

SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr. White Rock, BC
 ISSUED FOR DEVELOPMENT PERMIT APPLICATION
 October 18, 2024



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BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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DEVELOPMENT PERMIT		August 28, 2024

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PROJECT:

SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr. White Rock, BC

CLIENT:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/06/23	
SCALE:	
JOB NO:	
2148	

SHEET TITLE:

COVER PAGE

DRAWING NO:	revision no:
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A-0.1

Design Rationale

The proposed development is located at the west side of Marine Drive in the city of White Rock.

The existing site is two commercial lots. The site benefits from great access to many services and amenities located in waterfront surrounding area.

The existing zoning of this site is CR-3 and proposed zoning is CD Based on CR-3 in line with OCP designation of Waterfront Village. The site area is 9006 sq.ft.(836.64 m²) and proposed floor area is 21888 sq.ft. with 2.43 FAR, higher than the maximum allowed FSR 2.0. The proposed project is a 4 story multi-family building. The development will provide 8 residential units with 9 parking stalls ,9 bike spaces and 7 storages and 4 short-term bicycle parking at the entrance.

The vision for this site is a low-rise development that integrates with the surrounding context. The design manages the various site constraints to produce a small-scale building that keeps in line with the Waterfront Village's seaside village character.

The building footprint follows the site geometry while creatively introduces two skylight wells facing west and east property line. It allows residential units for benefiting with natural ventilation and sun light, also breaks up building massing and creates a unique and attractive pedestrian friendly streetscape.

The building design provides a contextual response in terms of height and setback to the adjacent developments but is forward-looking in its aim to catalyze a more vibrant streetscape. The residential main entrance is in the south part of the building accessible from Marine Drive. Parking entry located in the north part of the building accessible from Victoria Ave.

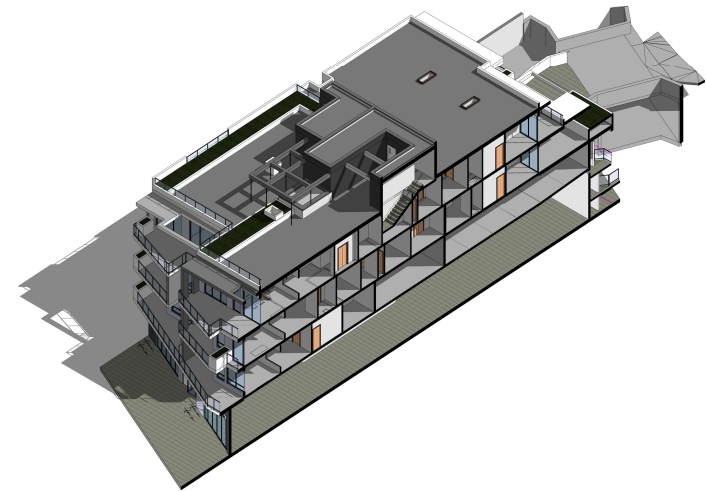
The architectural expression is focused a wide variety of materiality, texture, and colors to create vibrant streetscape in West Coast style. This concept is consistent at all elevations, while with different emphasis. Transparent balconies break the building façade into smaller and lower segments. Frosted glass guardrail has been considered to mitigate privacy concern of overlooking into the adjacent house's backyard.

Stable, secure, durable, and high-quality materials are selected for the project, including woodgrain metal siding, architectural cast-in-place concrete, cement panel, glass, and metal guardrail, etc. Public area pavers will be high quality, wear resistant in the long year-round term.

High quality landscape to be provided for this development. It enhances architectural spaces and provide vibrant environment to habitants. A wide range selection of plant species will allow for responding to seasonal change and provide vibrant microclimate green space for residents.

By providing multiple amenity facilities, including indoor and outdoor roof top seating area, the design intent is to create family friendly environment to support a wide variety of family types.

As per OCP guild line 22.5.2 a., residential developments along Marine Drive between Oxford and Foster provide continuous commercial frontage with two retail spaces.



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DRAWN BY: Designer	SEAL:
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PROJECT SUMMARY

DRAWING NO:	REV: 01/01/20
A-0.2	

Project Development Data - Residential Development

Mixed-use Development

- A. Project:**
Seaside Residence Development
- B. Legal Description:**
Civic Address: 14981-14985 Marine Dr, White Rock, BC
- C. Zoning:**
Existing Zoning: CR-3
Proposed Zoning: CD (Based on CR-3)

OCP designation
Waterfront Village

D. Proposed Setbacks:

	Proposed	Permitted
Front	3.447m	3.447m (Road Dedication)
South (Not Abutting Lane)	0.0m	0.0m (Per city feedback)
North (Not Abutting Lane)	0.0m	0.0m (Per city feedback)
Rear (Not Abutting Lane)	0.0m	0.0m (Per city feedback)

E. Building Height:

Average natural grade	5.46m
Proposed Building Height	4 story

F. Site Coverage Calculations:

Site Area Parcel -Gross	9,006 sq ft	836.64 sq m
Site Area Parcel -Net(after road dedication)	8,323 sq ft	773.21 sq m
Site Coverage (Allowed)		
Net Site Coverage (Proposed)	81.44%	

G. Floor Area Ratio (F.A.R.) Calculation:

Floor Area	FAR Proposed	FAR Permitted
21,888 sq ft	2.43 (based on gross lot area)	2.00
	2.63 (based on net lot area)	

