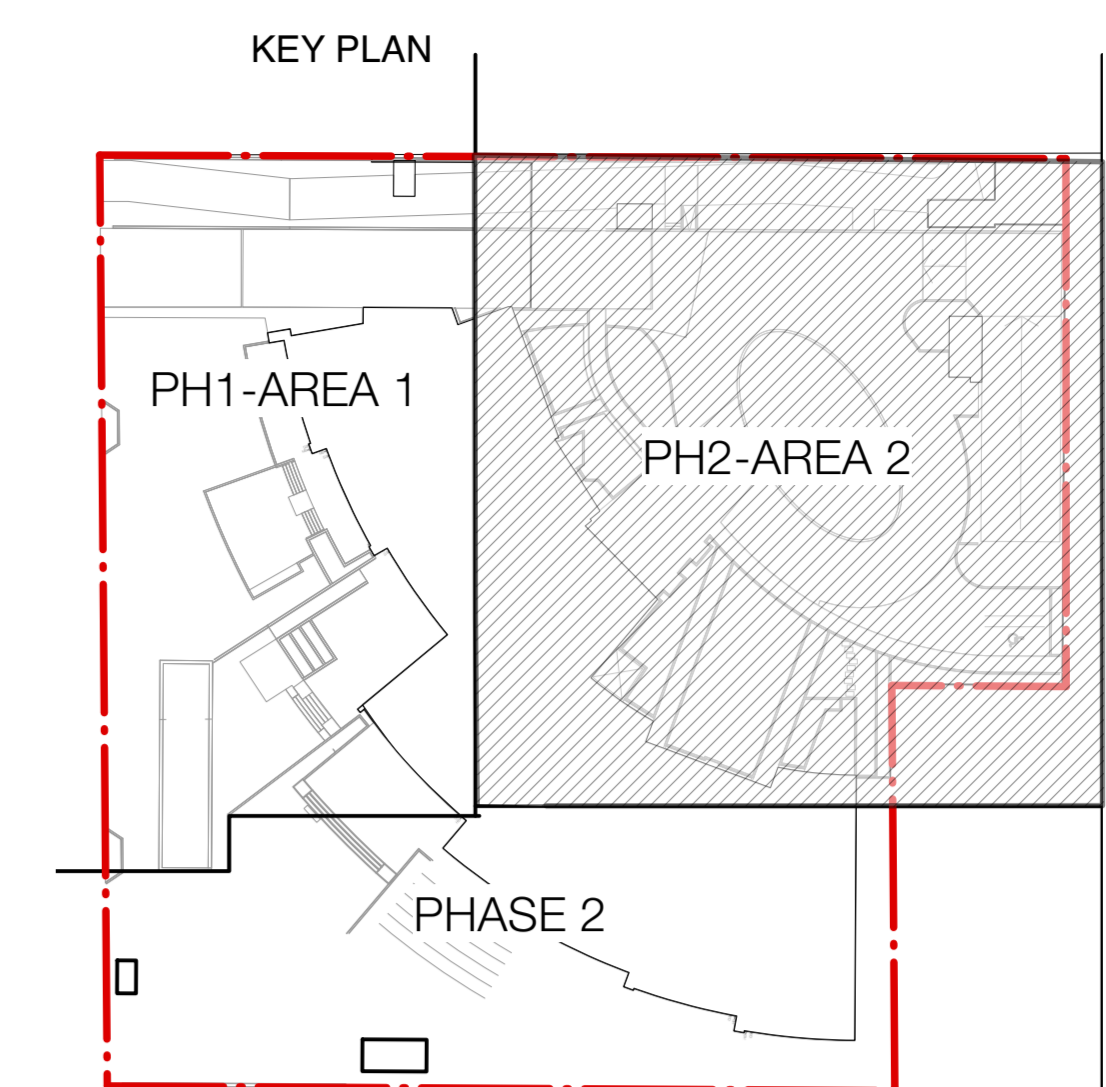
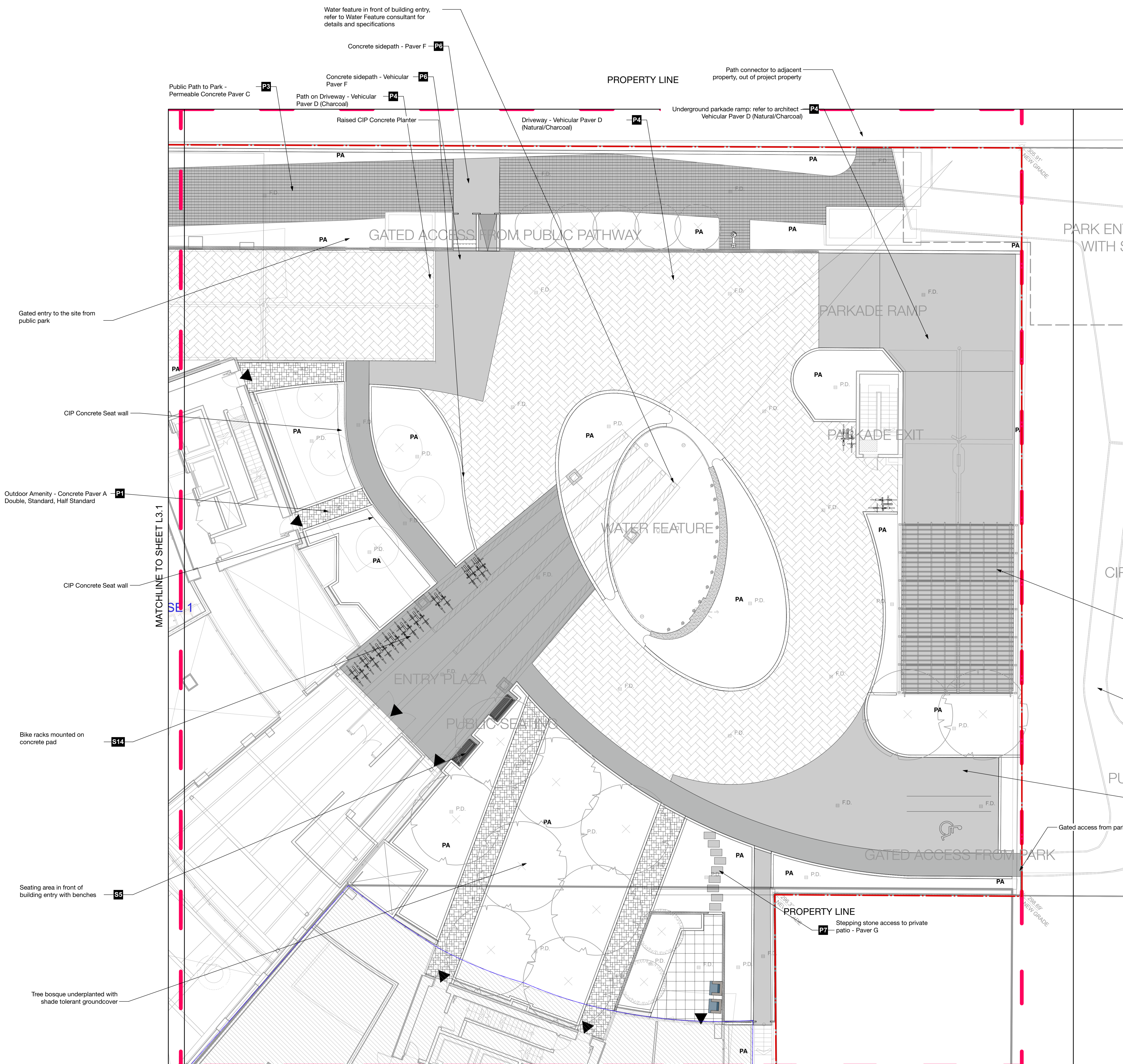
Drawing Title
Materials - AREA 1

| | |
|-----------------------|----------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/KB | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L3.1 |
| Date 2015-09-14 | |

Plot Date:
21-6-9
21752 Oxford St Residential_BPxxx

1 Area 1: Hardscape Materials Plan
Scale: 1/8" = 1'-0"





- LEGEND:**
- Concrete Paver A, Model: Pacific Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Double & Half Standard, Color: Granite Blend
 - Concrete Paver B, Model: Pacific Stone, Manufacturer: Abbotsford Concrete, Size: Double Standard, Color: Granite Blend
 - Concrete Paver C, Model: Aquaflex Old Country Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Color: Tan Brown Blend
 - Concrete Paver D, Model: VS-8 Exconcrete, Manufacturer: Belgard, Size: 6"x12", Color: Natural/Charcoal
 - Concrete Paver E, Model: Decomposed Granite, Manufacturer: Custom, Size: 6"x12", Color: Charcoal
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 - CIP Stairs
 - Firetable Solus, Rectangle shape
 - Firetable Solus, Square shape
 - FireRing Solus
 - Bench - Public Realm Magnin MLB973-W Silverluxe
 - Bench Magnin MLB1050-W Matte Finish - Core-Ten Powder Coating
 - Chaise Lounge Equigaro EP 1974 Ipe/Colour co-ord with ID
 - Lounge Sofa Hauser Loft Sofa CHS652 WT Colour Co-ord with ID
 - Club chair Hauser Loft CHS652 WT Colour co-ord with ID
 - Outdoor Coffee table Equigaro EP 1061 Ipe/Colour co-ord with ID
 - Outdoor Umbrella
 - 2 No. Dining Table + 2 No. 2 seater chair + 4 No. 1 seater chair
 - Bistro table & Chairs Magnin Kontour RAL 2009
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 - Amenity area with BBQ
 - Tree trunk
 - Planted area
 - Limit of Work

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| J | 7/21/15 | Issued for Advisory Design Panel |
| K | 2016-06-11 | Issue for DP |
| L | 2020.03.02 | Re-issue for DP |
| N | 2021-03-10 | Issued for BP |
| O | 2021.05.07 | Issued for Pricing |
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| N | 2021-03-10 | Issued for BP |
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Professional Seal



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Vancouver, BC, Canada - V6J 1H3

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F | 604.683.1459
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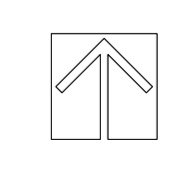
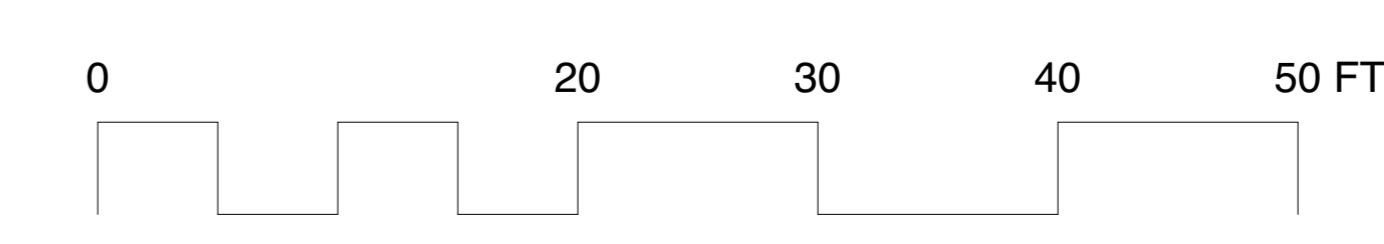
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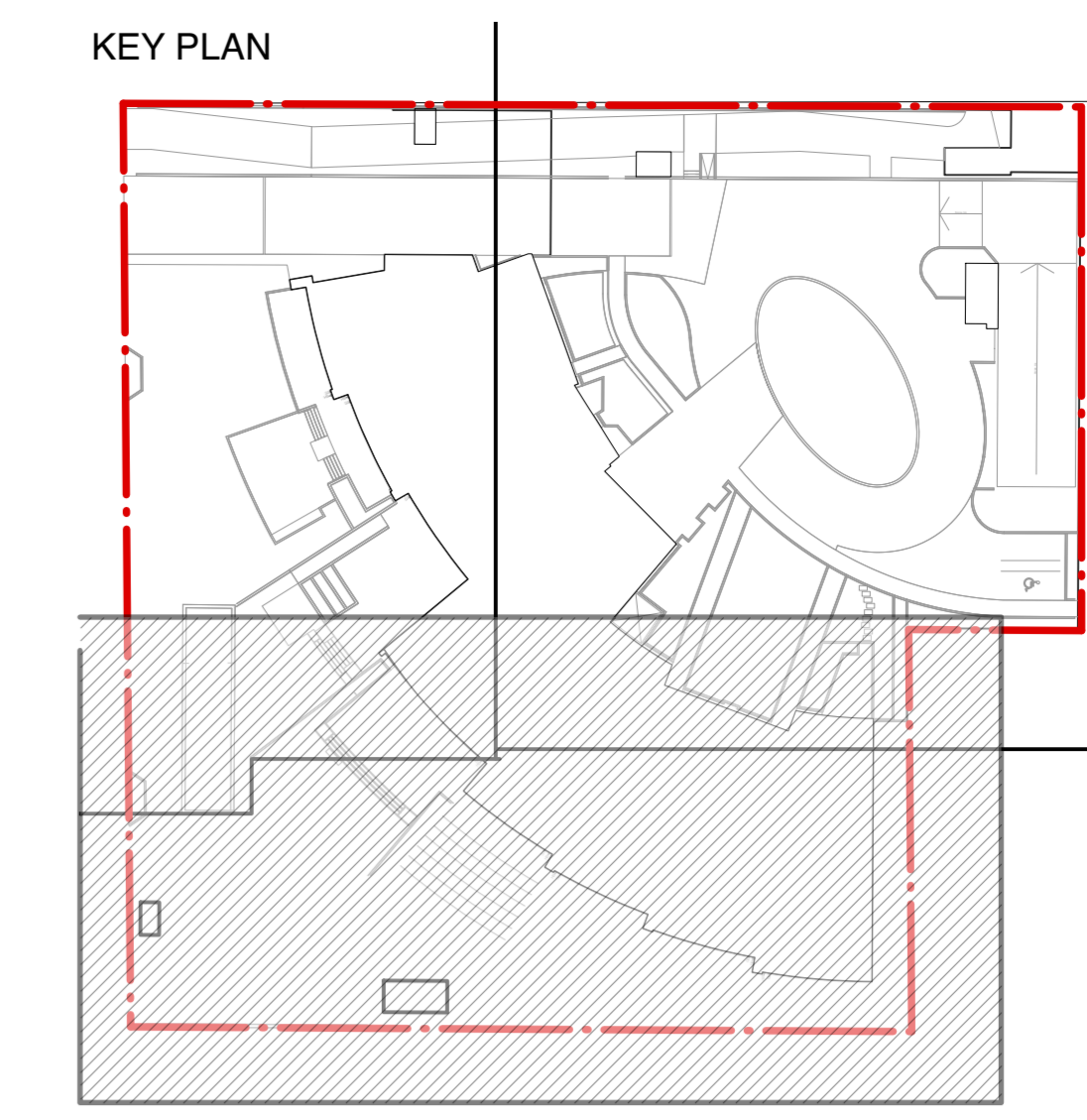
Project
OXFORD STREET RESIDENTIAL
1500 OXFORD STREET
White Rock, BC

Drawing Title
Materials - AREA 2

Legal
Parcel "C" (Reference Plan 12042)
Lot 4 Except: Part Subdivided by
Plan S2320, Section 10 Township 1

| | |
|-----------------------|----------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/KB | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L3.2 |
| Date 2015-09-14 | Page 36 |





| Revision No. | Date | Revision Notes |
|--------------|------|----------------|
|--------------|------|----------------|

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| F | 2015-11-17 | Re-issue for OCP Amendment & CD RZ |
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| I | 3/13/14 | Issued for rezoning |
| J | 7/21/15 | Issued for Advisory Design Panel |
| K | 2019-06-11 | Issue for DP |
| L | 2020-03-02 | Re-Issue for DP |
| T | 2021-06-15 | Phase 2- Issued for DP |

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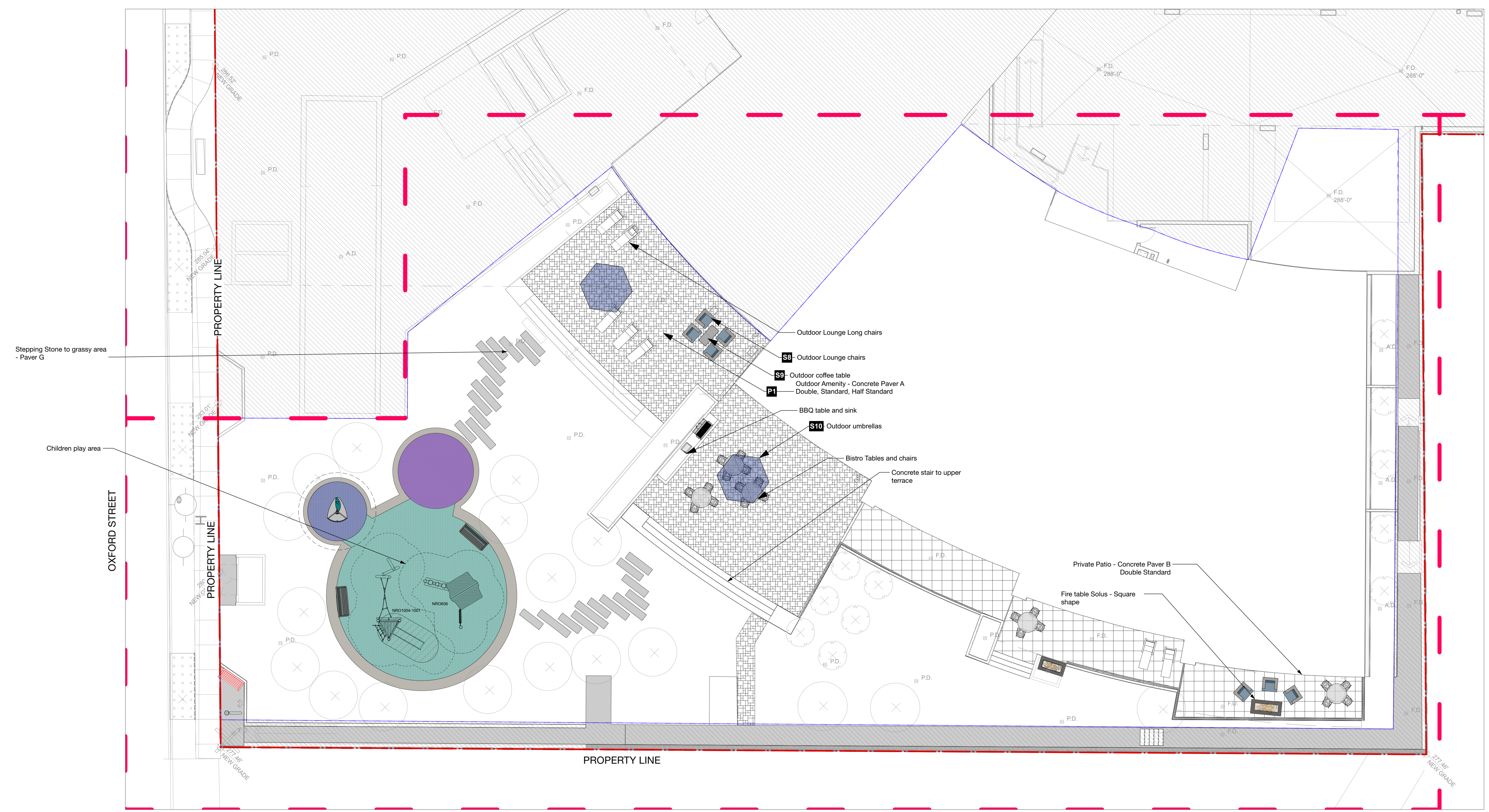
Project
OXFORD STREET RESIDENTIAL
 1500 OXFORD STREET
 White Rock, BC