H. Floor Area Statistics

Level	Parking	Residential Unit Area	Common Area	Service	Commercial Area	Amenity	FAR Area per Floor	Gross Area per Floor
Ground level	0 sq ft	0 sq ft	1,108 sq ft	0 sq ft	6,226 sq ft	0 sq ft	7,334 sq ft	7,334 sq ft
Level 2	4,194 sq ft	2,159 sq ft	816 sq ft	0 sq ft	0 sq ft	0 sq ft	2,975 sq ft	7,169 sq ft
Level 3	0 sq ft	5,081 sq ft	605 sq ft	0 sq ft	0 sq ft	0 sq ft	5,686 sq ft	5,686 sq ft
Level 4	0 sq ft	4,805 sq ft	612 sq ft	0 sq ft	0 sq ft	0 sq ft	5,417 sq ft	5,417 sq ft
Roof	0 sq ft	230 sq ft	246 sq ft	98 sq ft	0 sq ft	1,994 sq ft	476 sq ft	2,568 sq ft
Total							21,888 sq ft	28,174 sq ft

J. Residential Statistics - Unit Counts

Count	2 BED	3 BED	4 BED	Total
	6	1	1	8

Parking Statistics

NOTE: Service / Circulation Areas are not included in parking space calculations

Required Parking

Residential	2/Dwelling Unit (REQ. Per WRZBL 4.14.1)	H/C	SMALL CAR (Permitted 40% Of total Parking)
Total	16	1	6 (16* 0.4)
Commercial	1/74m ² (REQ. Per WRZBL 4.14.1)	H/C	SMALL CAR (Permitted 40%
Total	8	1	3 (8* 0.4)

Required Bicycle Parking

Residential	Class I(1 space per dwelling unit per WRZBL 4.16.3)	Class II(0.2 spaces per dwelling unit per WRZBL 4.16.3)
Total	8	2

Commercial-retail	Class I(0.25 spaces per 200m2 gross area per WRZBL 4.16.3)	Class II(0.75 spaces per 200m2 gross area er WRZBL 4.16.3)
Total	1	2

Proposed Parking

	H/C	Regular	Total
Residential	1	8	9

Proposed Bicycle Parking

	Class I	Class II	Total
Residential	8	2	10
Commercial-retail	1	2	3



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14981/14985 Marine Dr, White Rock, BC

CIP:BT

CONSULTANT:

DRAWN BY: Designer

DATE: 09/08/23

SCALE:

JOB NO:

2148

SHEET TITLE:

PROJECT DATA

DRAWING NO. rev: 0/0/0/0

A-0.3



MARINE DR NORTHEAST VIEW



MARINE DR NORTH VIEW



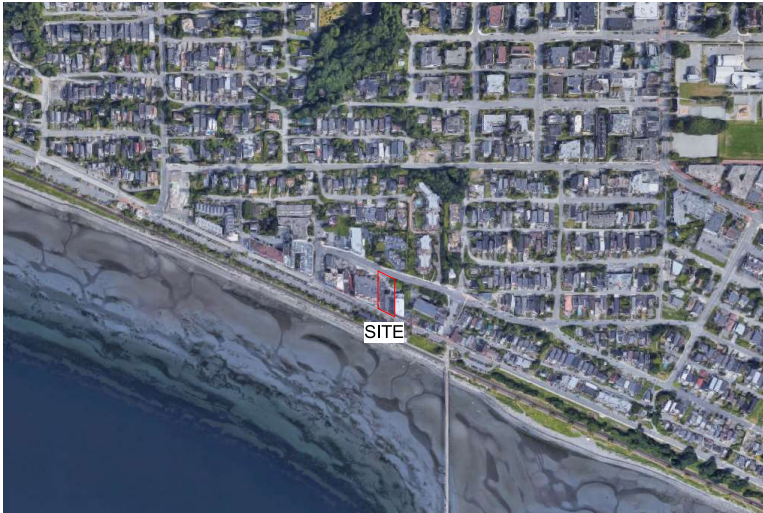
MARINE DR NORTHWEST VIEW



VICTORIA AVE SOUTH VIEW



VICTORIA AVE SOUTHEAST VIEW



KEY MAP



AERIAL VIEW OF SITE

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CONSULTANT:

DRAWN BY: Designer	SEAL:
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2148	

SHEET TITLE:
SITE CONTEXT

**TOPOGRAPHIC SITE PLAN OF THE WEST HALF OF LOT 2 AND LOT 3
BOTH OF SECTION 10 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 2921**