Drawing Title
Materials

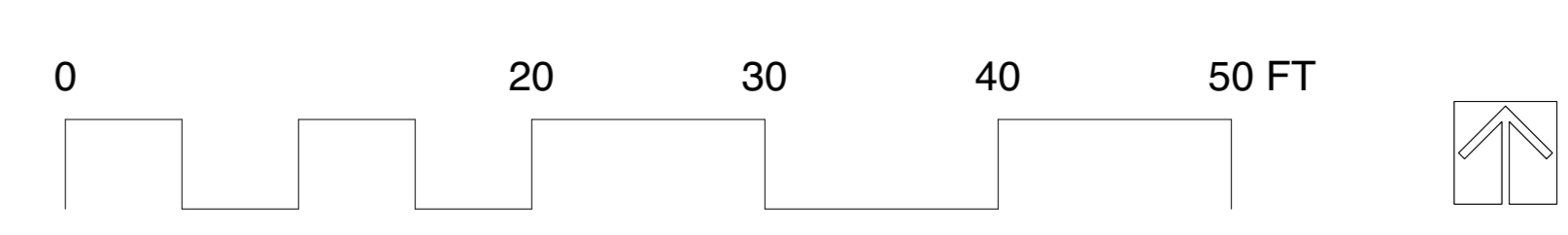
Legal
 Parcel "C" (Reference Plan 12042)
 Lot 4 Except: Part Subdivided By
 Plan 52320, Section 10 Township 1

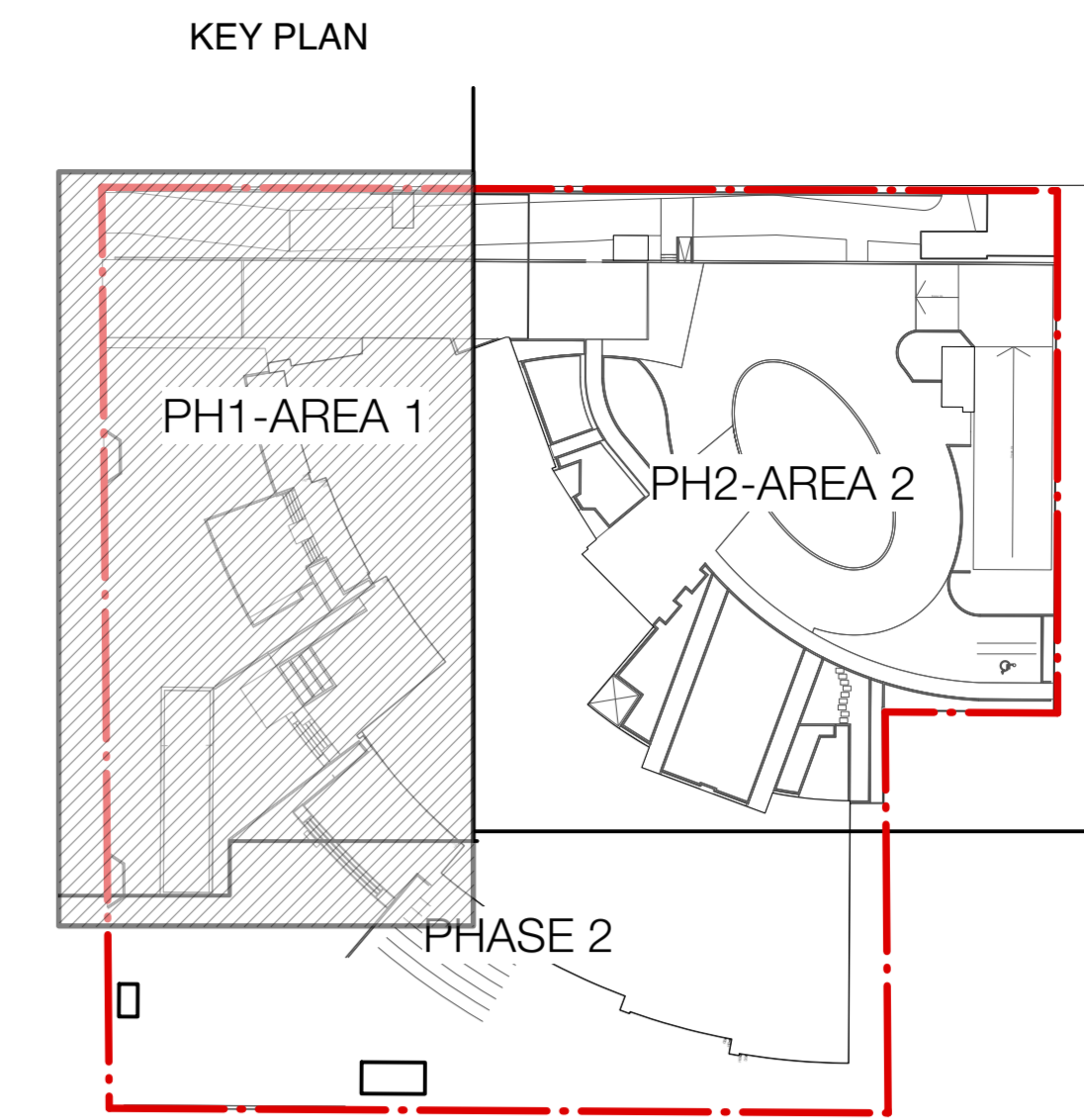
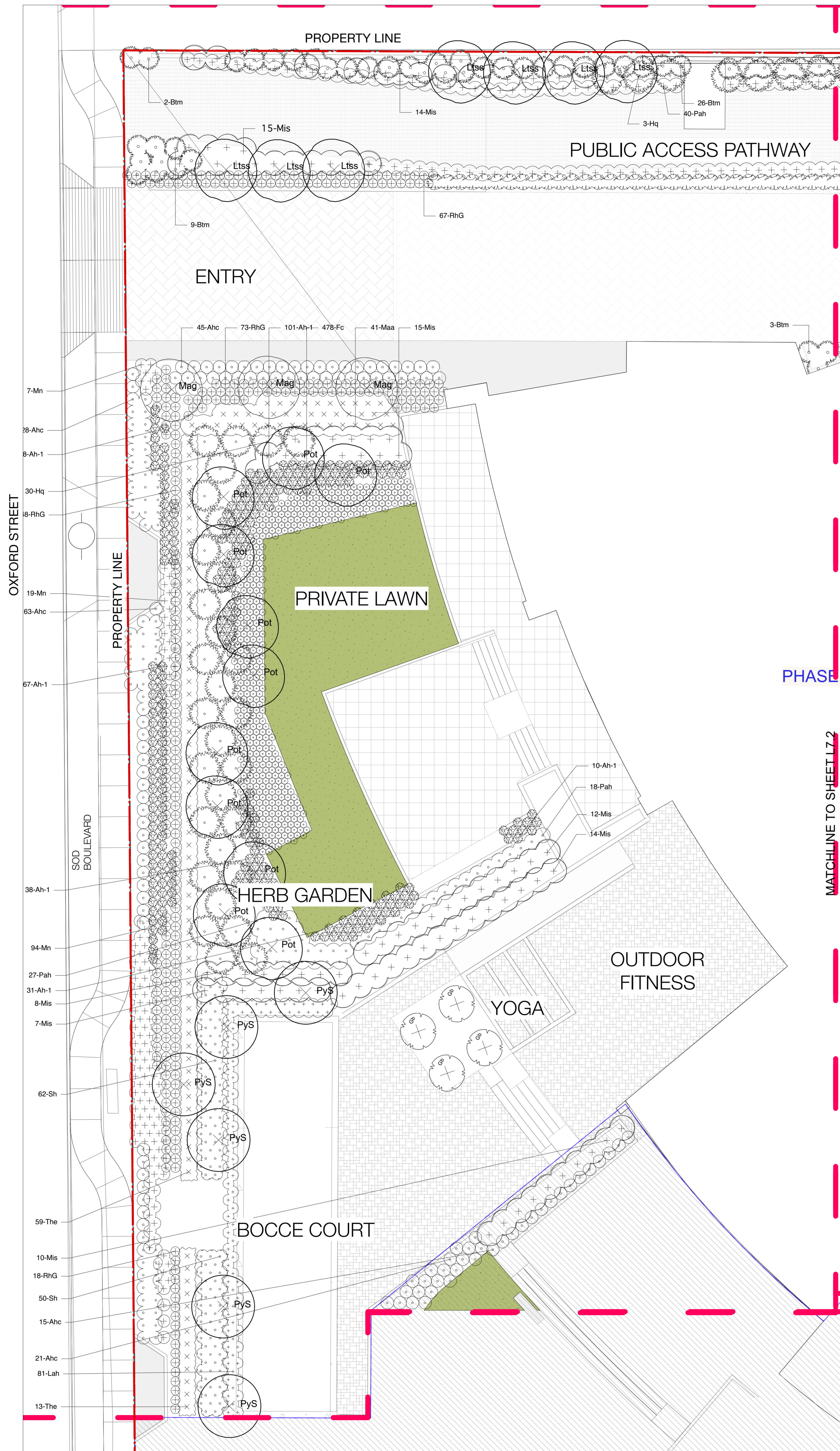
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|-----------------|--------------------|
| Project Manager | Project ID |
| GE | 21752 |
| Drawn By | Scale |
| GE/NT | AS SHOWN |
| Reviewed By | Drawing No. |
| GE | PH 2 - L3.1 |
| Date | |
| 2015-09-14 | |

Plot Date:
 21-6-15
 21752 Oxford St Residential_BP.mxd



1 Scale: 1/8" = 1'-0"





Revision
No. Date Revision Notes

| Issue No. | Date | Issue Notes |
|-----------|------------|------------------------------------|
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| N | 2021-09-10 | Issued for BP |
| O | 2021.05.07 | Issued for Pricing |
| S | 2021.06.09 | Re-issued for DP |

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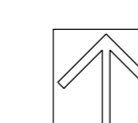
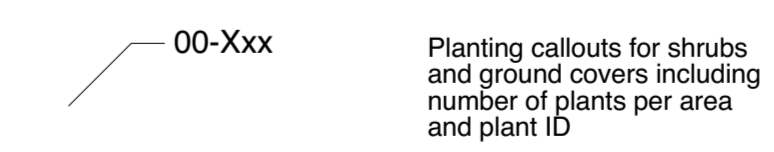
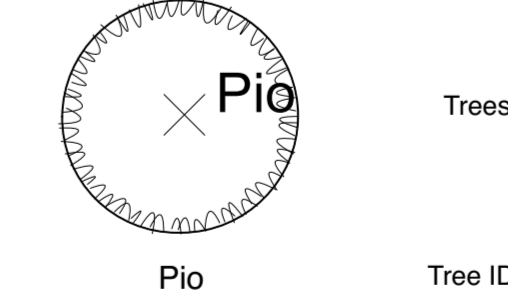
Project
OXFORD STREET RESIDENTIAL
1500 OXFORD STREET
White Rock, BC

Drawing Title

Planting AREA 1

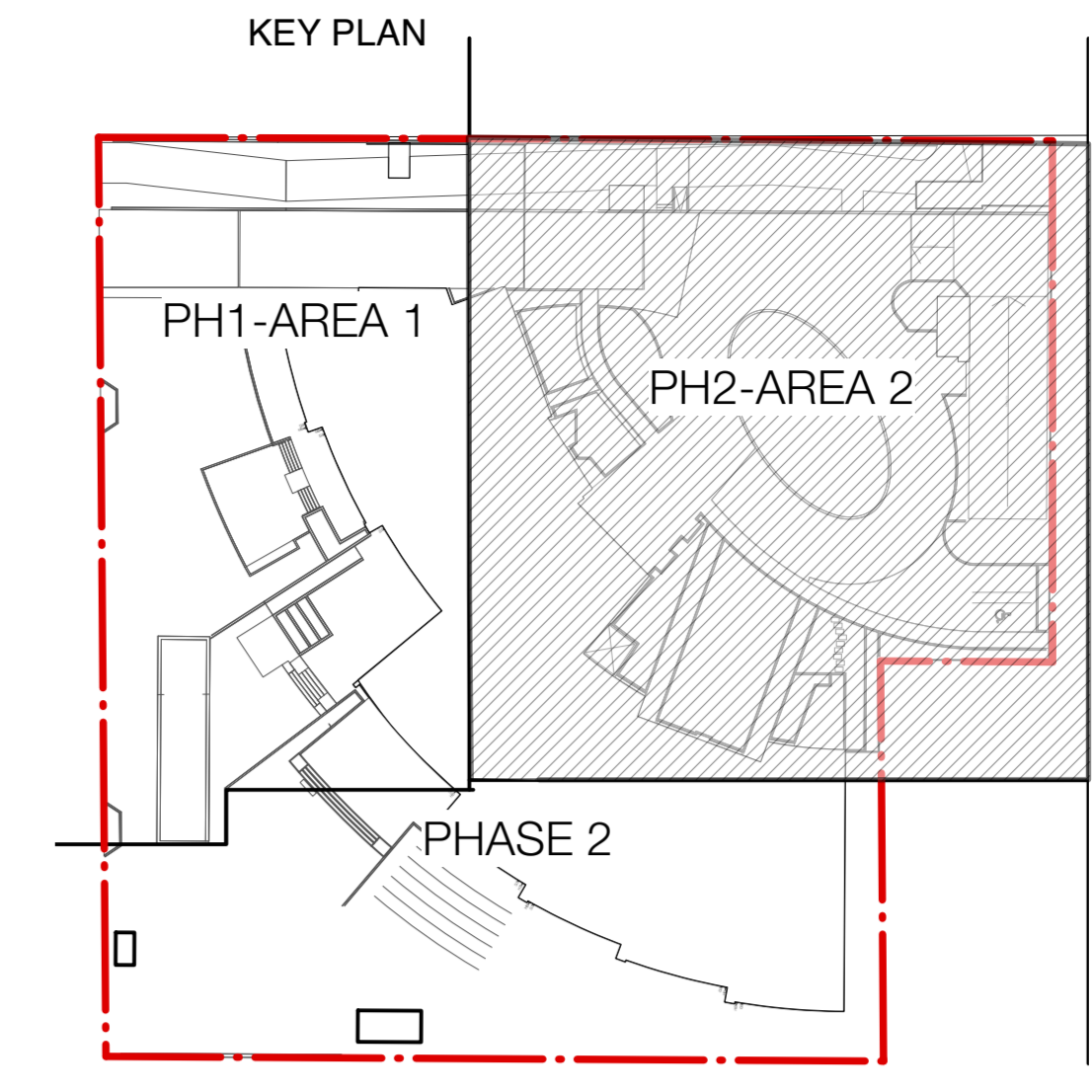
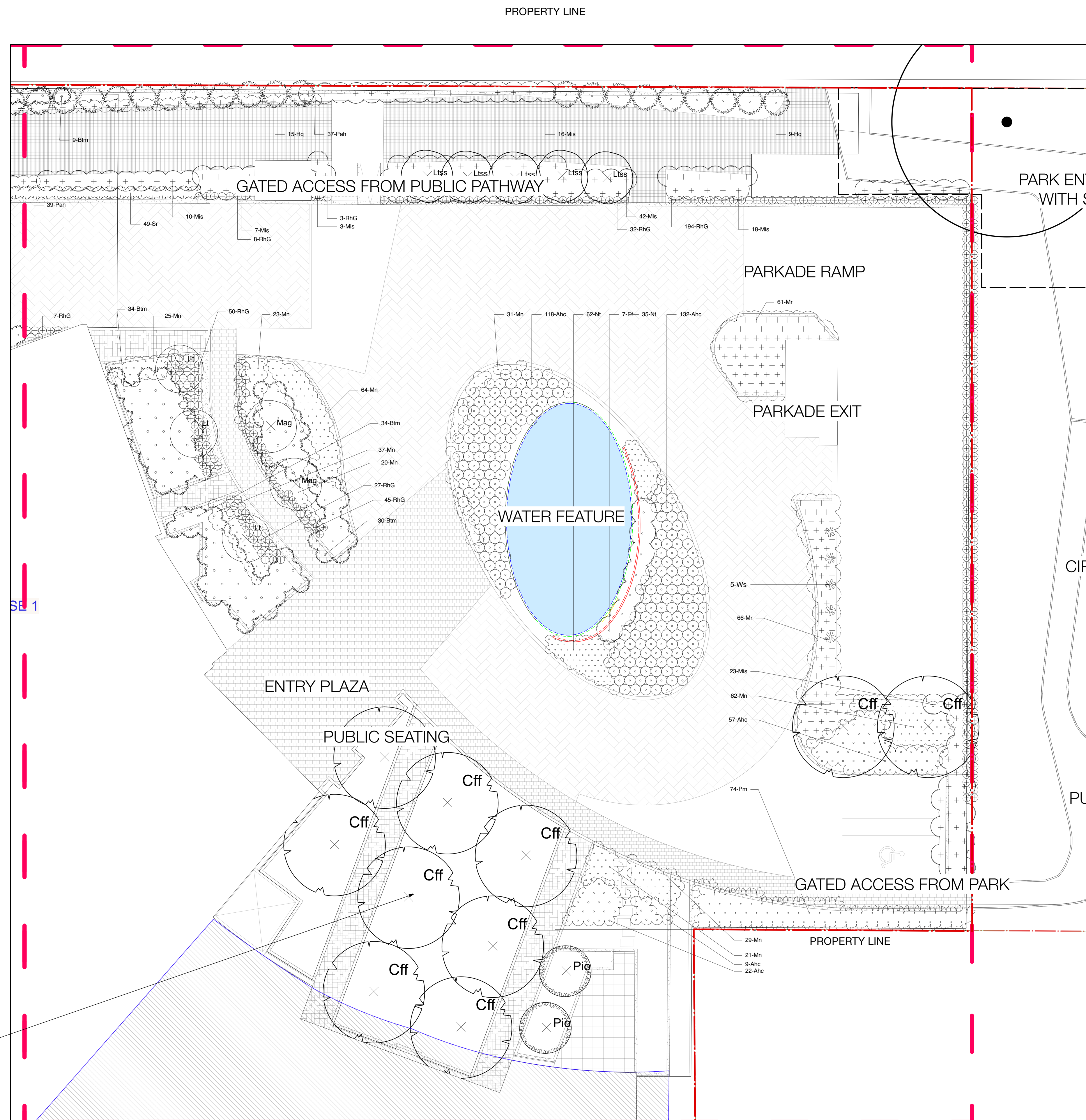
LEGEND:

Note:
For Plant species, refer to plant list schedule on L0.1



Legal
Parcel "C" (Reference Plan 12042)
Lot 4 Except Part Subdivided By
Plan 52320, Section 10 Township 1

| | |
|-----------------------|---------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/NT | Scale AS SHOWN |
| Reviewed By GE | Drawing No. |
| Date 2015-09-14 | L7.2 of |
| 36 | |



| Revision No. | Date | Revision Notes |
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| L | 2020-03-02 | Re-issue for DP |
| N | 2021-03-10 | Issued for BP |
| O | 2021-05-07 | Issued for Picking |
| S | 2021-06-09 | Re-issued for DP |

| Issue No. | Date | Issue Notes |
|-----------|------------|------------------------------------|
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Project
OXFORD STREET RESIDENTIAL
 1500 OXFORD STREET
 White Rock, BC