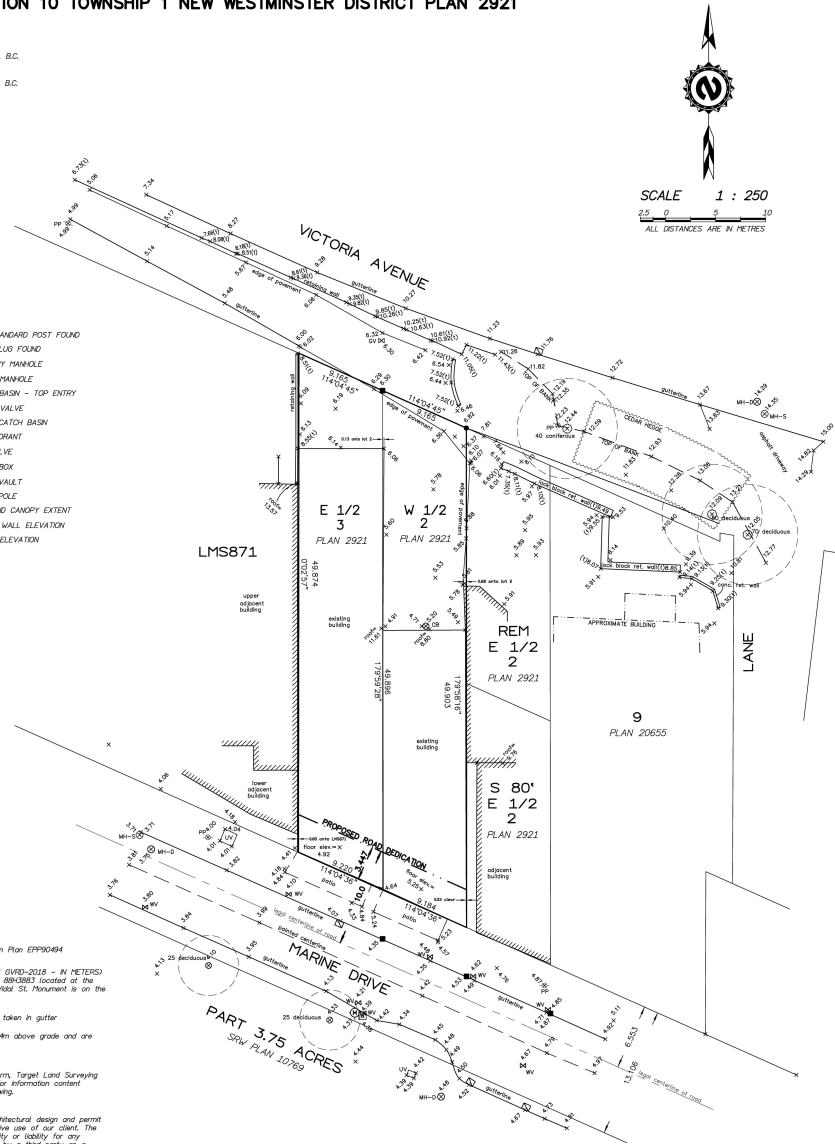
CIVIC ADDRESS:
14981 Marine Drive, White Rock, B.C.
P.L.D. 000-518-034
14985 Marine Drive, White Rock, B.C.
P.L.D. 010-749-219

- LEGEND**
- DENOTES OLD STANDARD POST FOUND
 - DENOTES LEAD PIPES FOUND
 - MH-1 DENOTES SANITARY MANHOLE
 - MH-D DENOTES STORM MANHOLE
 - DENOTES CATCH BASIN - TOP ENTRY
 - W DENOTES WATER VALVE
 - RB DENOTES ROUND CATCH BASIN
 - FH DENOTES FIRE HYDRANT
 - G DENOTES GAS VALVE
 - UV DENOTES UTILITY BOX
 - V DENOTES UTILITY VAULT
 - UP DENOTES UTILITY POLE
 - T DENOTES TREE AND CANOPY EXTENT
 - (E) DENOTES TOP OF WALL ELEVATION
 - X DENOTES GROUND ELEVATION

Lot dimensions are derived from Plan E9930484
Elevations are Geoidal (CND28 GVD9-2018 - IN METERS)
Derived from Control Monument 68945883 located at the
intersection of Marine Dr. and West St. Monument is on the
south side of Marine Drive.
Elevation = 133.20m
Spot elevations along curbs are taken in gutter
Tree diameters are taken at 1.4m above grade and are
shown in cm.
If this plan is used in digital form, Target Land Surveying
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CERTIFIED CORRECT
DATED THIS 17th DAY OF MAY, 2024

M. Adam Fulkerson B.C.L.S.



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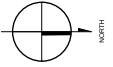
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2148	

SHEET TITLE:

SURVEY PLAN

DRAWING NO. **A-05** PROJECT NO.