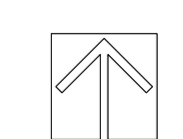
Drawing Title
Planting Plan AREA 2

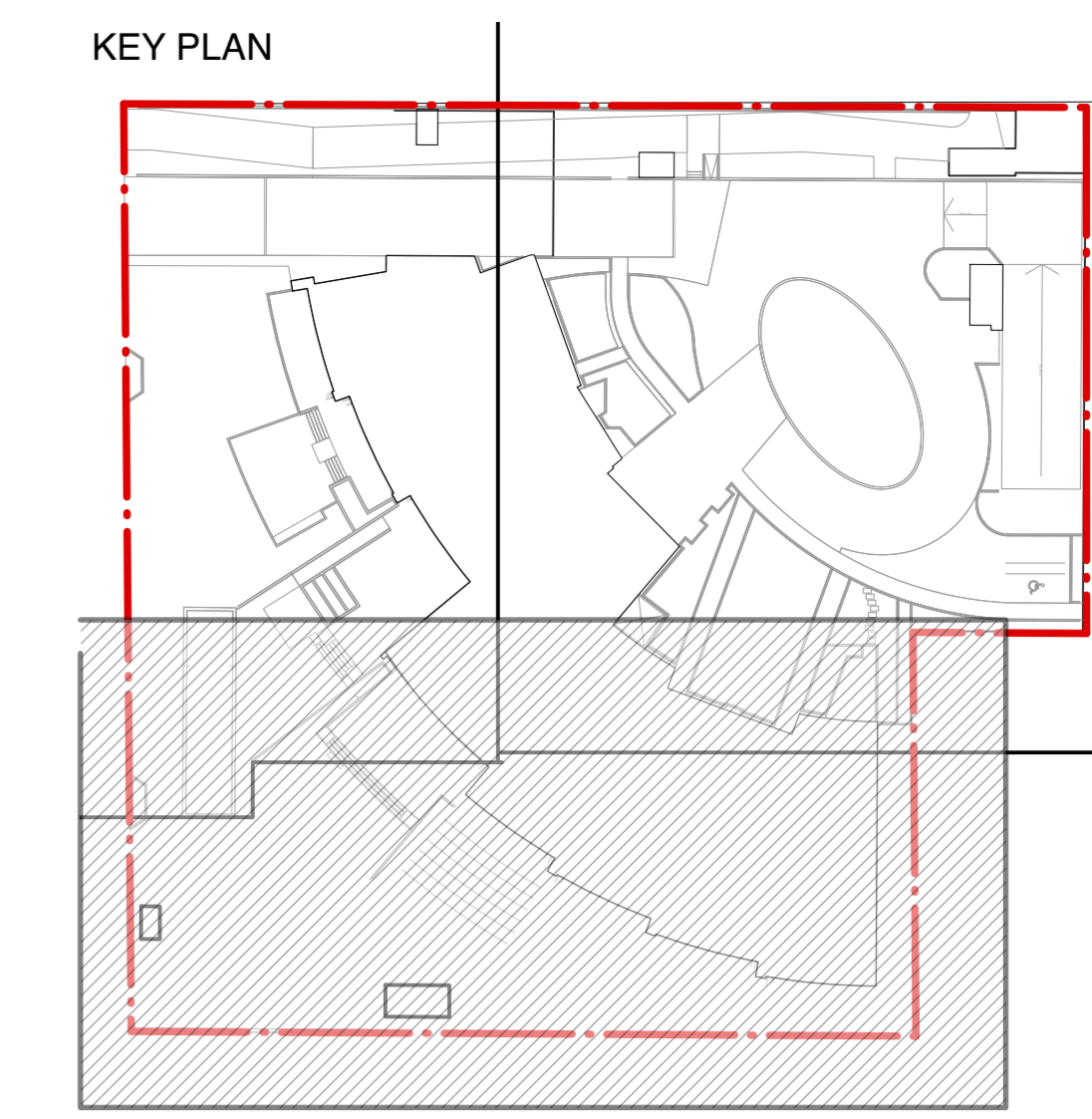
Legal
 Parcel "C" (Reference Plan 12042)
 Lot 4 Except: Part Subdivided By
 Plan S2320, Section 10 Township 1

| | |
|-----------------------|----------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/NT | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L7.2 |
| Date 2015-09-14 | of 36 |

LEGEND:
 Note:
 For Plant species, refer to plant list schedule on L0.1

Trees
 Tree ID
 00-Xxx Planting callouts for shrubs and ground covers including number of plants per area and plant ID





| Revision No. | Date | Revision Notes |
|--------------|------|----------------|
| | | |

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|-----------|------------|------------------------------------|
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Project
OXFORD STREET RESIDENTIAL
 1500 OXFORD STREET
 White Rock, BC

Drawing Title
Planting Plan

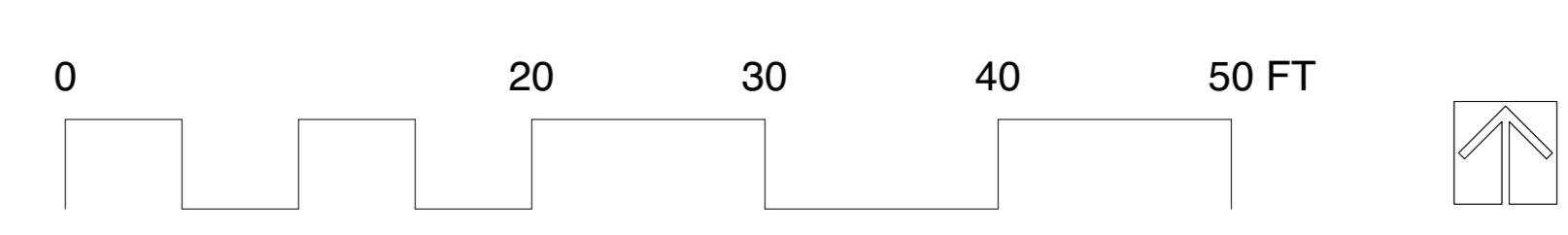
Legal
 Parcel "C" (Reference Plan 12042)
 Lot 4 Except Part Subdivided By
 Plan 52320, Section 10 Township 1

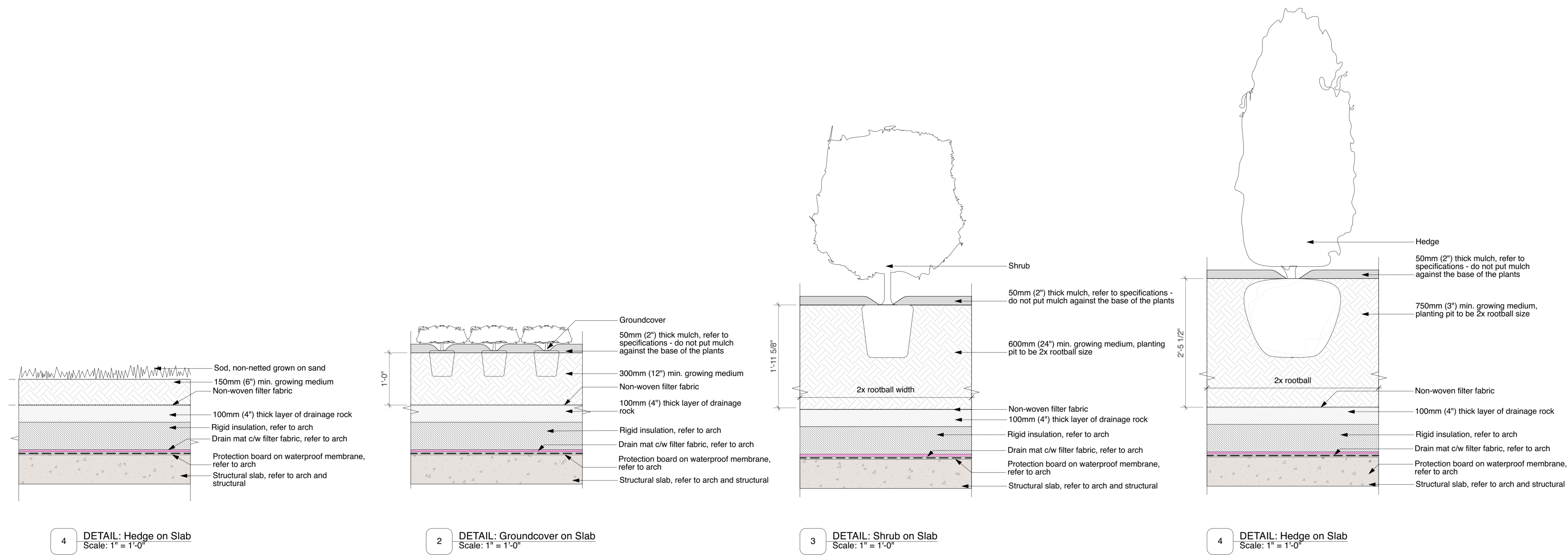
| | |
|-----------------|--------------------|
| Project Manager | Project ID |
| GE | 21752 |
| Drawn By | Scale |
| GE/NT | AS SHOWN |
| Reviewed By | Drawing No. |
| GE | PH 2 - L7.1 |
| Date | |
| 2015-09-14 | |

Plot Date:
 21-6-15
 21752 Oxford St Residential_BP10x



1 Scale: 1/8" = 1'-0"

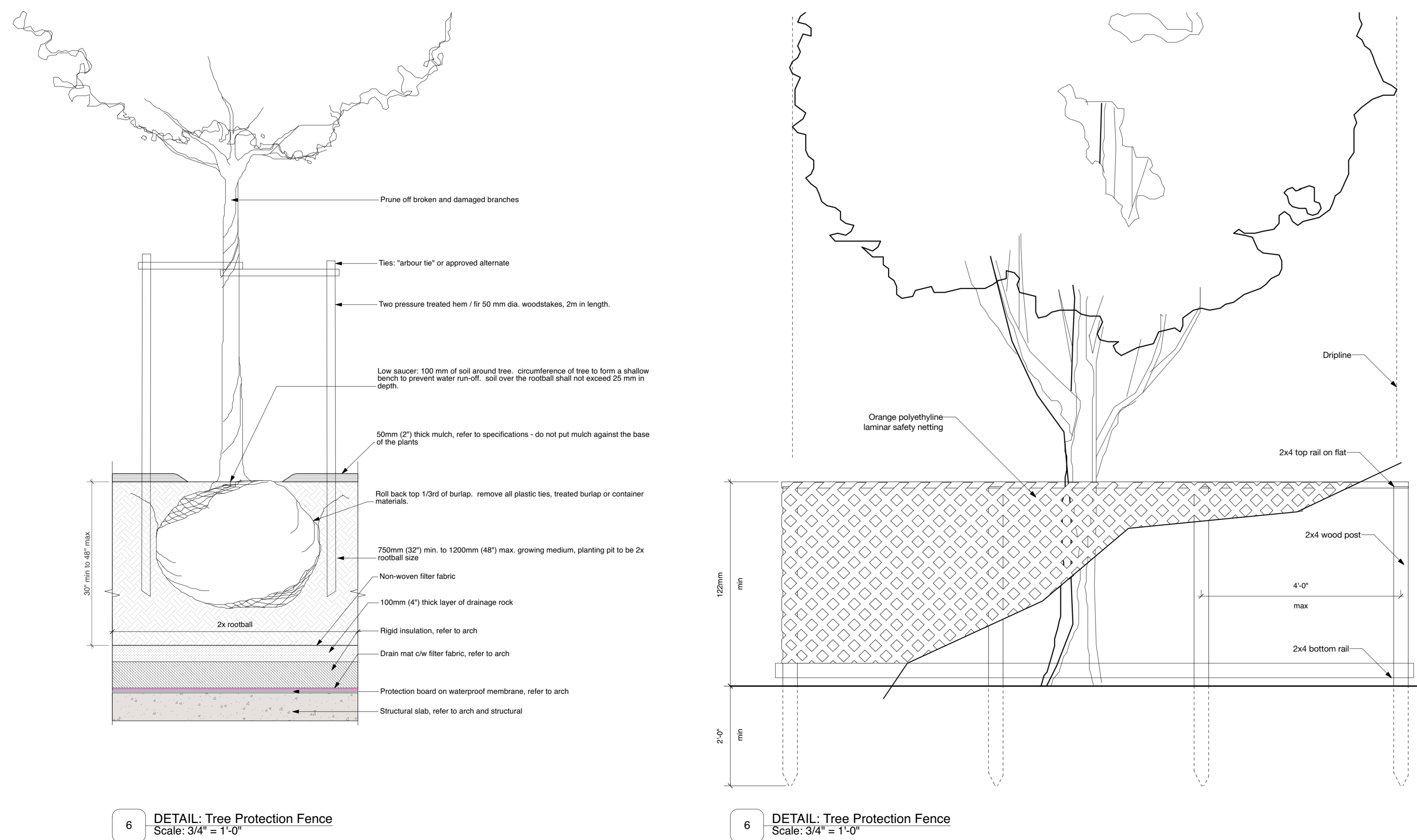




ISSUE

| No. | Date | Issue Notes |
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| O | 2021-05-07 | Issued for Pricing |
| S | 2021-06-09 | Re-issued for DP |

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Project

**OXFORD STREET
 RESIDENTIAL**

1500 OXFORD STREET
 White Rock, BC

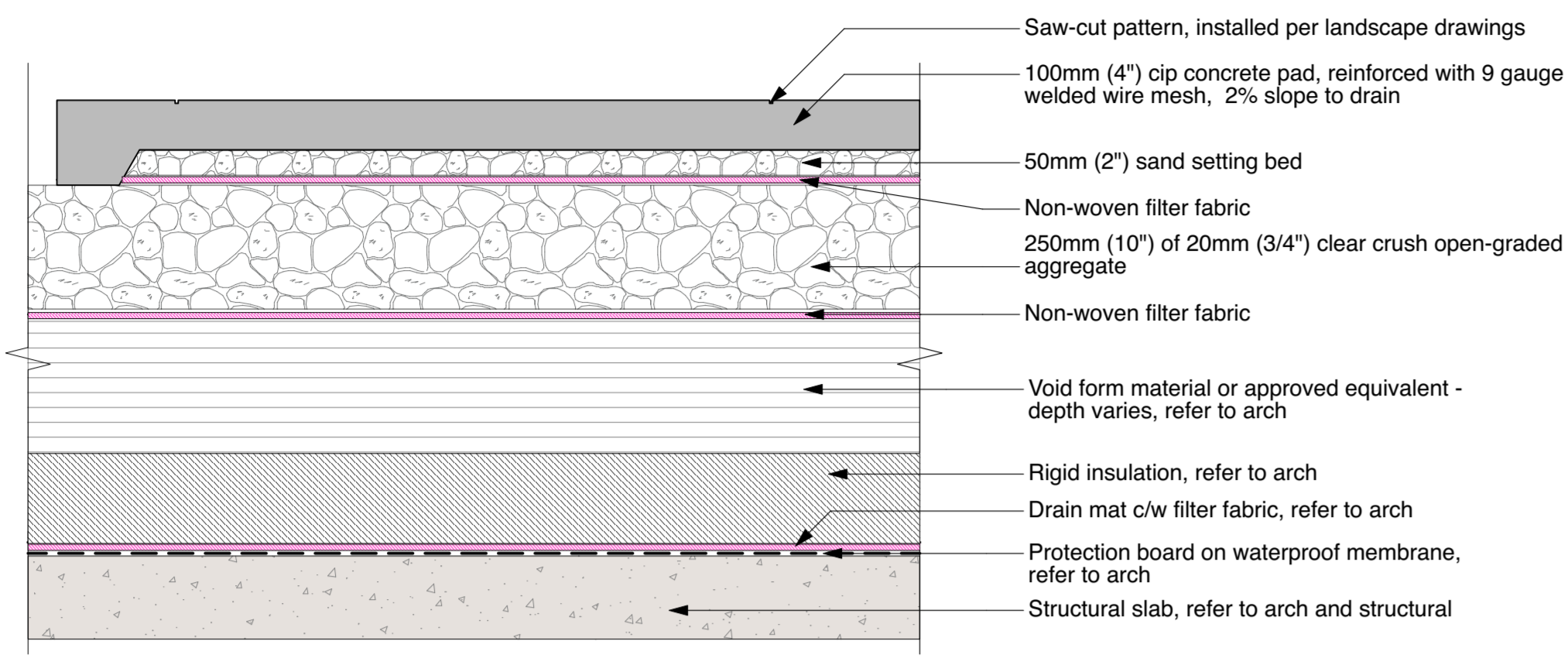
Drawing Title

Landscape Details - Soft

Legal
 Parcel "C" (Reference Plan 12042)
 Lot 4 Except, Part Subdivided By
 Plan 52320, Section 10 Township 1

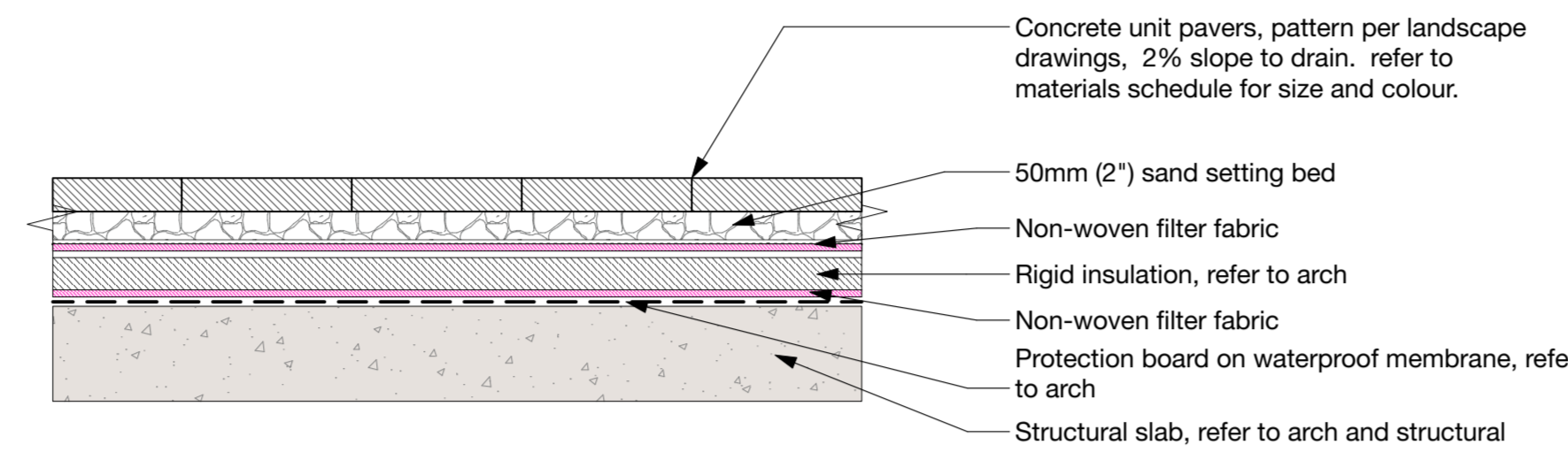
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|-----------------------|-----------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/KB | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L11.0 |
| Date 2015-09-14 | 36 |

| Issue No. | Date | Issue Notes |
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| S | 2021-06-09 | Re-issued for DP |

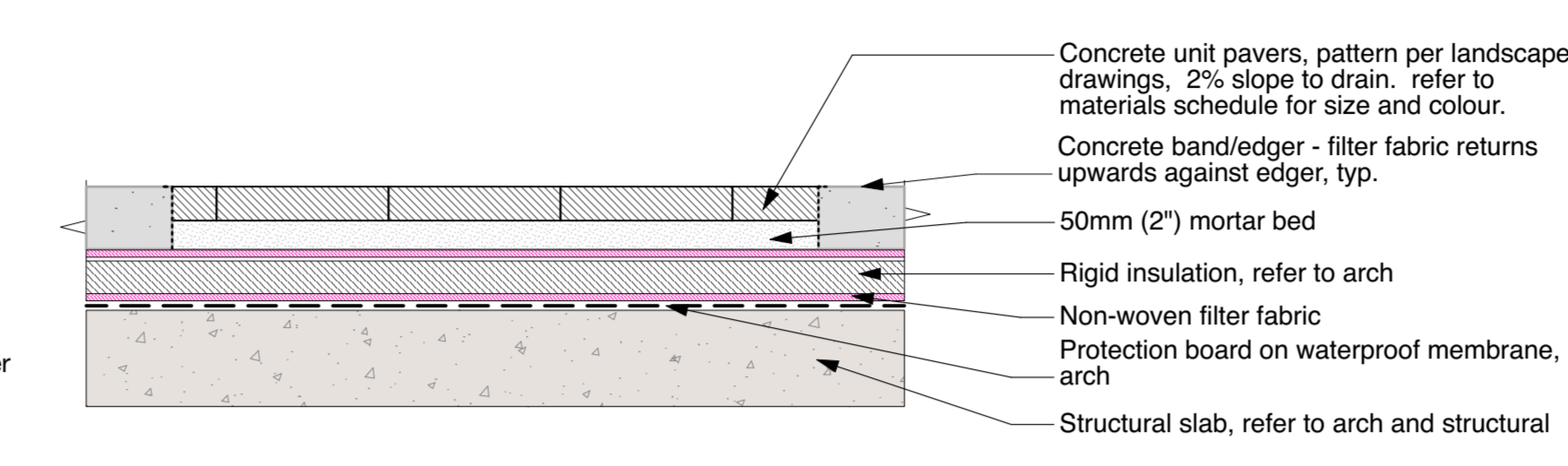


NOTE:
 - Saw-cuts to be installed per layout plan
 - Saw-cut control joints to be 1/4" slab depth
 - To be completed within 24hrs of pouring the slab

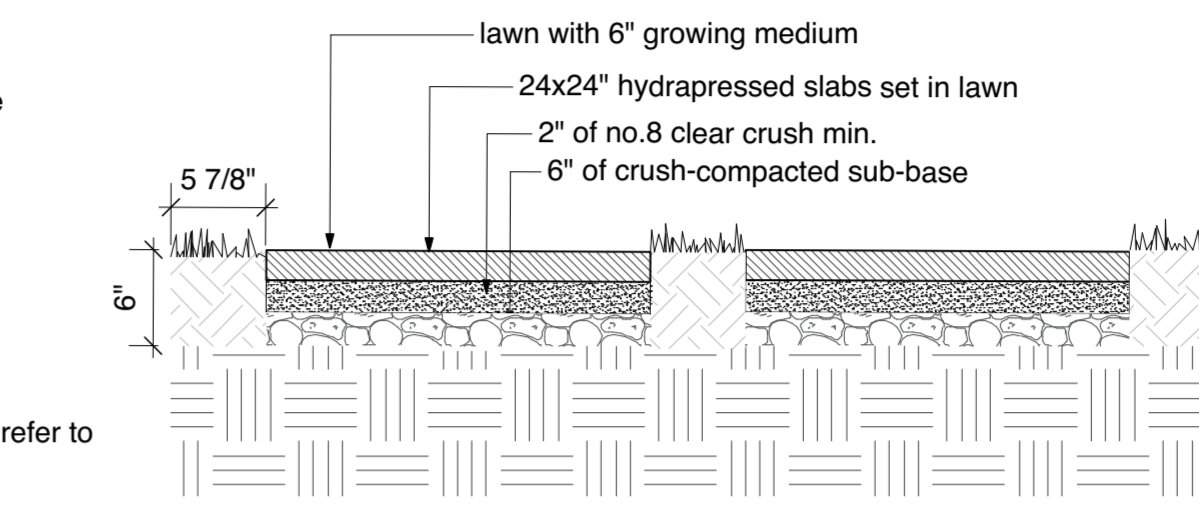
4 DETAIL: Texada Stepping Stones
 Scale: 1" = 1'-0" **P6**



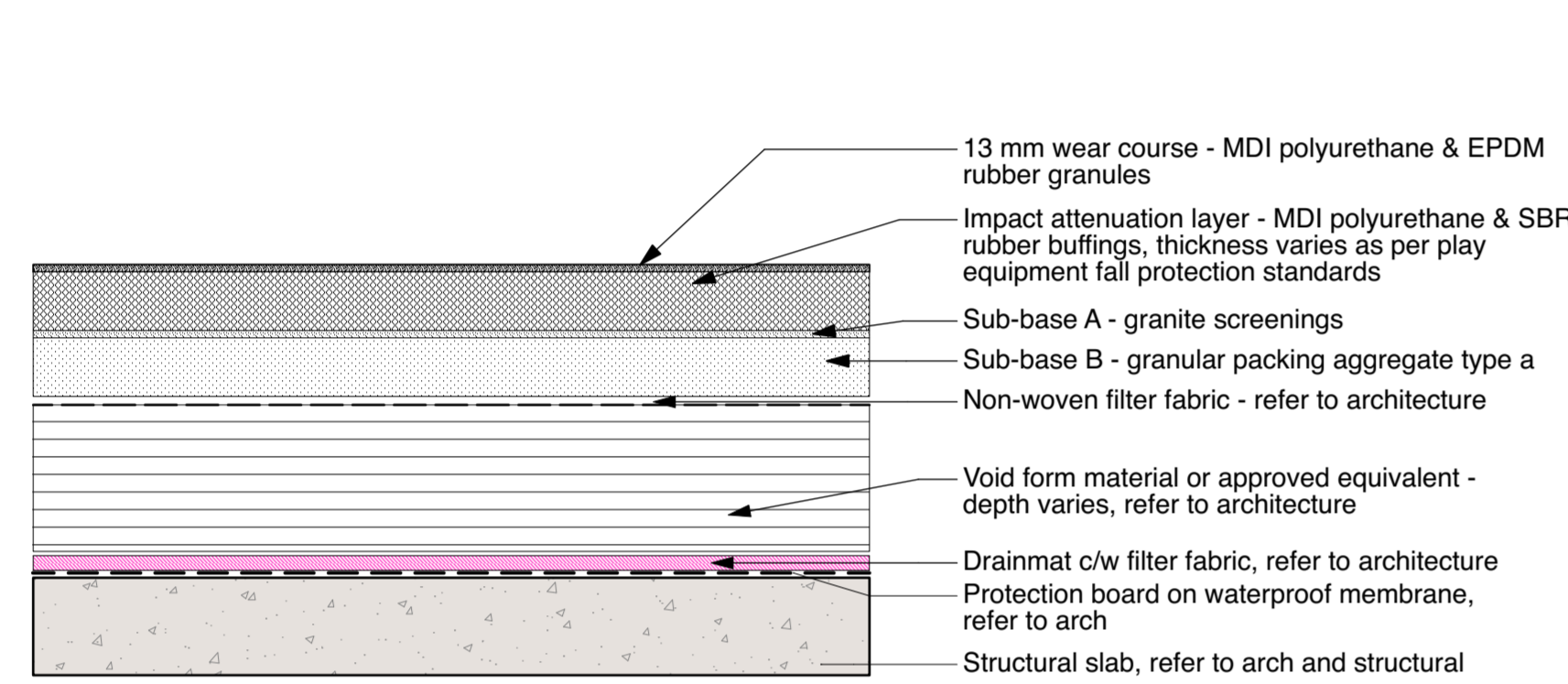
2 DETAIL: Pedestrian Concrete Unit Pavers on Insulation on Slab
 Scale: 1" = 1'-0" **P1 P2 P3 P5**



3 DETAIL: Vehicular Concrete Pavers on Insulation on Slab
 Scale: 1" = 1'-0" **P4**

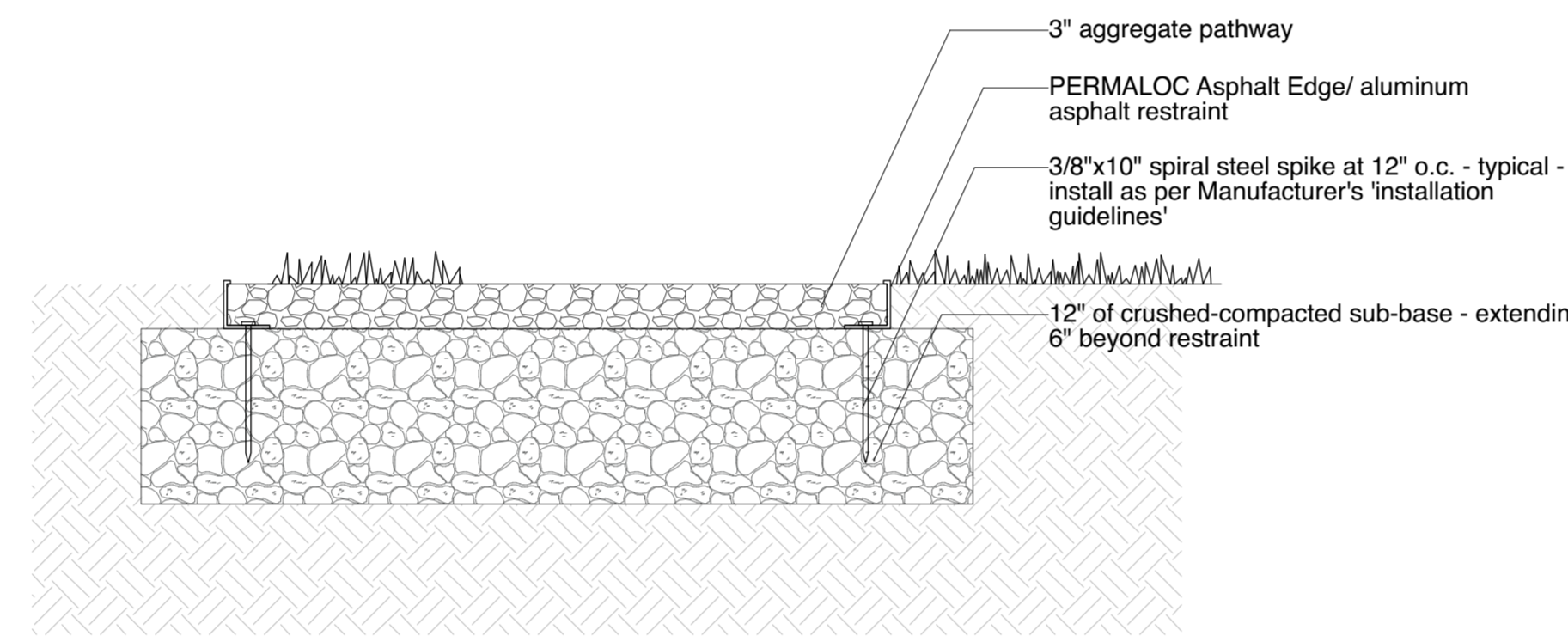


4 DETAIL: Texada Stepping Stones
 Scale: 1" = 1'-0" **P7**

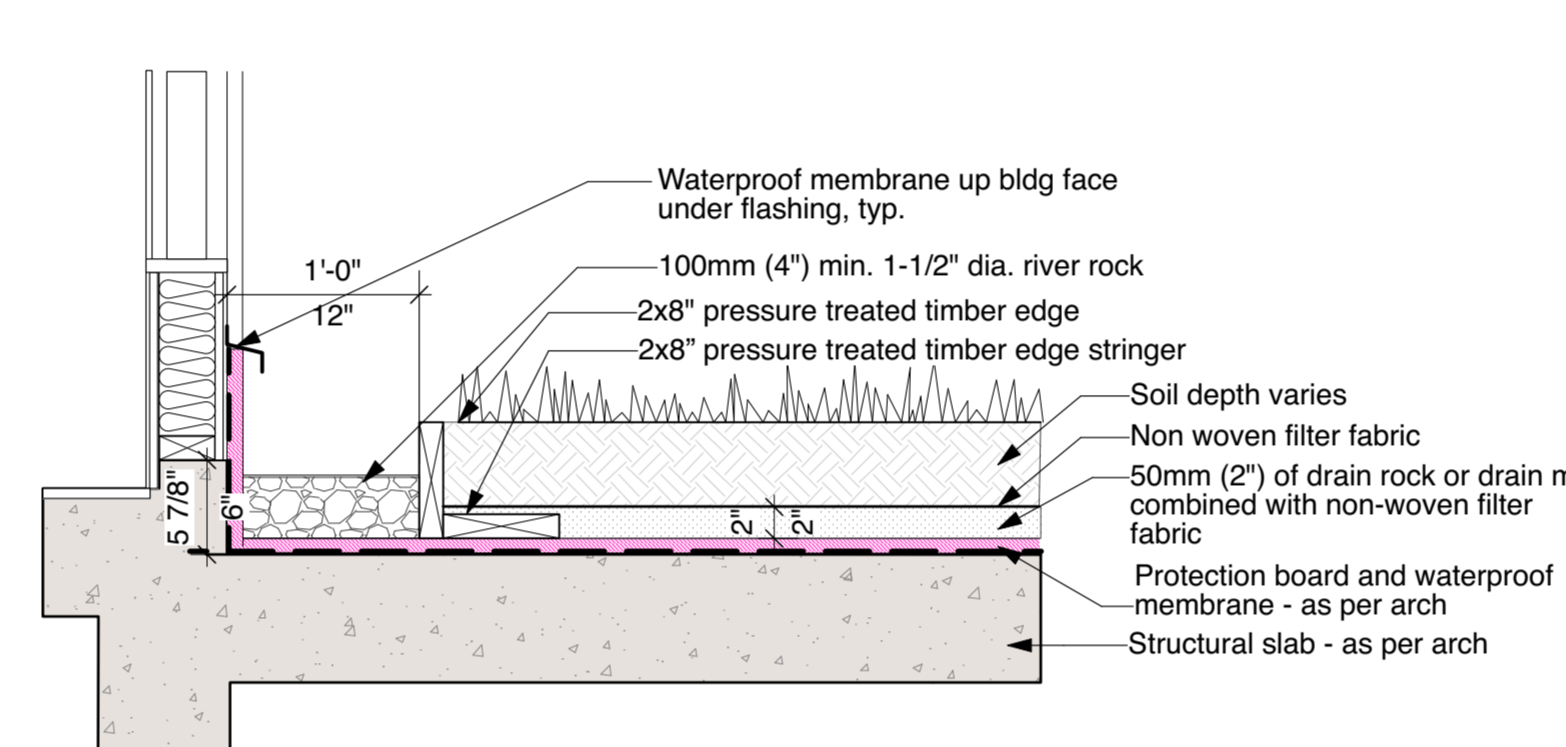


NOTE:
 Install as per manufacturer's specifications.
 Depth of material dependent on fall heights of play equipment.

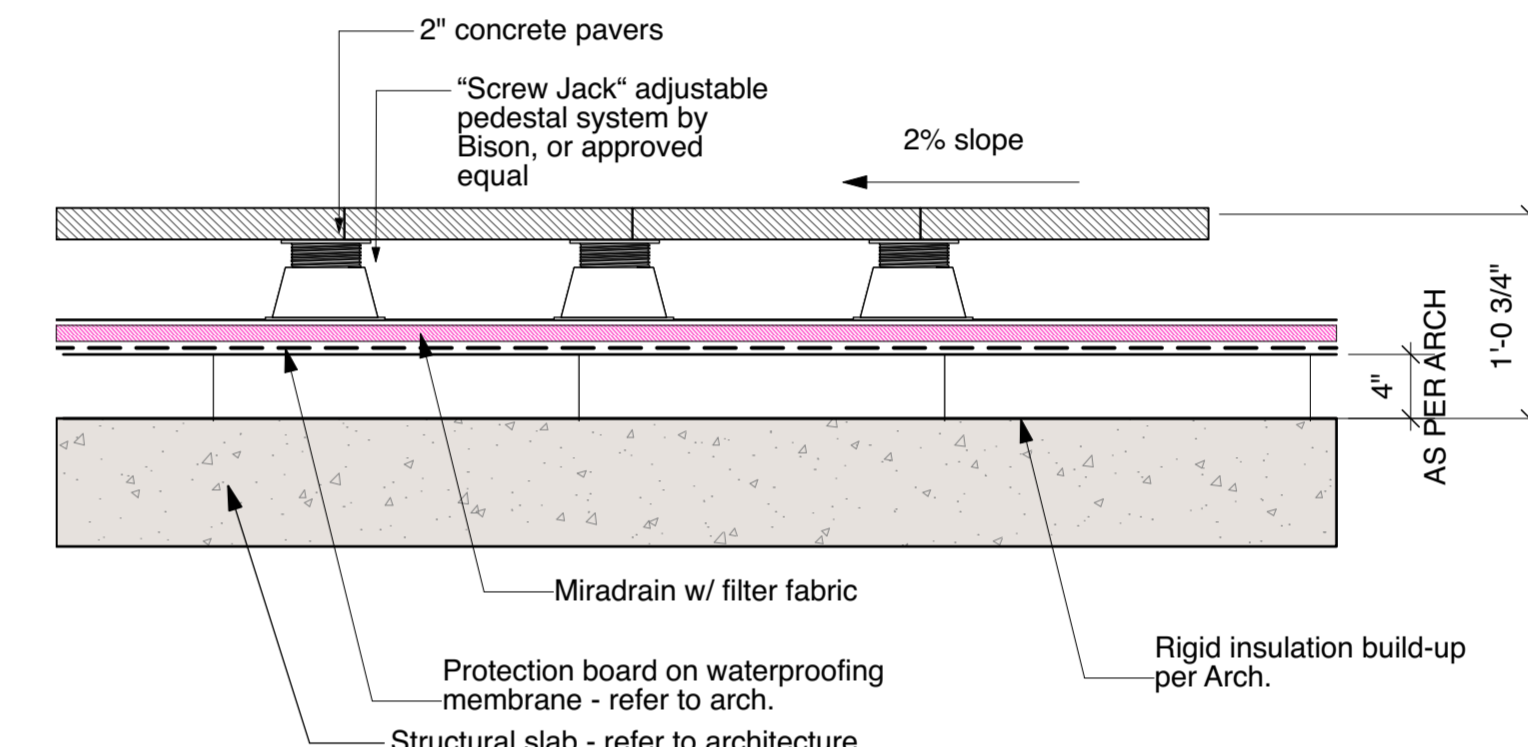
7 DETAIL: Drip Strip on Slab
 Scale: 1" = 1'-0" **H4 H5 H6**



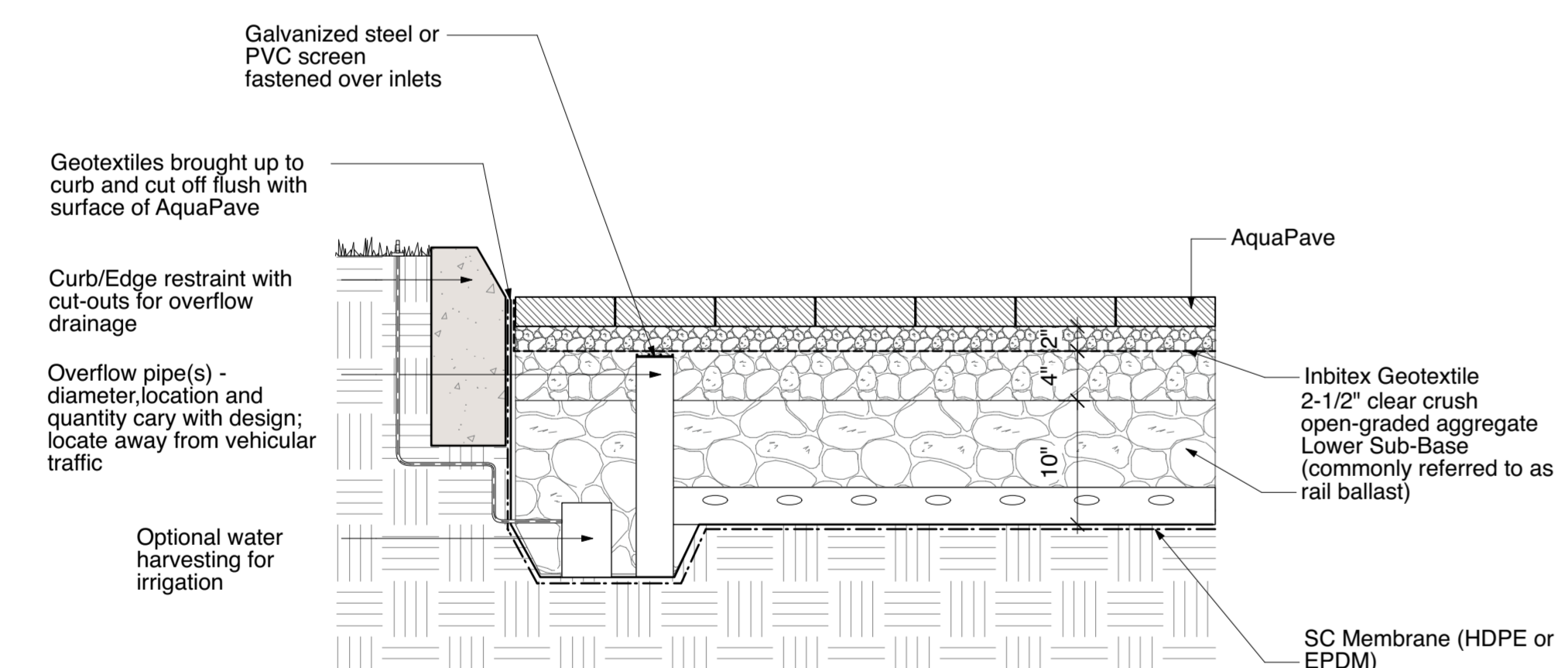
6 DETAIL: Decomposed Granite Path on Grade
 Scale: 1" = 1'-0" **H7**