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

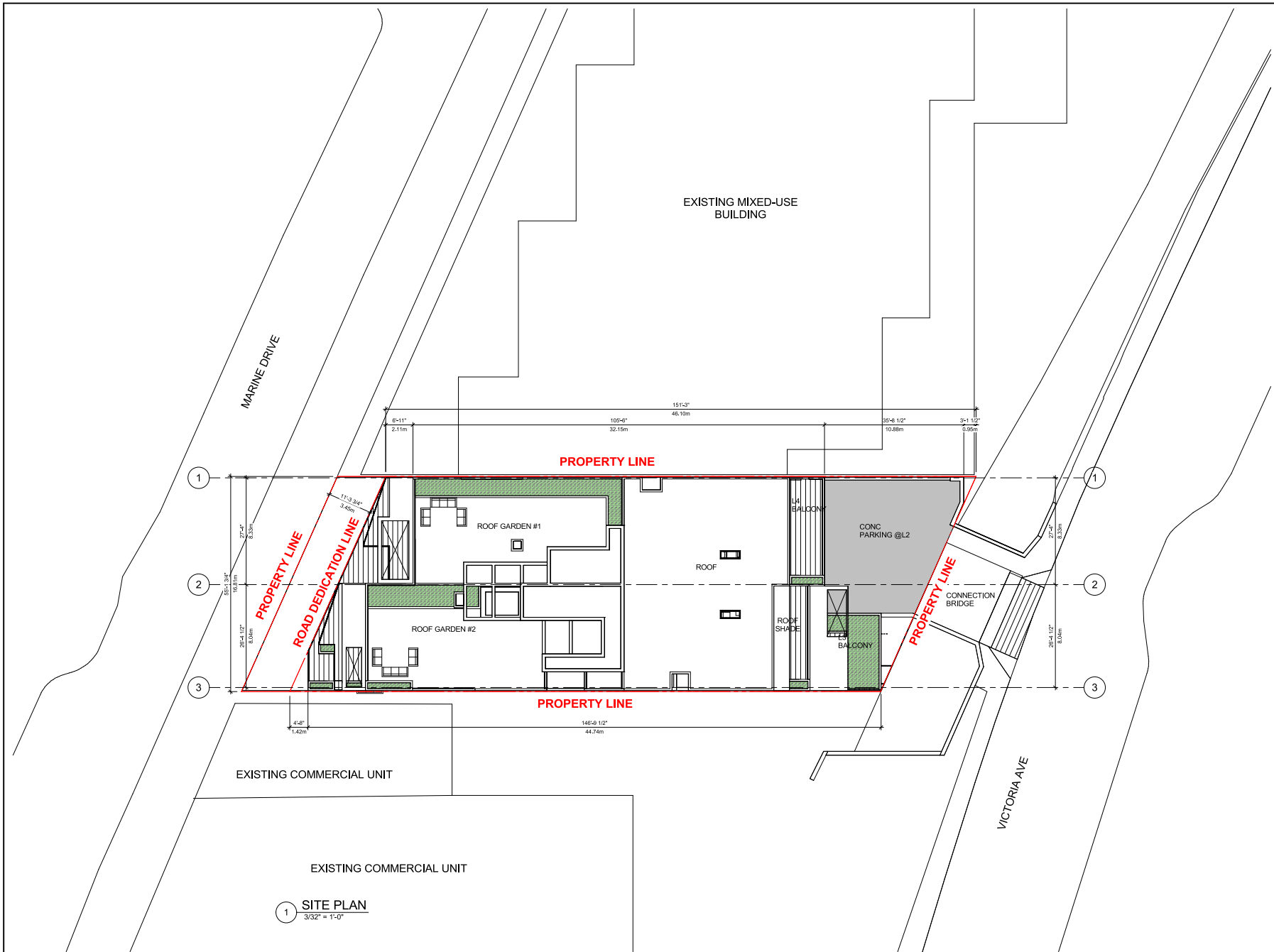
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1 SITE PLAN
3/32" = 1'-0"

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CONSULTANT:

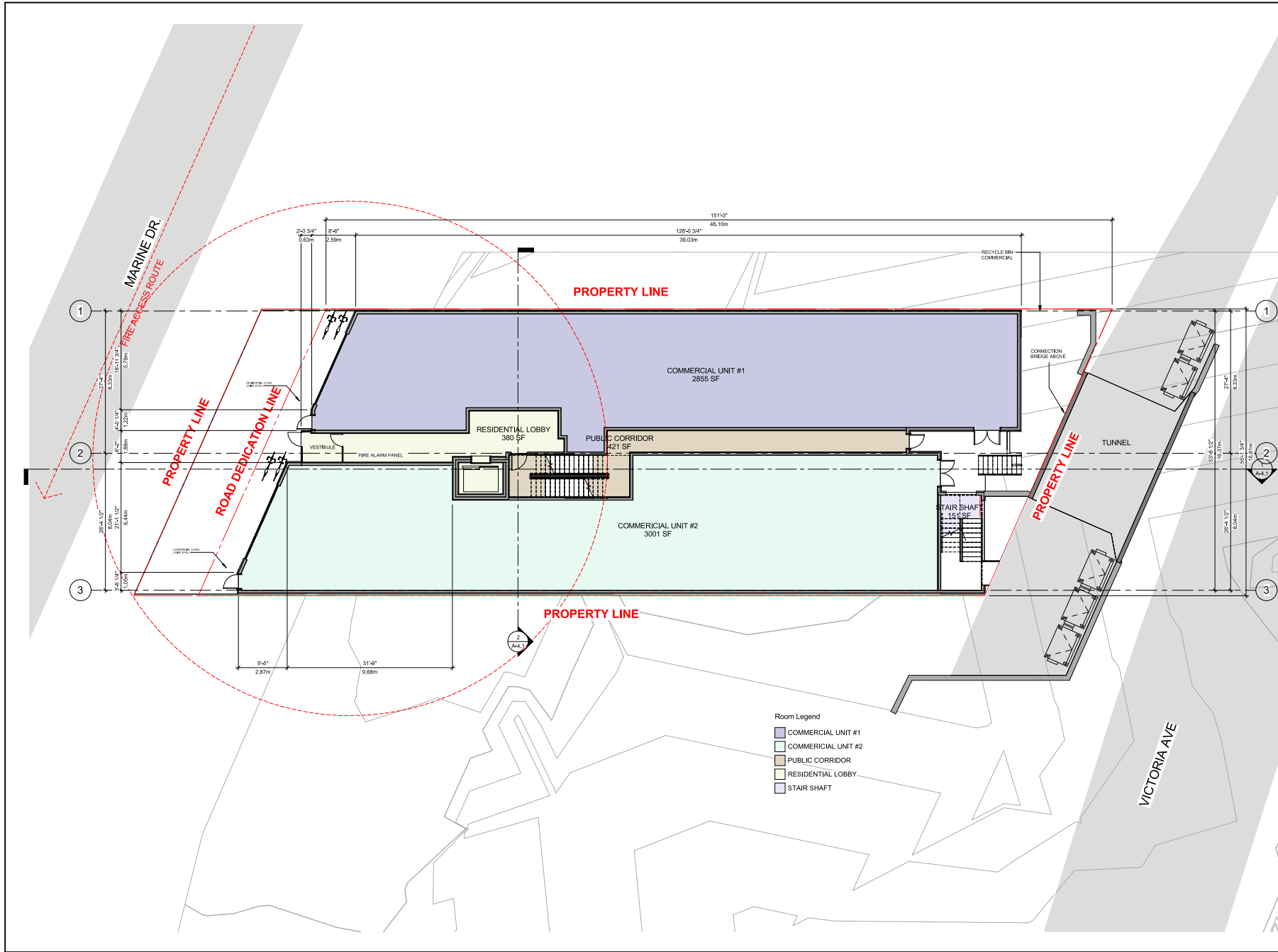
DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE: 3/32" = 1'-0"	
JOB NO.: 2148	