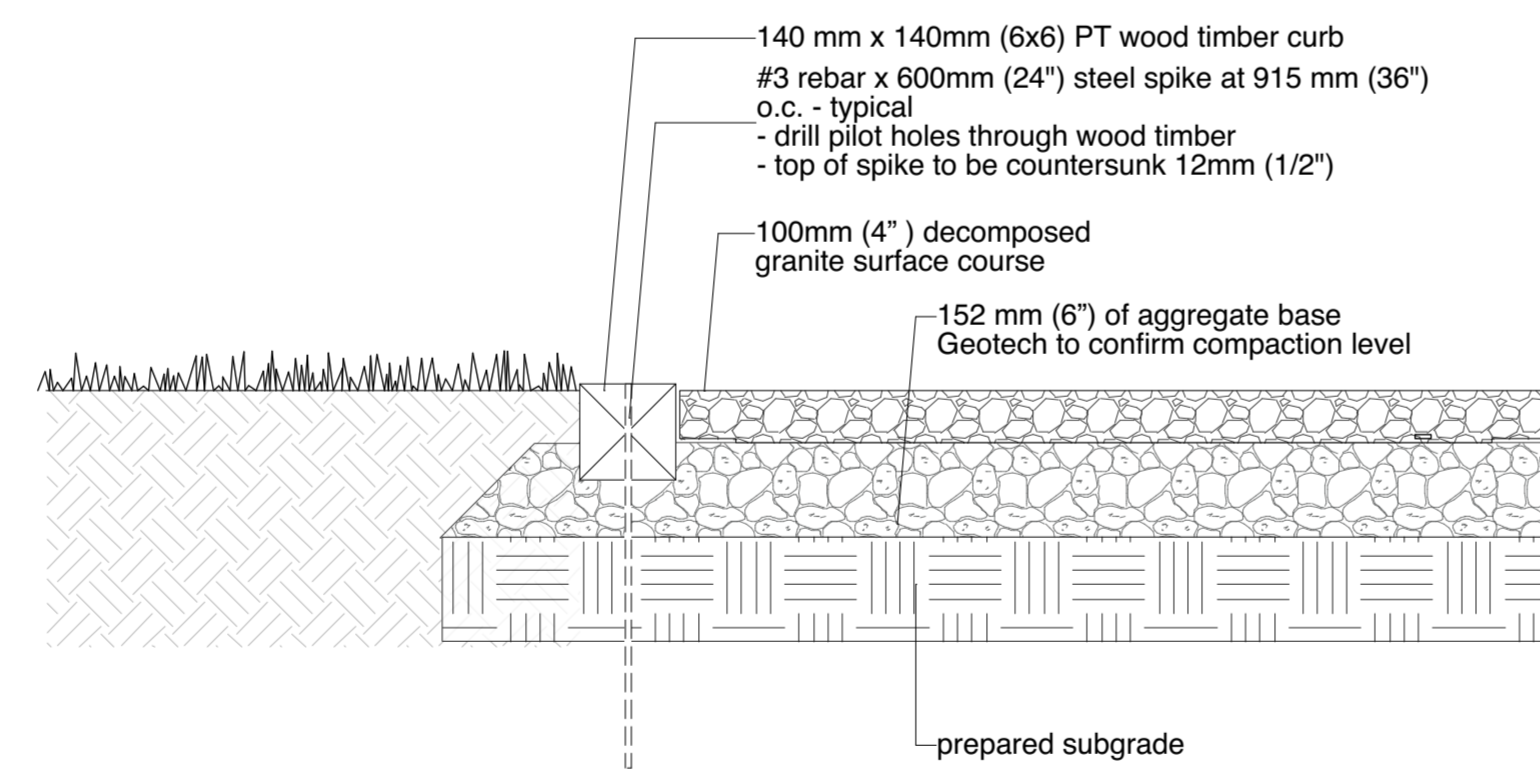
7 DETAIL: Drip Strip on Slab
 Scale: 1" = 1'-0" **H7**



8 DETAIL: Concrete Pavers on Pedestal
 Scale: 1" = 1'-0" **P8**



10 DETAIL: Timber Edger on Bocce Court
 Scale: 1" = 1'-0" **H8**



10 DETAIL: Timber Edger on Bocce Court
 Scale: 1" = 1'-0" **H8**

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Project

**OXFORD STREET
 RESIDENTIAL**

1500 OXFORD STREET
 White Rock, BC

Drawing Title

Landscape Details - Hard

Legal
 Parcel "C" (Reference Plan 12042)
 Lot 4 Except: Part Subdivided By
 Plan 52320, Section 10 Township 1

| | |
|-----------------------|-----------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/KB | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L12.1 |
| Date 2015-09-14 | 36 |

Plot Date:
 21-6-9
 21752 Oxford St Residential_BP1vxx

Issue

| No. | Date | Issue Notes |
|-----|------------|------------------------------------|
| D | 2015-10-27 | Re-issued for ADP |
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| I | 3/15/14 | Issued for rezoning |
| J | 7/21/15 | Issued for Advisory Design Panel |
| K | 2016-06-11 | Issue for DP |
| L | 2020-03-02 | Re-issue for DP |
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Project

**OXFORD STREET
 RESIDENTIAL**

1500 OXFORD STREET
 White Rock, BC

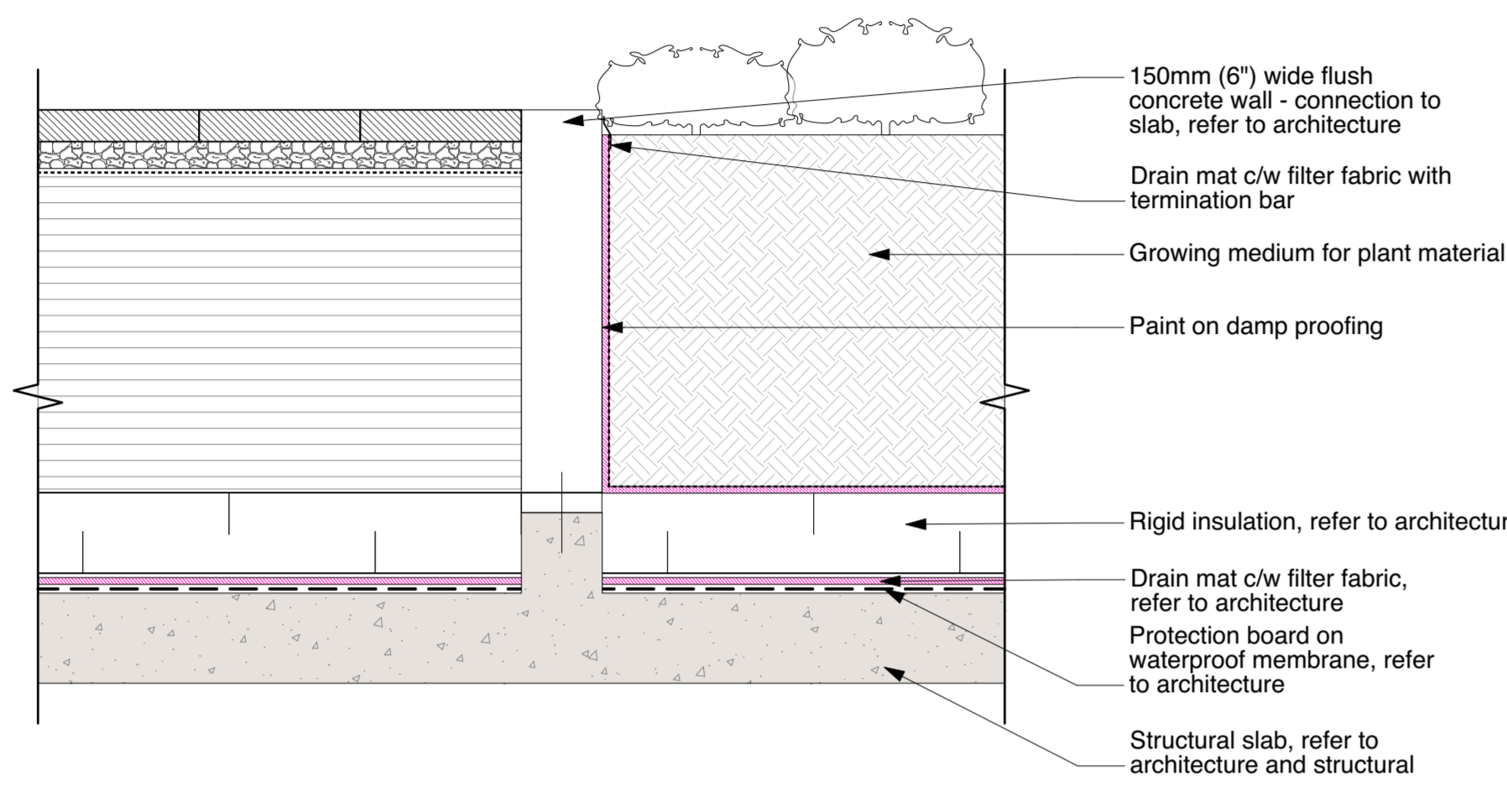
Drawing Title

Landscape Details - Hard

Legal
 Parcel "C" (Reference Plan 12042)
 Lot 4 Except, Part Subdivided By
 Plan 52320, Section 10 Township 1

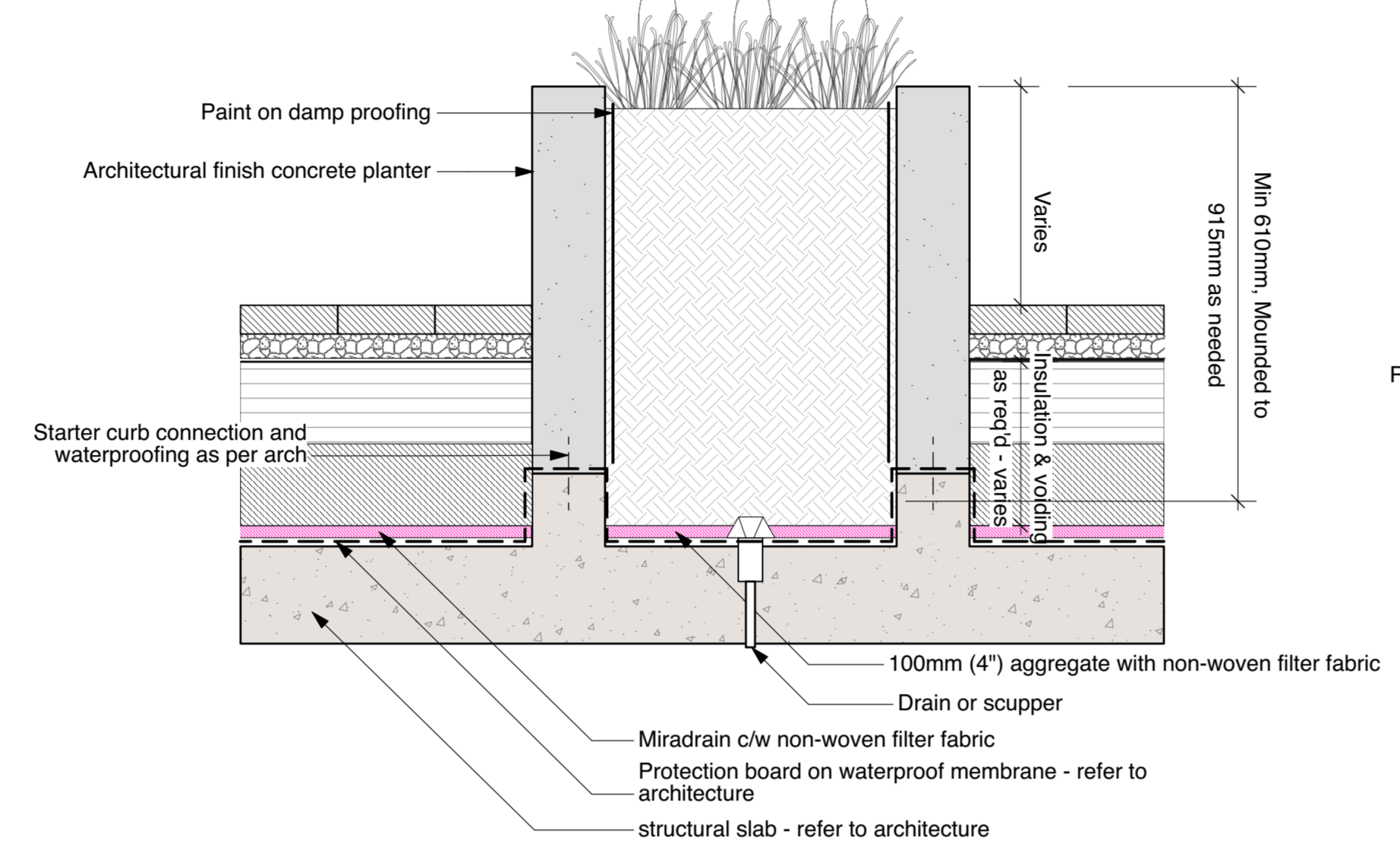
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| Project Manager GE | Project ID 21752 |
| Drawn By GE/KB | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L12.2 |
| Date 2015-09-14 | 36 |

Plot Date:
 21-6-9
 21752 Oxford St Residential_BP-vws



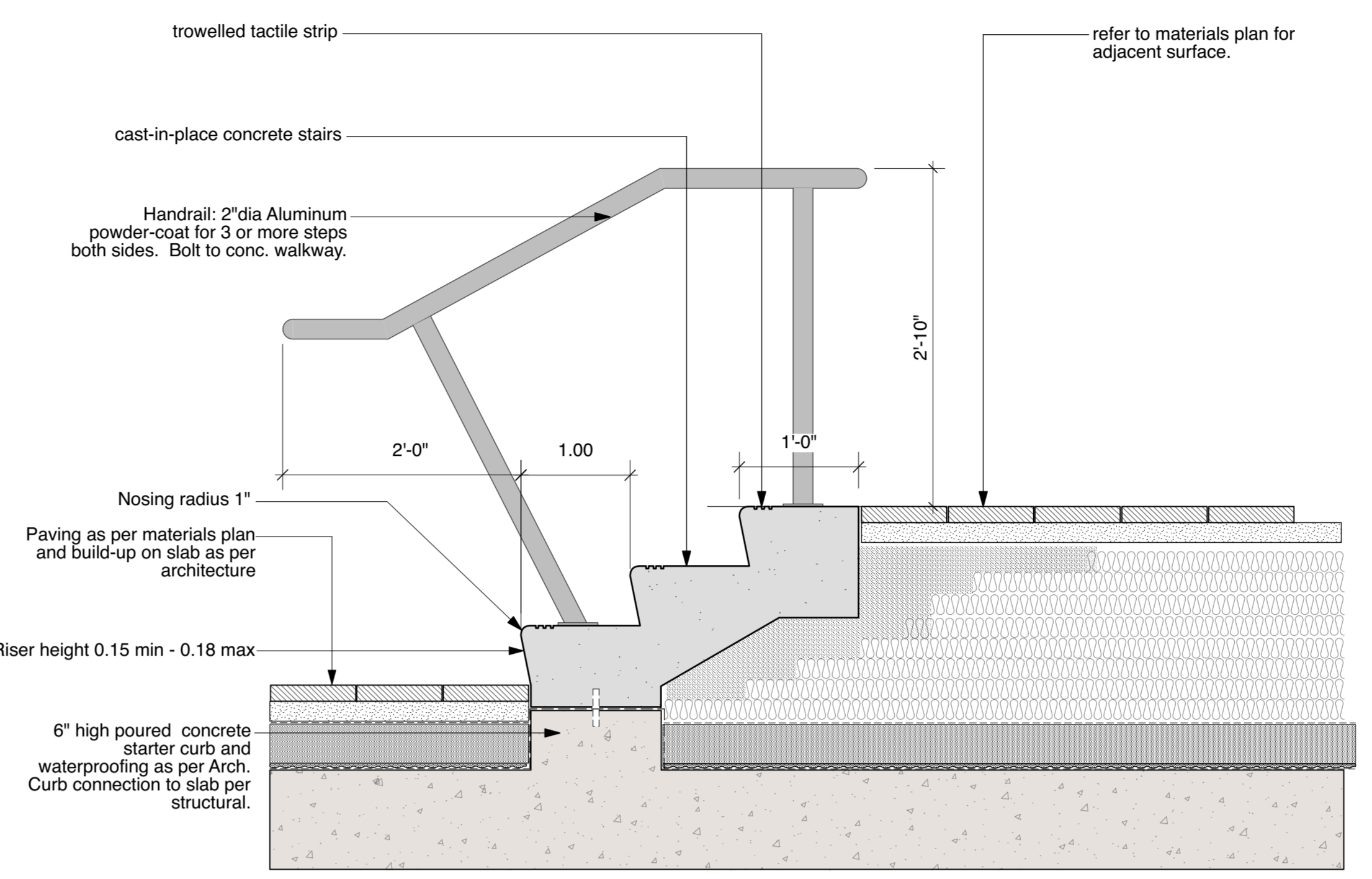
3 DETAIL: Concrete Unit Pavers with Flush Curb Planter
 Scale: 1" = 1'-0"

H3



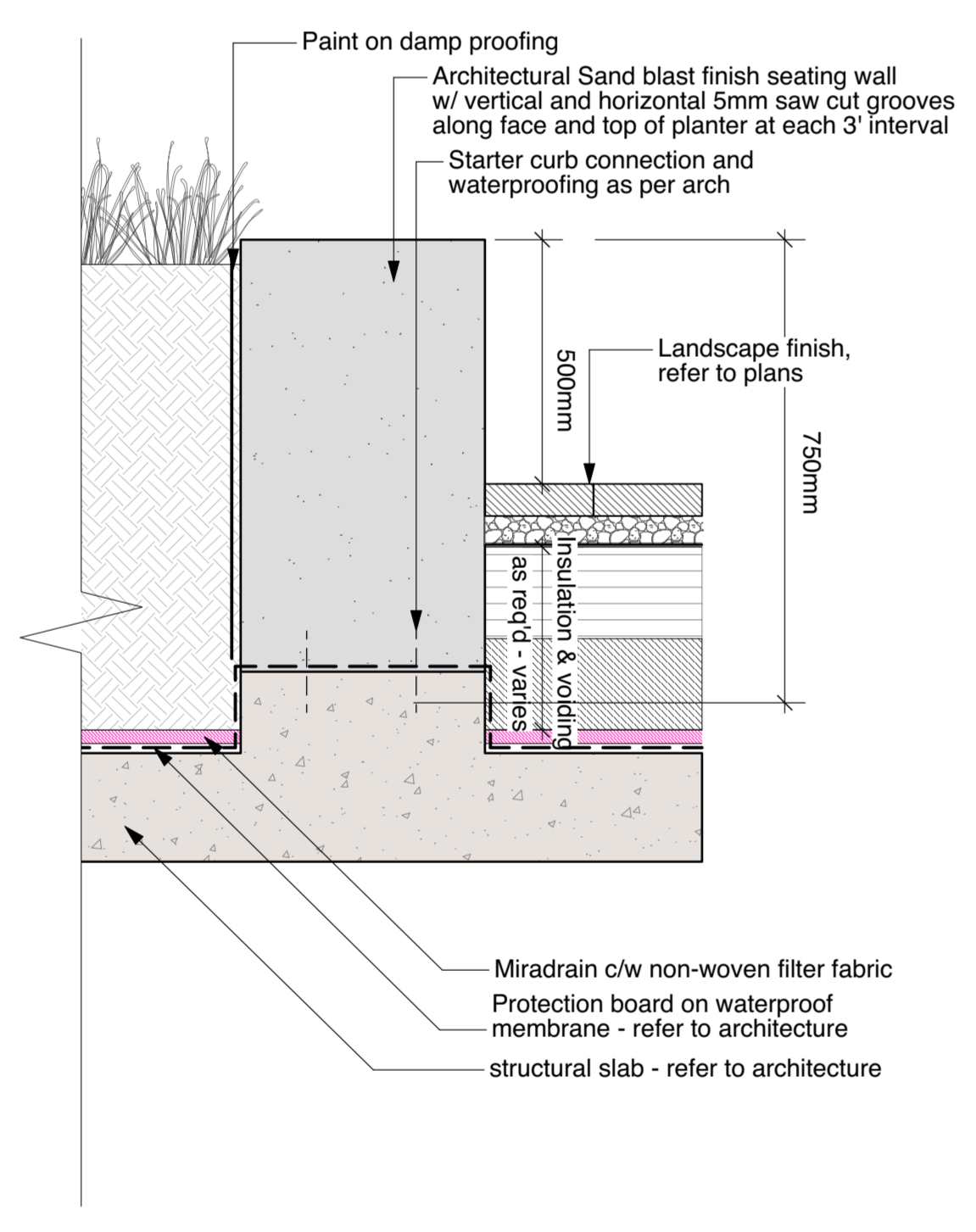
2 DETAIL: CIP Concrete Steps
 Scale: 1" = 1'-0"

H1



3 DETAIL: Concrete Unit Pavers with Flush Curb Planter
 Scale: 1" = 1'-0"

H2



4 DETAIL: CIP Concrete seating wall
 Scale: 1" = 1'-0"

Note:

For all Landscape site furniture, refer to manufacturer / supplier's recommendations for installation process and item details, cut sheets and specifications.

Coordinate with Structure and Architecture Engineers for fixation & construction details

| Revision No. | Date | Revision Notes |
|--------------|------|----------------|
|--------------|------|----------------|

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|-----------|------------|------------------------------------|
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Project

OXFORD STREET RESIDENTIAL

1500 OXFORD STREET
White Rock, BC

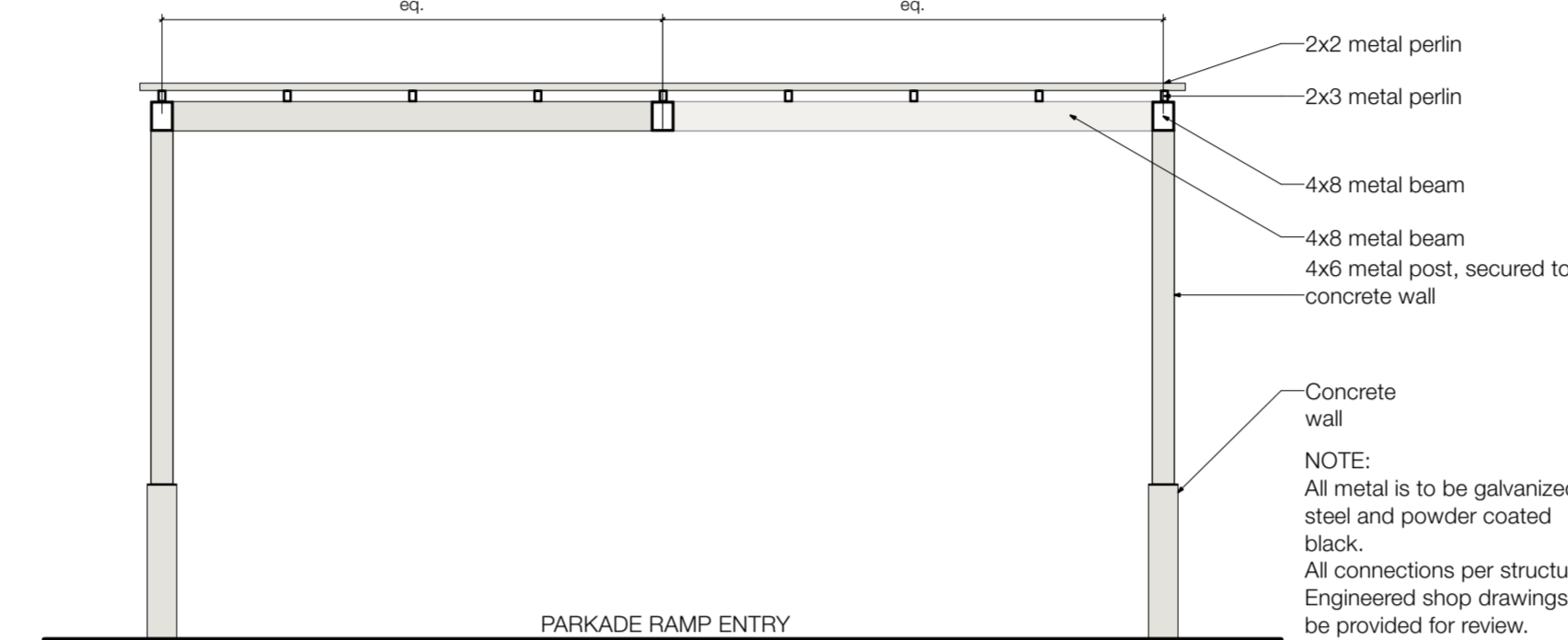
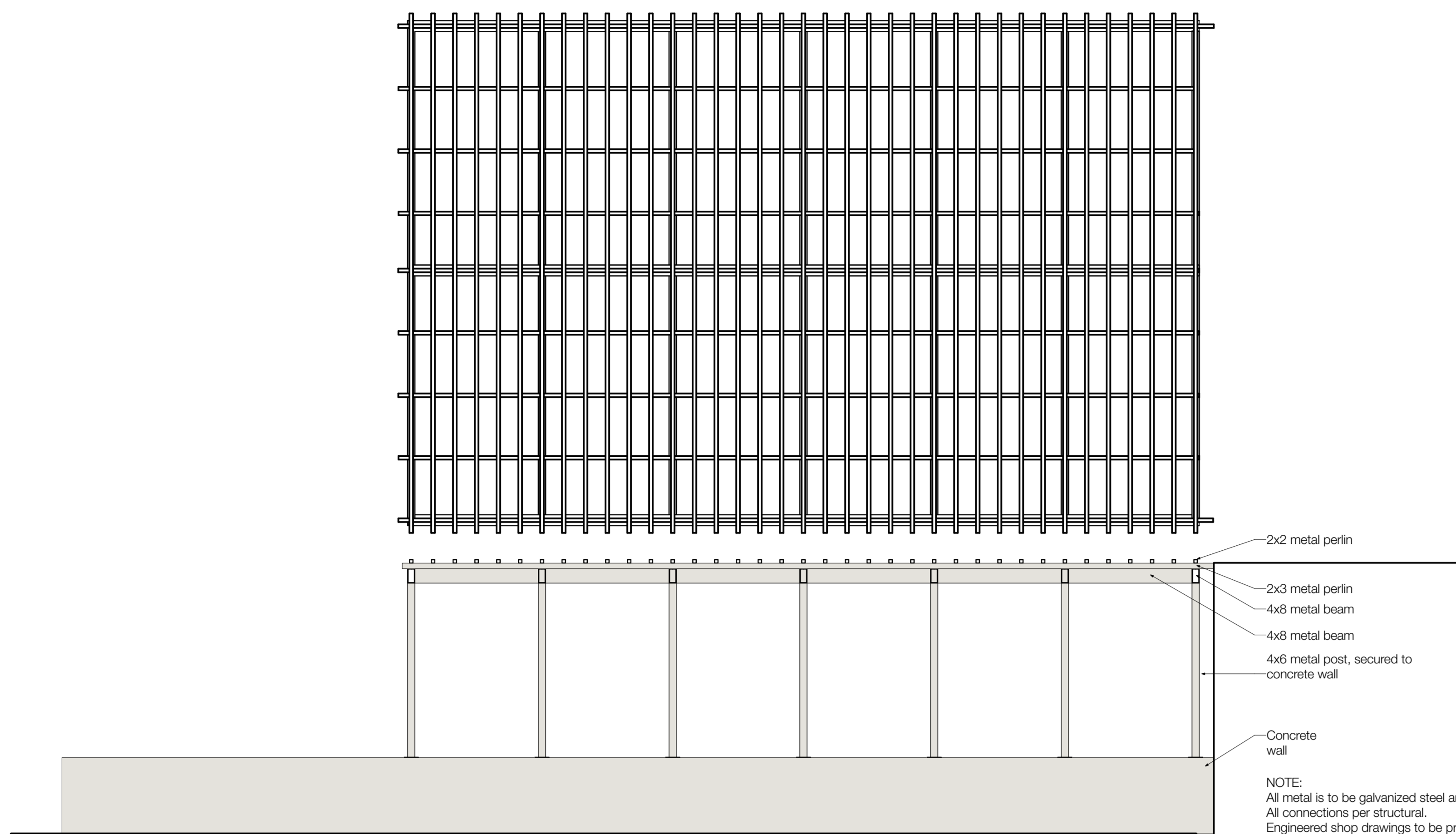
Drawing Title

Landscape Details - Site Furnishings

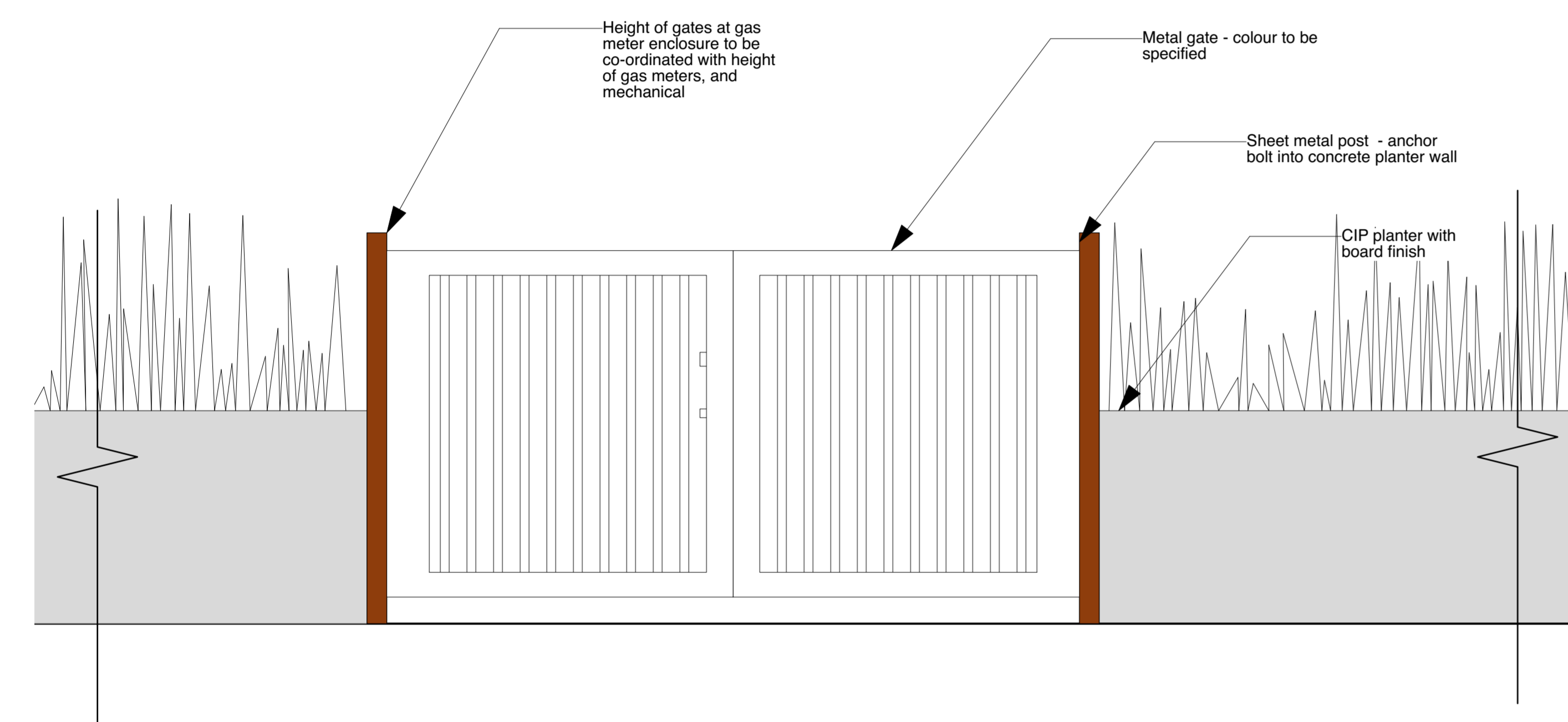
Legal
Parcel "C" (Reference Plan 12042)
Lot 4 Except: Part Subdivided by
Plan S2320, Section 10 Township 1

| | |
|-----------------------|-----------------------------|
| Project Manager GE | Project ID 21752 |
| Drawn By GE/NT | Scale AS SHOWN |
| Reviewed By GE | Drawing No. L13.2 |
| Date 2015-09-14 | of 36 |

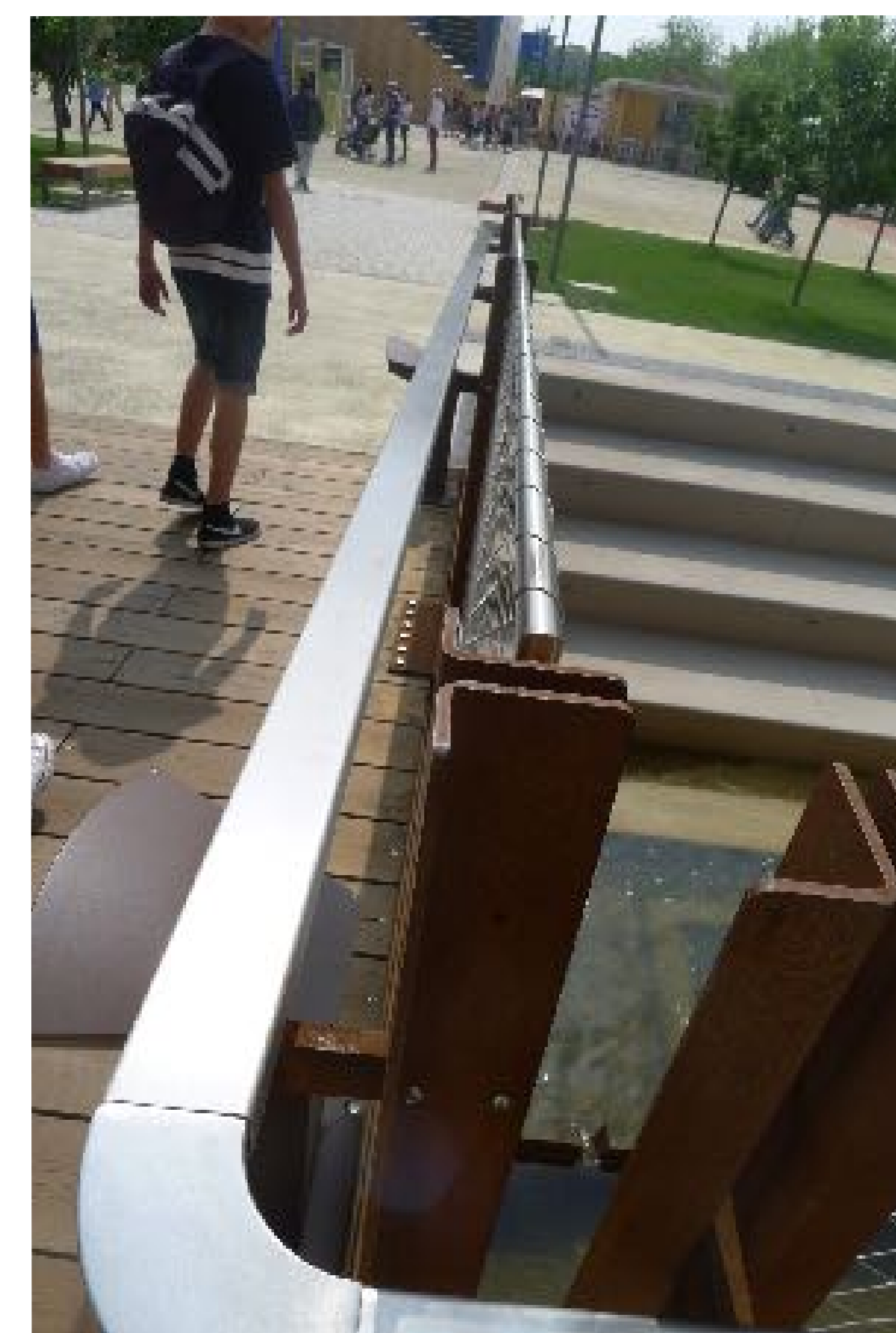
Plot Date:
21-9-9
21752 Oxford St Residential_BP.rvt



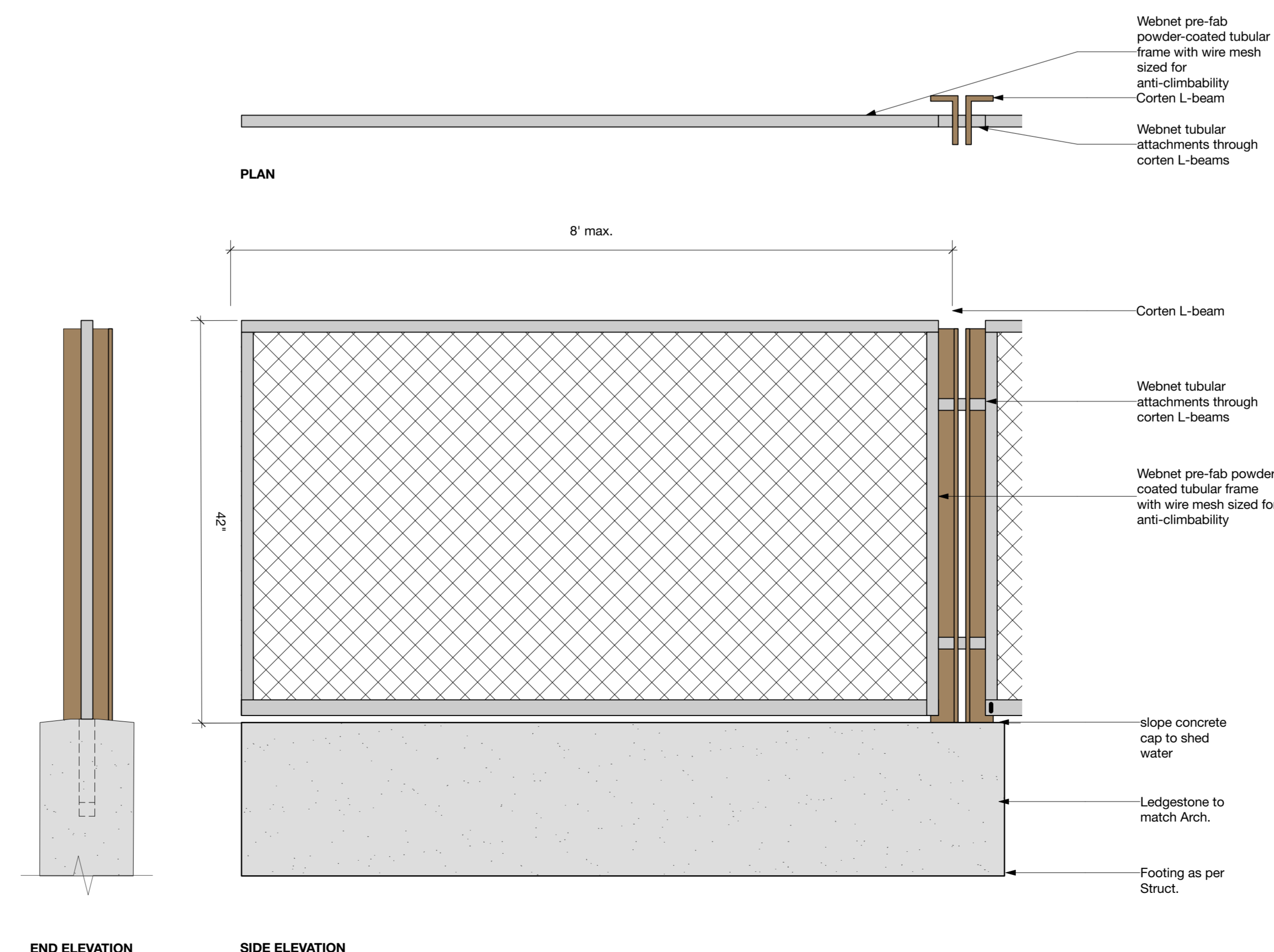
1 DETAIL: Metal Arbour over Parkade Entrance - Custom
Scale: 1/4" = 1'-0"



2 DETAIL: Gas Meter Enclosure Fence
Scale: 1" = 1'-0"



3 PERSPECTIVE: Corten Steel Web Mesh Fence - Custom
NTS



3.1 DETAIL: Corten Steel Web Mesh Fence - Custom
Scale: 1" = 1'-0"

MAGLIN Site Furniture

PRODUCTS | COLLECTIONS | COMPANY INFO | PORTFOLIO | QUICK QUOTE | RESOURCES

KNT2000-MO KONTUR TABLE

KNT2000-MO-FS Table, Free Standing

KONTUR TABLE SERIES | LOGIN/CHART

The Kontur Collection - inspired by Scandinavian design, is simple yet refined, durable and strong. The frame is welded steel. The chair and stool utilize a formed steel seat for added comfort. The table features a rolled edge, umbrella hole and 3 leg design. The closed form shapes resemble a combined profile.

MATERIALS
The Kontur Table top is laser cut with a spun metal edge. The legs are constructed from 5/8" diameter solid steel.