SHEET TITLE:

SITE PLAN

DRAWING NO.: rev: 0/0/0/0/0/0

A-1.0



- Room Legend**
- COMMERCIAL UNIT #1
 - COMMERCIAL UNIT #2
 - PUBLIC CORRIDOR
 - RESIDENTIAL LOBBY
 - STAIR SHAFT

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SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC
C-101

CONSULTANT:

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DATE: 09/08/23	
SCALE: 1/8" = 1'-0"	
JOB NO.: 2148	

FIRE ACCESS PLAN



EXISTING STREETScape



PROPOSED STREETScape

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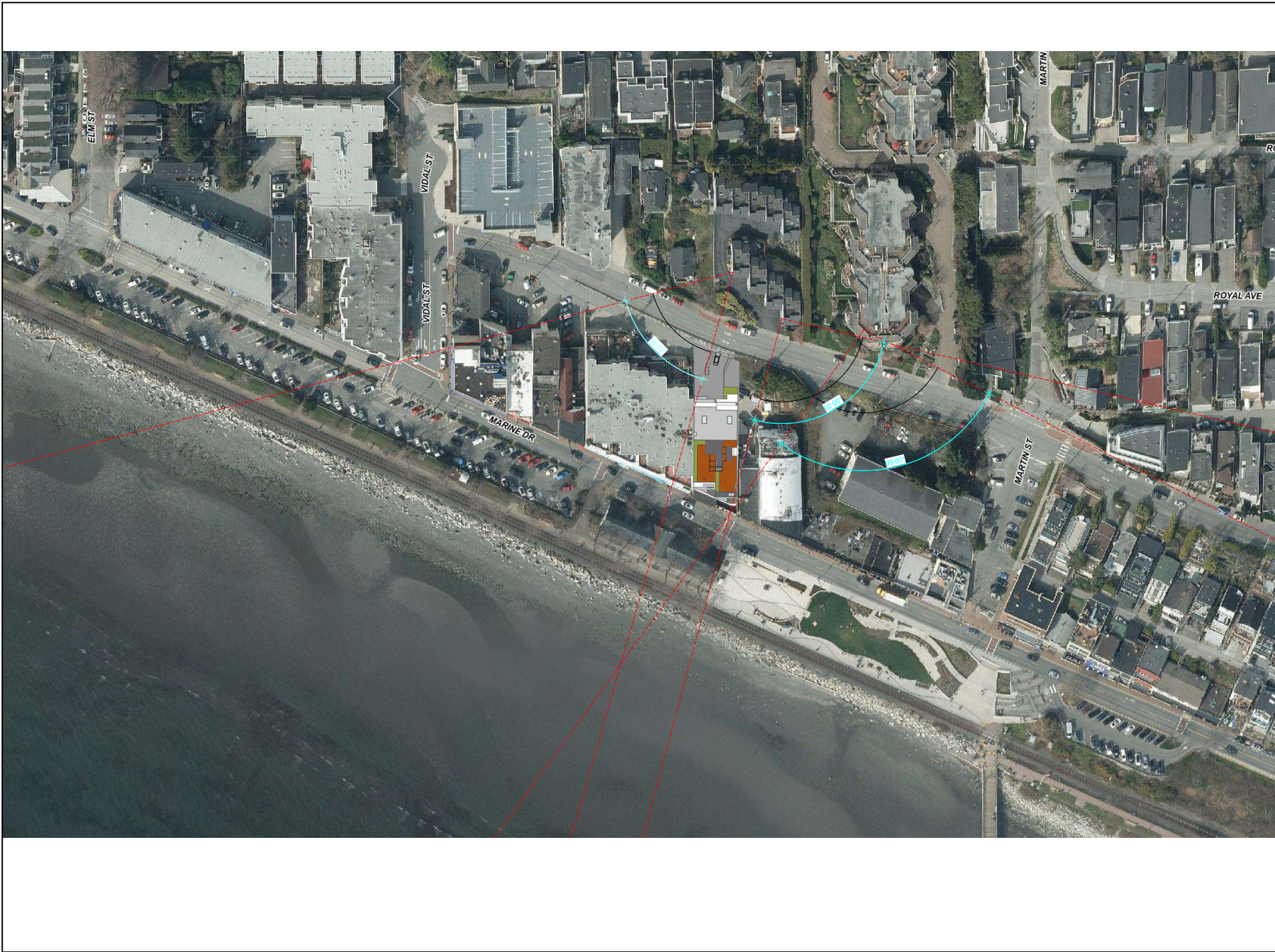
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CONSULTANT:

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DATE: 08/31/24	
SCALE:	
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SHEET TITLE:
STREETScape

DRAWING NO.:	REV. SHEET NO.
A-1.2	



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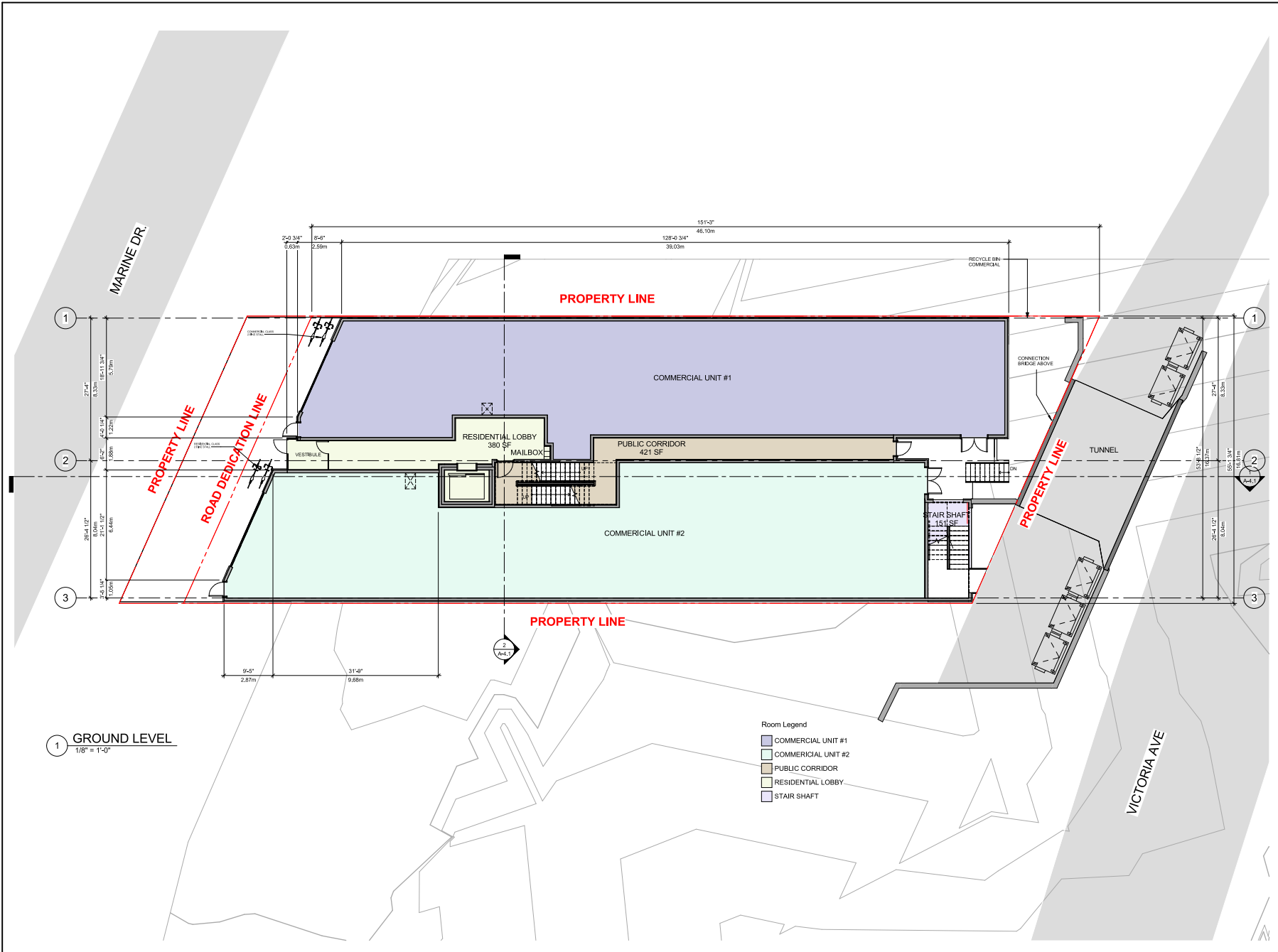
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SHEET TITLE:

VIEW ANALYSIS

DRAWING NO. revision no.