DIMENSIONS & WEIGHT

| | |
|--|---|
| KNT2000-MO-FS Free Standing Height: 30" (76.2cm) Diameter: 30" (76.2cm) Weight: 55lbs (25kg) | KNT2000-MO-SH Shed Mount Height: 28 1/2" (72.6cm) Diameter: 30" (76.2cm) Weight: 55lbs (25kg) |
|--|---|

FINISHES
All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION
The table is delivered pre-assembled. Free Standing - Each leg has a glide to protect paint surface; Surface Mount - Holes are provided in each foot plate for anchoring.

ORDER
Contact your Maglin representative for specifications and pricing.

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4 SPEC SHEET: Bistro Table + chairs arrangement
NTS

MAGLIN Site Furniture

PRODUCTS | COLLECTIONS | COMPANY INFO | PORTFOLIO | QUICK QUOTE | RESOURCES

KNCH2000-MO KONTUR CHAIR

KONTUR CHAIR SERIES | LOGIN/CHART

The Kontur Chair frame is constructed of solid steel and employs a formed steel seat.

MATERIALS
The Kontur Chair frame is constructed of solid steel and employs a formed steel seat.

DIMENSIONS & WEIGHT
Total Height: 30" (76.2cm)
Seat Height: 18" (45.7cm)
Width: 18 1/2" (46.7cm)
Weight: 24.8lbs (11.2kg)

FINISHES
All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION
The chair is delivered pre-assembled and can be stacked and stored if desired.

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GHOST

Lighting fixture suitable for use in recessed lighting applications. The fixture is designed to be used in a variety of applications including recessed lighting, track lighting, and wall lighting. The fixture is designed to be used in a variety of applications including recessed lighting, track lighting, and wall lighting.

Technical Specifications:

- Power Input: 48V to 120V
- Lighting Output: 10W (100lm, 3000K)
- Lighting Output: 15W (150lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

GHOST

Technical Specifications:

- Power Input: 24V (100lm, 3000K)
- Lighting Output: 15W (150lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

CONTINUOUS LINE

Recessed with thin formwork for recessed applications. The system allows for a wide range of lighting patterns and is suitable for use in a variety of applications including recessed lighting, track lighting, and wall lighting.

Technical Specifications:

- Power Input: 24V (100lm, 3000K)
- Lighting Output: 15W (150lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

2 SPEC SHEET: Strip Light - Sistemalux NTS

2 SPEC SHEET: Strip Light - Sistemalux NTS

MICROKUBE

Collection of fixtures for commercial and institutional applications. The MICROKUBE is an ideal lighting fixture for use in a variety of applications including recessed lighting, track lighting, and wall lighting.

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

MICROKUBE

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

MOVIT

Recessed with thin formwork for recessed applications. The MOVIT is an ideal lighting fixture for use in a variety of applications including recessed lighting, track lighting, and wall lighting.

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

4 DETAIL: Spot Light - Sistemalux NTS

4 DETAIL: Spot Light - Sistemalux NTS

Function

The LED007 ROBW Slab Hanger Compact LED Light fixture is a compact package, is designed for use in a variety of applications including recessed lighting, track lighting, and wall lighting.

Specifications

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

Wiring Diagram: LED007001

Notes:

- For full technical specifications and wiring details see Crystal Lighting LED007001.
- The power supply must be connected to a transformer or a battery supply, with an impedance matching that has a greater rated power than the fixture's rated power.
- The power supply must be connected to the fixture's power supply terminals.
- The power supply must be connected to the fixture's power supply terminals.
- The power supply must be connected to the fixture's power supply terminals.

Aura Illuminated Wooden Ring Pendant

The Aura Ring - Direct Lighting is a modern lighting fixture designed for use in a variety of applications including recessed lighting, track lighting, and wall lighting.

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

Aura Ring - Direct Lighting

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

1 SPEC SHEET: Catenary Light - Structura NTS

5 SPEC SHEET: InGround Light - Mp Lighting NTS

L06

The L06 is a modern lighting fixture designed for use in a variety of applications including recessed lighting, track lighting, and wall lighting.

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

Specification Sheet: In-ground Light

Technical Specifications:

- Power Input: 120V
- Lighting Output: 10W (100lm, 3000K)
- Beam Angle: 30°
- Dimensions: 100mm (L) x 50mm (W) x 25mm (H)
- Material: Die-cast aluminum
- Finish: White or Aluminum (see detail)
- Mounting: Recessed mounting with 1/2" hole
- Weight: 1.5 lbs (0.7 kg)
- Rating: IP65, IK08

Revision

No. Date Revision Notes

| Issue No. | Date | Issue Notes |
|-----------|------------|------------------------------------|
| D | 2015-10-27 | Re-issued for ADP |
| E | 2015-10-27 | Re-issue for OCP Amendment & CD RZ |
| F | 2015-11-17 | Re-issue for OCP Amendment & CD RZ |
| H | 2/20/14 | Issued for public information |
| I | 3/13/14 | Issued for rezoning |
| J | 7/21/15 | Issued for Advisory Design Panel |
| K | 2018-06-11 | Issue for DP |
| L | 2020-03-02 | Re-issue for DP |
| N | 2021-03-10 | Issued for BP |
| O | 2021-05-07 | Issued for Pricing |
| S | 2021-06-09 | Re-issued for DP |

Professional Seal



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Project

OXFORD STREET RESIDENTIAL

1500 OXFORD STREET
White Rock, BC

Drawing Title

Landscape Details - Site Furnishings

Legal Parcel "C" (Reference Plan 12042)
Lot 4 Except; Part Subdivided By Plan S2220, Section 10 Township 1

Project Manager GE 21752
Drawn By GE/NT
Reviewed By GE
Date 2015-09-14

Scale AS SHOWN
Drawing No. L14.0
of 36

Plot Date: 21-4-9
21752 Oxford St Residential_BP'vw

NOTES:

1. WATER TREATMENT SYSTEM, CATCH BASIN PROTECTION, ACCESS STABILIZATION, AND OTHER ESC MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF BULK EXCAVATION.
2. GEOPACIFIC SHALL BE CONTACTED BY THE CONTRACTOR TO INSPECT THE INSTALLATION OF THE ESC SYSTEM PRIOR TO THE COMMENCEMENT OF ANY STRIPPING, EXCAVATION OR OTHER CONSTRUCTION.
3. MONITORING OF THE ESC SYSTEM AND DISCHARGE WATER TO OCCUR AS PER MUNICIPAL MONITORING AND REPORTING REQUIREMENTS. MONITORING MUST BE PERFORMED BY A QUALIFIED PERSON AS DEFINED IN THE MUNICIPAL BYLAW(S).
4. NO WATER MAY BE DISCHARGED FROM THE SITE THAT BYPASSES THE SEDIMENT CONTROL SYSTEM.
5. ALL CONCRETE TRUCKS SHALL UTILIZE A SELF-CONTAINED WASH SYSTEM. ALL WATER TO BE COLLECTED IN SELF-CONTAINED WASH SYSTEM. NO WASH WATER TO ENTER STORM DRAINS.
6. ALL CONCRETE TRUCKS SHALL UTILIZE LEAK-PROOF CONTAINMENT BERMS TO ENSURE NO CONCRETE OR WASH WATER IS DEPOSITED ON ROADWAYS OR ENTERS THE STORM DRAINS. PLACEMENT OF PLYWOOD UNDER CONCRETE PUMPS AND BUCKETS IS NOT AN ADEQUATE METHOD OF SPILL PROTECTION.
7. NO EXCESS CONCRETE SHALL BE DUMPED ON SITE, EXCEPT IN DESIGNATED CONCRETE WASTE BINS. CONCRETE WASTE BINS MUST BE LINED WITH POLY SHEETING AND SECURED TO PREVENT CONCRETE LEAKAGE ONTO ROADWAYS.
8. ALL WASHOUT ACTIVITIES MUST BE PERFORMED OFF-SITE OR IN DESIGNATED AREAS ONLY. LOCATE DESIGNATED WASHOUT AREAS AS FAR AWAY FROM STORM DRAINS AS POSSIBLE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL SYSTEM.
10. ALL BEST MANAGEMENT PRACTICES ARE DESIGNED WITH REFERENCE TO THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON" VOLUME II.
11. BELOW IS THE GENERAL EXPECTED ONSITE SOIL STRATIGRAPHY. FOR DETAILED SOIL DESCRIPTIONS, REFER TO GEOPACIFIC'S GEOTECHNICAL REPORT DATED FEBRUARY 8, 2018.



ON-SITE SOIL STRATIGRAPHY

N.T.S.

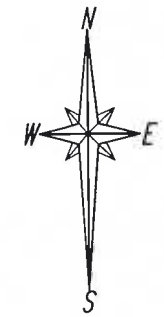
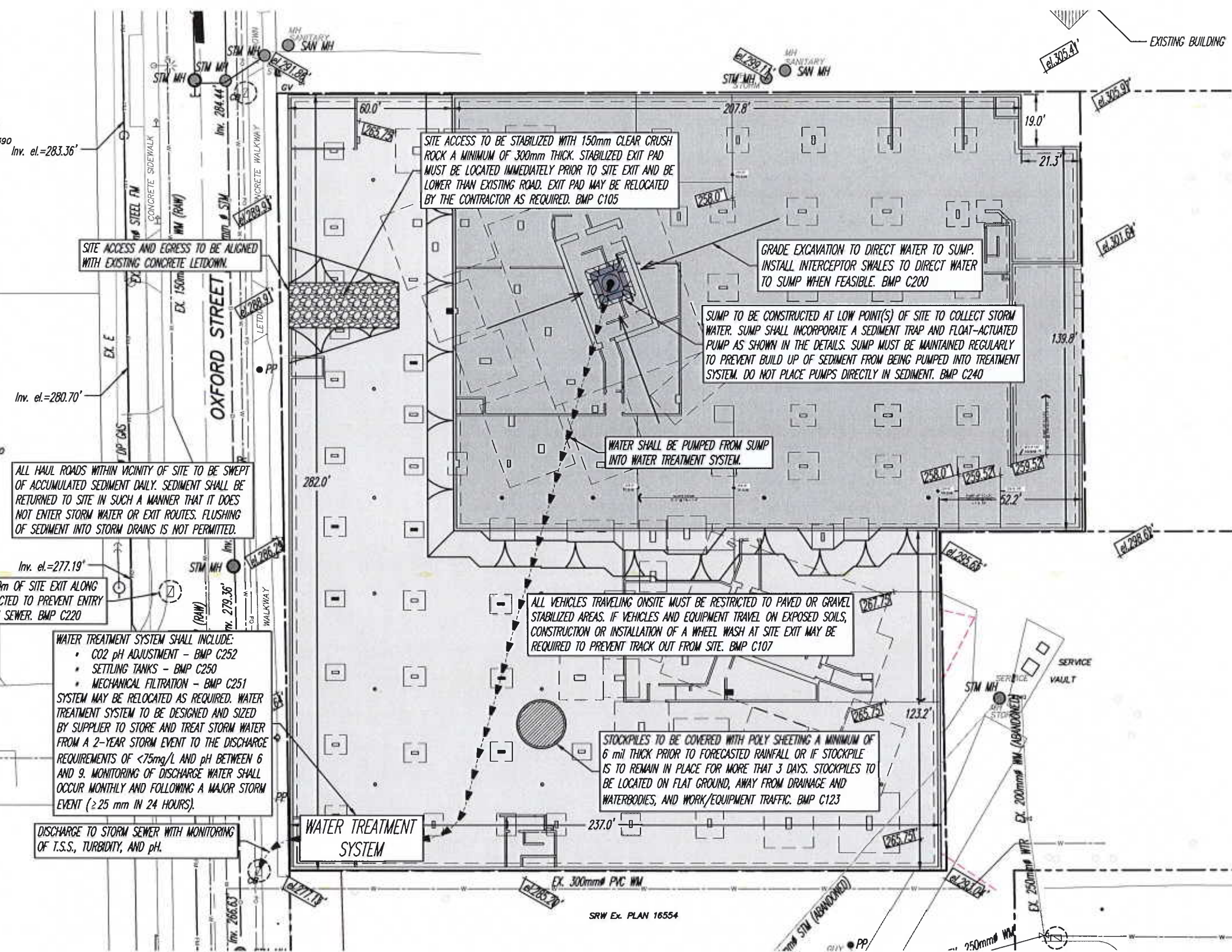
STORM WATER TREATMENT SYSTEM

SYSTEM TO BE SIZED BASED ON THE FOLLOWING FLOW RATE:
 RATIONAL METHOD: $Q = CA$

WHERE: Q = PEAK DISCHARGE FLOW RATE

C = RUNOFF COEFFICIENT $C = 0.75$
 I = RAINFALL INTENSITY $I = 17\text{mm/HR}$
 A = SITE CATCHMENT AREA $A = 6941.2\text{m}^2$

DESIGN PERIOD: 2-YEAR STORM EVENT
 $Q = 24.6 \text{ L/SEC}$ PEAK DISCHARGE FLOW RATE @ $T_c = 30 \text{ MIN}$
 $Q = 3.0 \text{ L/SEC}$ 24HR DISCHARGE RATE
 IDF CURVE FOR WHITE ROCK (ENVIRONMENT CANADA)



SITE PLAN

1:100

LEGEND:

| | |
|--|--------------------------|
| | - GRADE DIRECTION |
| | - CATCH BASIN PROTECTION |
| | - STOCKPILE |
| | - SUMP |

| NO. | DATE | BY | REVISION |
|-----|------|----|----------|
| | | | |
| | | | |
| | | | |



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DESIGNED BY: A.Ge.
 DRAWN BY: N.K.
 APPROVED BY: R.A.
 REVIEWED BY: M.T.L.
 SCALE: AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT

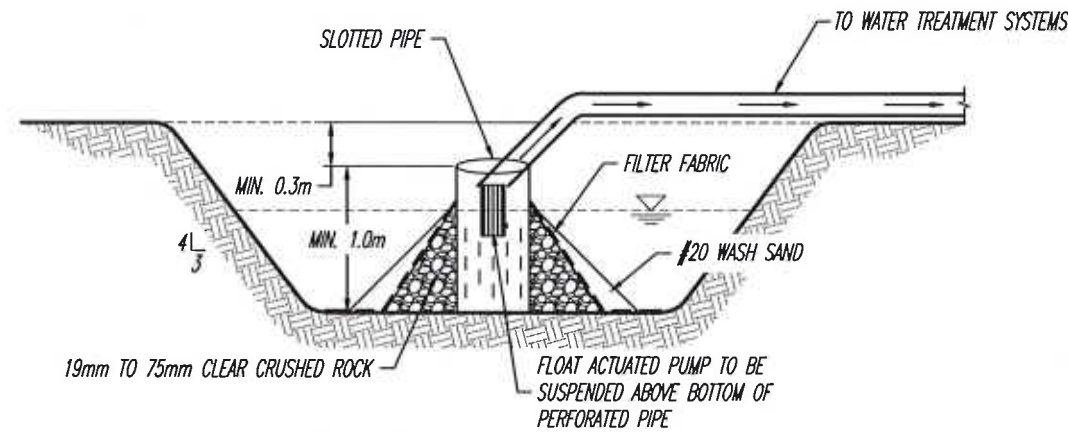
1500 OXFORD STREET, WHITE ROCK, B.C.

EROSION & SEDIMENT CONTROL PLAN

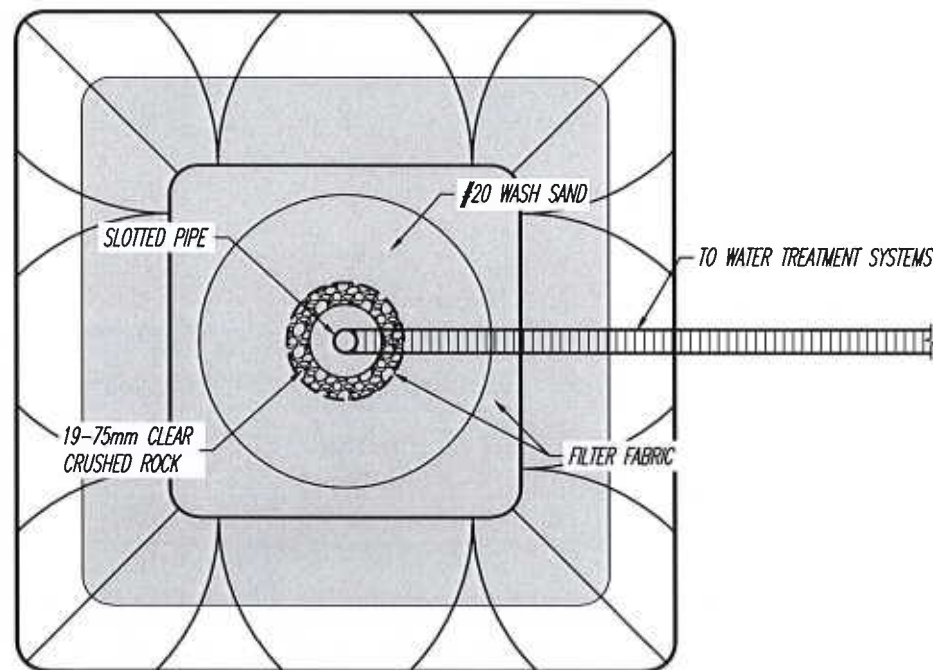
FILE NO: 15792
 DRAWING NO: G-ESC1
 DATE: MARCH 12, 2021



ORIGINAL PAPER SIZE 11"x17"



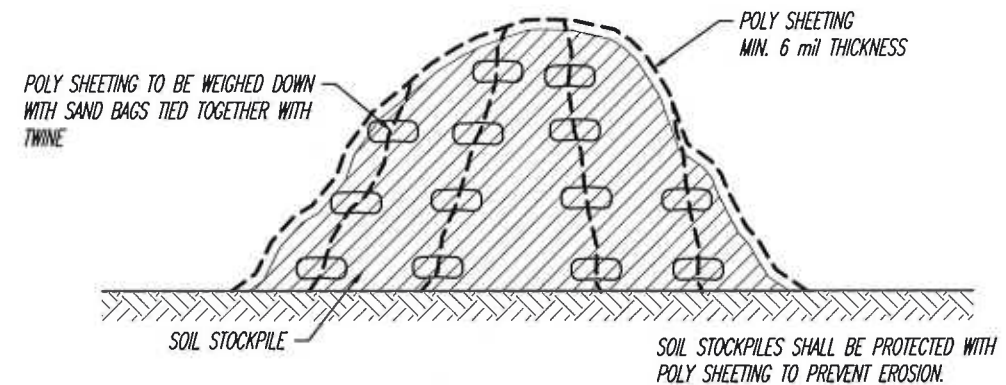
TYPICAL CROSS SECTION



TYPICAL PLAN VIEW

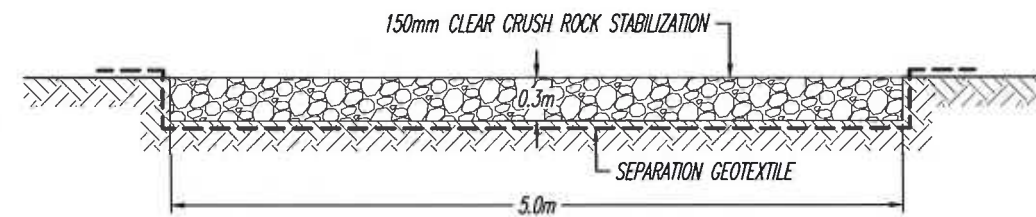
SUMP WITH SEDIMENT TRAP DETAIL - BMP C240

1:50



PLASTIC SHEETING - BMP C123

N.T.S.



GEOTEXTILE SEPARATION SPECS

| | |
|--|------------------------------|
| GRAB TENSILE STRENGTH (ASTM D4751) | 200psi MIN. |
| GRAB TENSILE ELONGATION (ASTM D4632) | 30% MAX. |
| MULLEN BURST STRENGTH (ASTM D3786 - 80A) | 400psi MIN. |
| AVERAGE OPENING SIZE (ASTM D4751) | 20 - 45 (U.S. STANDARD SIZE) |

STABILIZED CONSTRUCTION ACCESS DETAIL - BMP C105

1:50

LEGEND:

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AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT

1500 OXFORD STREET, WHITE ROCK, B.C.

EROSION & SEDIMENT CONTROL DETAILS (1 OF 2)

FILE NO:

15792

DRAWING NO:

G-ESC2A

DATE:

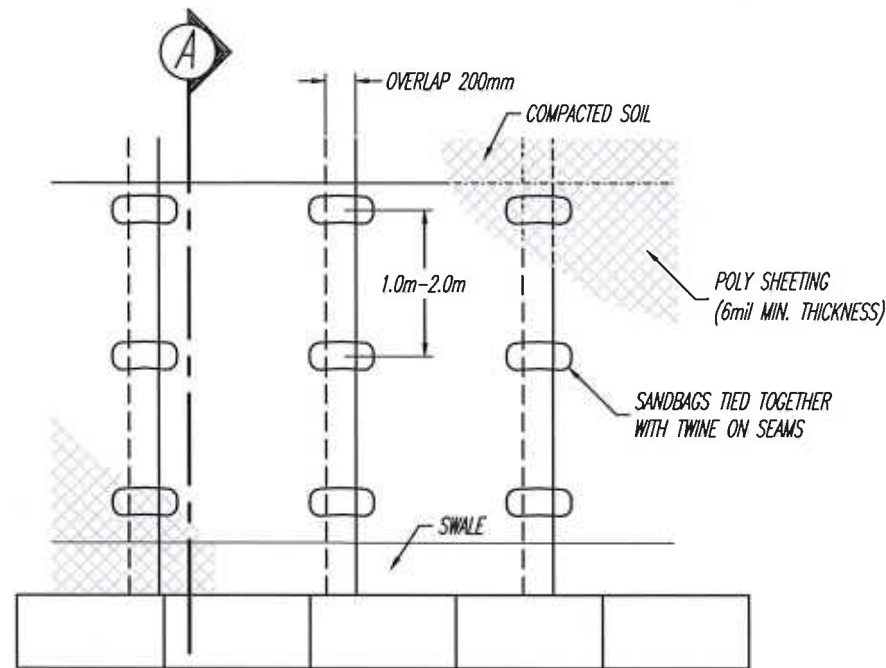
MARCH 12, 2021

SEAL:

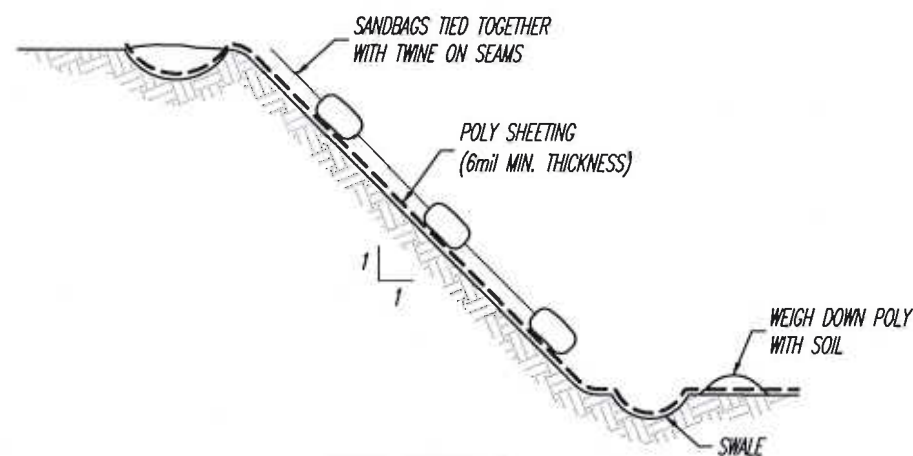


MAR 15 2021

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SLOPE PLAN VIEW



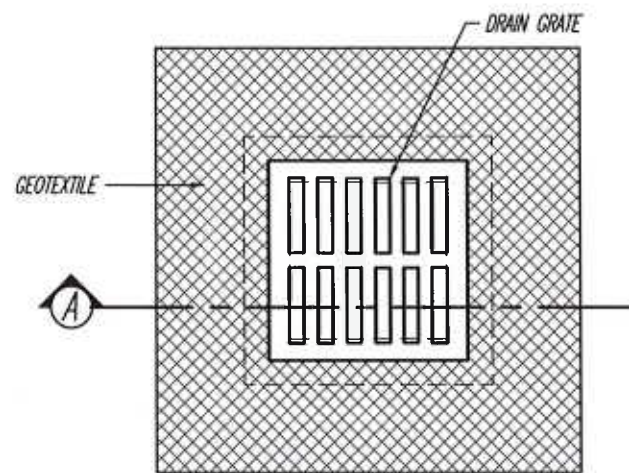
SLOPE SECTION A

PLASTIC COVERING - BMP C123

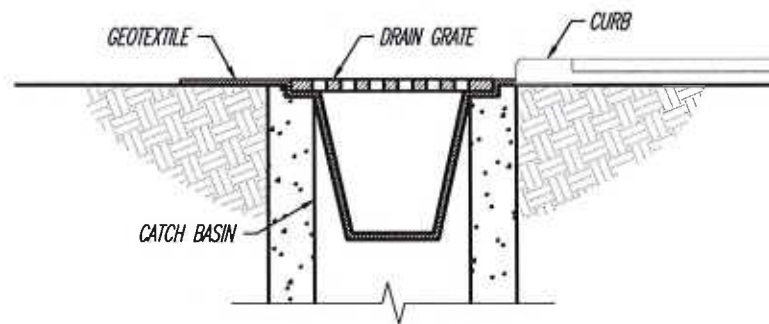
N.T.S.

NOTE:

1. POLYETHYLENE SHEETING WITH A MINIMUM THICKNESS OF 6mil TO BE USED.
2. SHEETING TO BE PLACED PARALLEL TO THE SLOPE WITH A MINIMUM 200mm OVERLAP BETWEEN SHEETS.
3. TRENCH TO BE EXCAVATED AT THE HEAD OF THE SLOPE TO ALLOW SHEETING TO BE SECURED UNDER COMPACTED SOIL.
4. TRENCH TO BE EXCAVATED AT THE TOE OF THE SLOPE, TO A DEPTH OF 300mm, WHICH WILL ACT AS A SWALE.
5. BURLAP OR GEOTEXTILE BAGS FILLED WITH SAND TO BE PLACED AT 1.0m TO 2.0m INTERVALS ALONG SEAMS. BAGS TO BE TIED TOGETHER WITH TWINE TO HOLD IN PLACE.
6. REGULAR INSPECTION OF THE SHEETING IS REQUIRED. TORN SHEETS MUST BE REPLACED AND OPEN SEAMS MUST BE SEALED.



PLAN VIEW

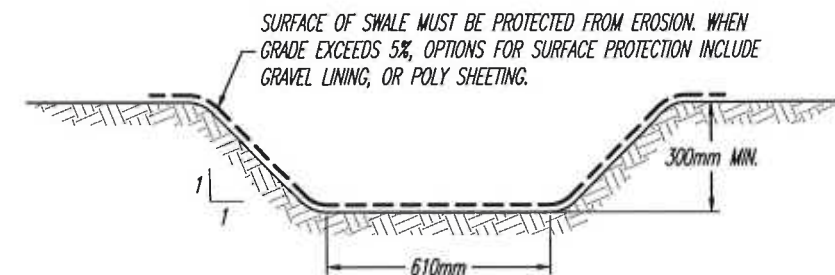


SECTION A

- STORE SPARE CATCH BASIN PROTECTION ONSITE AT ALL TIMES.
- INSPECT CATCH BASIN PROTECTION WEEKLY, AND DAILY DURING STORM EVENTS. CLEAN OR REPLACE WHEN 1/3 FULL, CLOGGED, OR SIGNS OF WEAR OCCUR.
- CATCH BASIN PROTECTION TO BE USED ON ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE.

CATCH BASIN SEDIMENT SACK DETAIL - BMP C220

N.T.S.



INTERCEPTOR SWALE DETAIL - BMP C200

1:20

SPACING OF CHECK DAMS BASED ON SLOPE OF SWALES

| SLOPE | SPACING OF CHECK DAMS |
|-------|-----------------------|
| 0.5% | EVERY 50m |
| 1.0% | EVERY 35m |
| 1.5% | EVERY 20m |
| 2.0% | EVERY 15m |
| 2.5% | EVERY 12m |
| 3.0% | EVERY 10m |

NOTES:

- DRAINAGE SWALE TO BE CONSTRUCTED WITH MIN. SLOPE TO FACILITATE FLOW.
- SMALL SWALES SHALL DIRECT WATER INTO DRAINAGE SWALE.

- DURING ARID PERIODS OR DURING TIMES OF HIGH TRAFFIC OVER EXPOSED SOILS USE NATURAL OR ARTIFICIAL WIND BREAKS OR SCREEN.
- SPRINKLE WATER ON SITE UNTIL SURFACE SOILS ARE WETTED.
- SPRAY EXPOSED SOIL WITH DUST PALLIATIVE FOLLOWING MANUFACTURER'S INSTRUCTION.

DUST CONTROL - BMP C140

LEGEND:

| NO. | DATE | BY | REVISION |
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| | | | |
| | | | |
| | | | |
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M.T.L.
SCALE:
AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT

1500 OXFORD STREET, WHITE ROCK, B.C.

EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)

FILE NO:

15792

DRAWING NO:

G-ESC2B

DATE:

MARCH 12, 2021



MAR 15 2021

ORIGINAL PAPER SIZE 11" X 17"

GENERAL NOTES

1. UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, ESC MONITOR, CIVIL CONTRACTOR, CIVIL SUBCONTRACTOR, BUILDER AND BUILDING SUB-TRADES; ENGAGED ONSITE SHALL COMPLY WITH THE REQUIREMENTS OF ALL REGULATORY AUTHORITIES, FEDERAL, PROVINCIAL AND MUNICIPAL GOVERNMENT DEPARTMENTS PERTAINING TO ONSITE MANAGEMENT AND DISCHARGE ASSOCIATED WITH EROSION AND SEDIMENT CONTROL REGULATIONS.
2. THE DEVELOPER/PERSONS RESPONSIBLE SHALL ENSURE THAT CONSTRUCTION ACTIVITIES ARE UNDERTAKEN IN A MANNER THAT ENSURES BEST MANAGEMENT PRACTICES ARE IMPLEMENTED TO CONTAIN ONSITE, SILT LADEN RUNOFF THAT EXCEEDS FEDERAL, PROVINCIAL, AND MUNICIPAL REQUIREMENTS, AND PREVENT ITS ENTERING DOWNSTREAM DRAINAGE INFRASTRUCTURE AND AQUATIC SYSTEMS.
3. THE DEVELOPER/OWNER/PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTIONS ISSUED BY THE ESC MONITOR TO RECTIFY DEFICIENCIES THAT RESULT IN NON-COMPLIANCE.
4. NO PERSON SHALL OBSTRUCT OR IMPEDE THE FLOW OF THE DRAINAGE SYSTEM. NO PERSON SHALL STORE, TRANSPORT OR DISPOSE OF ANY WASTE OR DELETERIOUS SUBSTANCES IN SUCH A MANNER SO AS TO PERMIT THE LIKELY ESCAPE OF THE MATERIALS INTO THE DRAINAGE SYSTEM, OR RELEASE DIRECTLY OR INDIRECTLY DELETERIOUS SUBSTANCES INTO THE DRAINAGE SYSTEM.
5. NO PERSON SHALL CAUSE OR PERMIT TO BE RELEASED INTO THE DRAINAGE SYSTEM, DIRECTLY OR INDIRECTLY, ANY SEDIMENT, EARTH, CONSTRUCTION OR EXCAVATION WASTES, CEMENT, CONCRETE OR OTHER SUBSTANCES WHICH WHEN MIXED WITH WATER WILL RESULT IN A PH AND/OR TURBIDITY VALUE OUTSIDE OF FEDERAL, PROVINCIAL, AND MUNICIPAL DISCHARGE REQUIREMENTS.
6. THE EROSION AND SEDIMENT CONTROL WORKS SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED UNTIL THE SITE NO LONGER POSES A THREAT TO THE DRAINAGE SYSTEM AND APPROVAL TO REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES HAS BEEN OBTAINED FROM THE ESC MONITOR.

MAINTENANCE

1. UPON INSTRUCTION/NOTIFICATION BY ENGINEER OF RECORD OR ESC MONITOR, PERSONS RESPONSIBLE ARE REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES TO MODIFY OR MAINTAIN ESC FACILITIES.
2. SHOULD ANY PART OF THE SEDIMENT CONTROL FACILITIES BECOME DAMAGED, BLOCKED OR IN ANY WAY NOT FUNCTION PROPERLY, THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO REPAIR AND/OR REMOVE SUCH DAMAGE, BLOCKAGE OR CAUSE OF MALFUNCTION.
3. ACCUMULATED SEDIMENT REMOVED DURING MAINTENANCE OF THE SEDIMENT CONTROL FACILITIES SHALL BE DISPOSED OF IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO THE SITE DRAINAGE SYSTEM, AND/OR INTO ANY STORM SEWER OR WATERCOURSE.
4. STREETS ARE TO BE INSPECTED DAILY AT MINIMUM AND SWEEPED TO ENSURE THAT NO SEDIMENT OR DEBRIS ENTERS THE STORM SYSTEM. FLUSHING IS NOT PERMITTED.
5. PAVED ROAD SURFACES ARE TO BE CLEANED OF ANY ACCUMULATED SEDIMENT AT THE END OF EACH DAY AS REQUIRED. NO MATERIAL WITH HIGH SEDIMENT CONTENT IS TO BE DEPOSITED OR PILED NEAR CATCH BASINS, LAWN BASINS OR OUTSIDE OF PROPERTY BOUNDARIES.

6. CATCH BASINS ARE TO BE INSPECTED DAILY AND FOLLOWING STORM EVENTS. SEDIMENT SACKS ARE TO BE REMOVED AND CLEANED WHEN THEY REACH APPROXIMATELY ONE THIRD CAPACITY.
7. SOIL DISTURBING CONSTRUCTION TO BE AVOIDED DURING PERIODS OF HEAVY OR PERSISTENT RAINFALL WHERE POSSIBLE.
8. STOCKPILED MATERIAL AND ALL EXPOSED SLOPES TO BE COVERED WITH 6 MIL THICK POLYETHYLENE SHEETING ANCHORED WITH WEIGHTS.
9. SILT FENCES AND BARRIERS ARE TO BE INSPECTED AND REPAIRED PRIOR TO FORECASTED RAIN EVENTS, AND FOLLOWING SIGNIFICANT RAINFALL EVENTS OR PERIODS OF EXTENDED RAIN. SEDIMENT TO BE REMOVED WHEN IT HAS REACHED APPROXIMATELY ONE THIRD THE HEIGHT OF THE FENCE.
10. SITE ACCESS PADS TO BE INSPECTED DAILY TO ENSURE FUNCTIONALITY AND ADDITIONAL ROCK IS TO BE ADDED AS REQUIRED.
11. NO CONCRETE WASH WATER IS TO BE DIRECTED INTO THE SEDIMENT CONTROL SYSTEM OR THE STORM SEWERS. ALL CONCRETE TRUCKS ARE TO BE EQUIPPED WITH A RECIRCULATORY WASH SYSTEM. NO DISCHARGE FROM CONCRETE TRUCKS IS PERMITTED ON THE STREET OR TO ENTER THE ONSITE DRAINAGE SYSTEM.
12. AN ADDITIONAL SUPPLY OF MATERIALS SHALL BE STORED ONSITE TO ENABLE A SUITABLE RESPONSE TO ANY MAINTENANCE ACTIONS REQUIRED.
13. WET WEATHER SHUT DOWN PROCEDURES TO INCLUDE SUSPENDING ANY HAULING OR MAJOR EARTHWORK ACTIVITIES USING UNPAVED ROAD SURFACES PRIOR TO FORECASTED RAIN EVENTS EXCEEDING 25mm IN 24 HOURS. ALL ERODIBLE SURFACES MUST BE STABILIZED, OR COVERED WITH POLY SHEETING, PRIOR TO SIGNIFICANT RAINFALL EVENT. ANY WATER POOLING ONSITE MUST BE DIRECTED TO SUMP AND TREATED BY WATER TREATMENT SYSTEM PRIOR TO DISCHARGE. NO UNTREATED WATER IS TO ENTER THE STORM SYSTEM.

MONITORING, SAMPLING AND TESTING PROGRAM

1. ALL DISCHARGE TO MUST MEET THE PH RANGE REQUIREMENT OF 6.0-9.0.
2. THE TOTAL SUSPENDED SOLIDS OF ALL DISCHARGE MUST NOT EXCEED 75 mg/L.
3. WHERE ANY WASTE, DELETERIOUS SUBSTANCE, OR WATER RELEASED DIRECTLY OR INDIRECTLY INTO THE DRAINAGE SYSTEM EXCEEDS THE ALLOWABLE PH, TURBIDITY AND/OR TOTAL SUSPENDED SOLIDS LEVELS, ALL DISCHARGE IS TO BE CEASED AND CORRECTIVE MEASURES ARE TO BE IMPLEMENTED IMMEDIATELY.
4. A LOGBOOK OF ALL INSPECTIONS SHALL BE MAINTAINED ONSITE AND BE MADE AVAILABLE TO THE CITY UPON REQUEST.
5. WATER QUALITY MONITORING AND ESC FACILITIES INSPECTIONS BY THE ESC MONITOR SHOULD BE CONDUCTED AT THE MIN. FREQUENCY NOTED BELOW.

| | <u>MIN. MONITORING FREQUENCY</u> | <u>MIN. REPORTING FREQUENCY</u> |
|------------|----------------------------------|---------------------------------|
| YEAR ROUND | MONTHLY | WITHIN 7 DAYS OF INSPECTION |

6. INSPECTION REPORTS SHALL BE SUBMITTED TO THE DEVELOPER AND CONTRACTORS.



DECOMMISSIONING

1. BUILDING CONSTRUCTION MUST BE AT STREET LEVEL OR HIGHER WITH ALL EXPOSED SURFACES STABILIZED PRIOR TO BEGINNING THE PROCESS OF DECOMMISSIONING ANY ESC FACILITIES.
2. APPROVAL TO ALTER AND/OR REMOVE ANY COMPONENT OF THE WATER TREATMENT SYSTEM MUST BE OBTAINED FROM THE ESC MONITOR.
3. PRIOR TO RECEIVING FOR APPROVAL TO REMOVE COMPONENTS OF THE WATER TREATMENT SYSTEM, WATER QUALITY TESTING OF THE UNTREATED WATER IN THE BUILDING SUMP WILL BE CONDUCTED TO ENSURE ALLOWABLE TURBIDITY AND/OR PH LEVELS CAN BE MAINTAINED WITHOUT ADDITIONAL TREATMENT. THE PH TREATMENT COMPONENT OF THE SYSTEM MUST REMAIN ONSITE UNTIL ALL MAJOR CONCRETE POURS HAVE BEEN COMPLETED AT MINIMUM.
4. THE DECOMMISSIONING OF ANY ESC FACILITIES WITHOUT PRIOR APPROVAL MAY RESULT IN FINES AND/OR A STOP WORK ORDER.

ENFORCEMENT

1. FAILURE TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR TO COMPLY WITH MUNICIPAL REGULATIONS MAY RESULT IN FINES AND/OR A STOP WORK ORDER.
2. FEDERAL ENVIRONMENTAL OFFENCES ARE STRICT LIABILITY OFFENCES AND CAN RESULT IN FINES AND/OR INCARCERATION.

ORIGINAL PAPER SIZE 11"x17"

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|---------|-----|------|----|----------|---|---|---|-----------------------|---|
| LEGEND: | NO. | DATE | BY | REVISION |  GEOPACIFIC VANCOUVER KALLOOFS CALGARY 1779 W. 70th Avenue Vancouver, B.C. V6P 6P2 P 604-455-0922 F 604-459-9699 | DESIGNED BY: A.Ge. | PROPOSED RESIDENTIAL DEVELOPMENT 1500 OXFORD STREET, WHITE ROCK, B.C. | FILE NO: 15792 |  SEAL: R. WENDANG GONZALEZ ESTRADA # 5876 ENGINEER |
| | | | | | | DRAWN BY: N.K. APPROVED BY: R.A. REVIEWED BY: M.T.L. SCALE: AS SHOWN | | DRAWING NO: G-ESC3 | |
| | | | | | | EROSION & SEDIMENT CONTROL SPECIFICATIONS | | MAR 15 2021 | |