A-1.3



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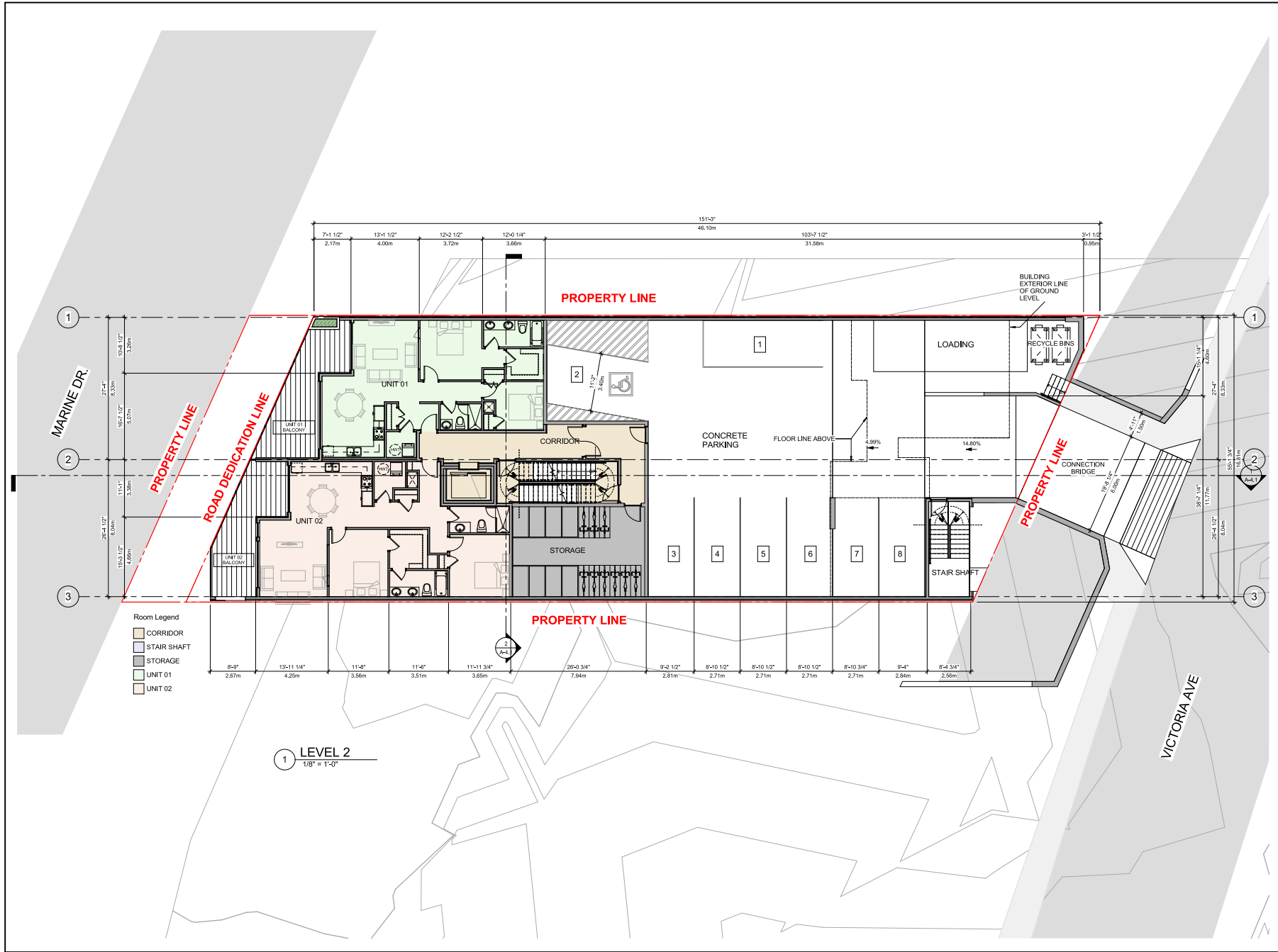
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14981/14985 Marine Dr, White Rock, BC

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SHEET TITLE:
MAIN FLOOR PLAN



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SHEET TITLE:

LEVEL 2 FLOOR PLAN

DRAWING NO.: A-2.2

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SEASIDE RESIDENCE DEVELOPMENT

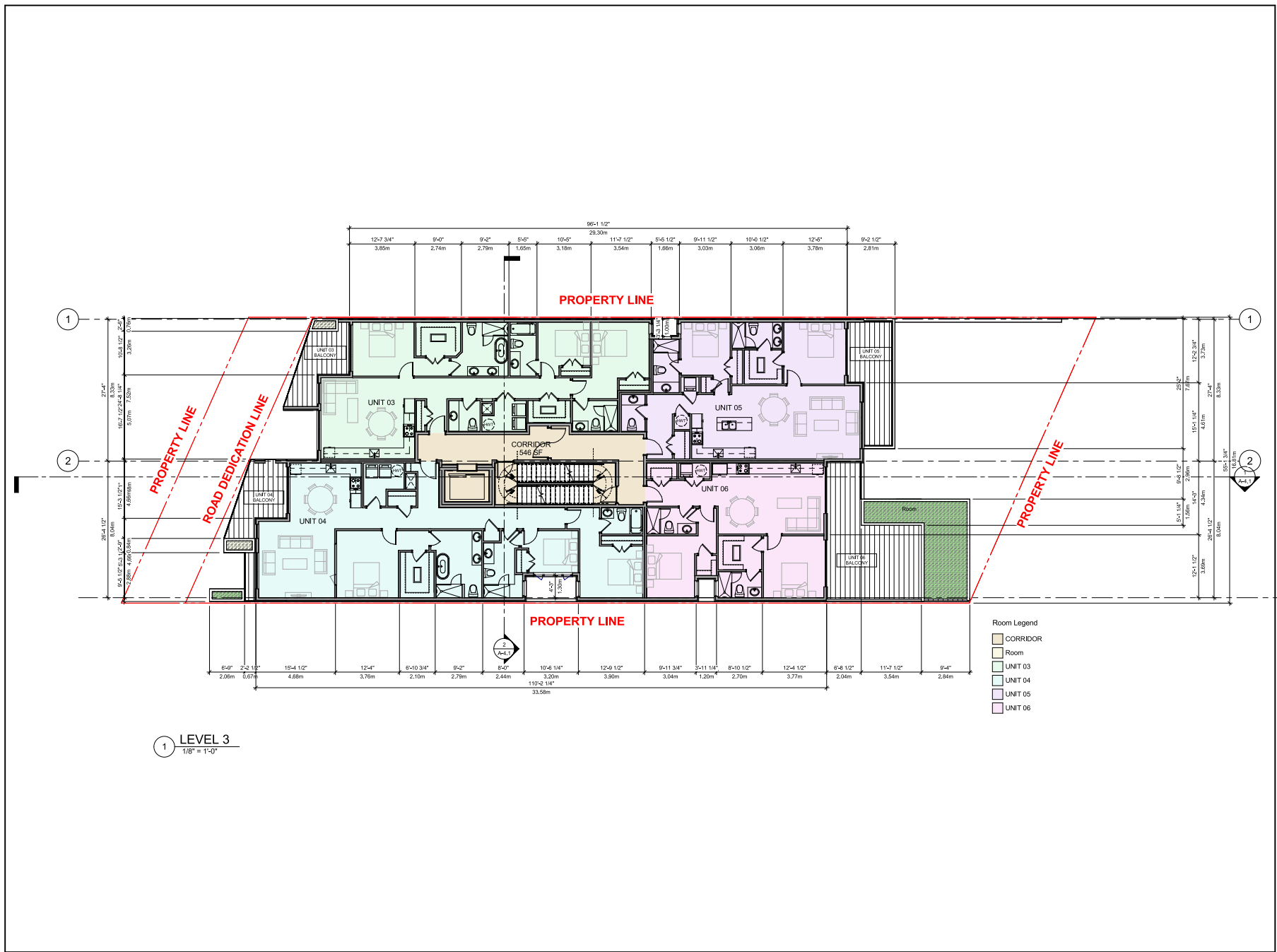
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CIP#:

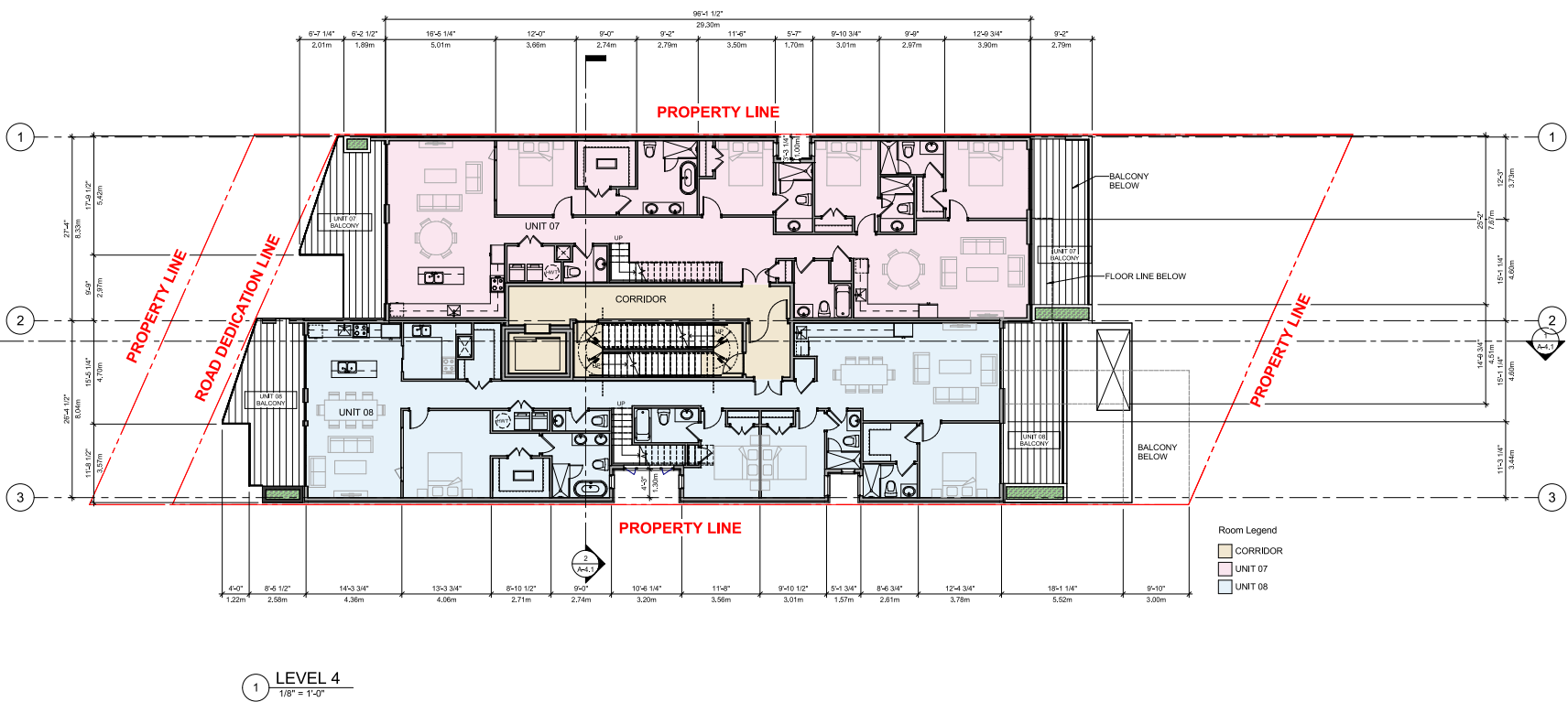
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LEVEL 3 FLOOR PLAN

DRAWING NO.: A-2.3





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SHEET TITLE:
LEVEL 4 FLOOR PLAN

DRAWING NO: **A-24**

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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PROJECT:

SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC

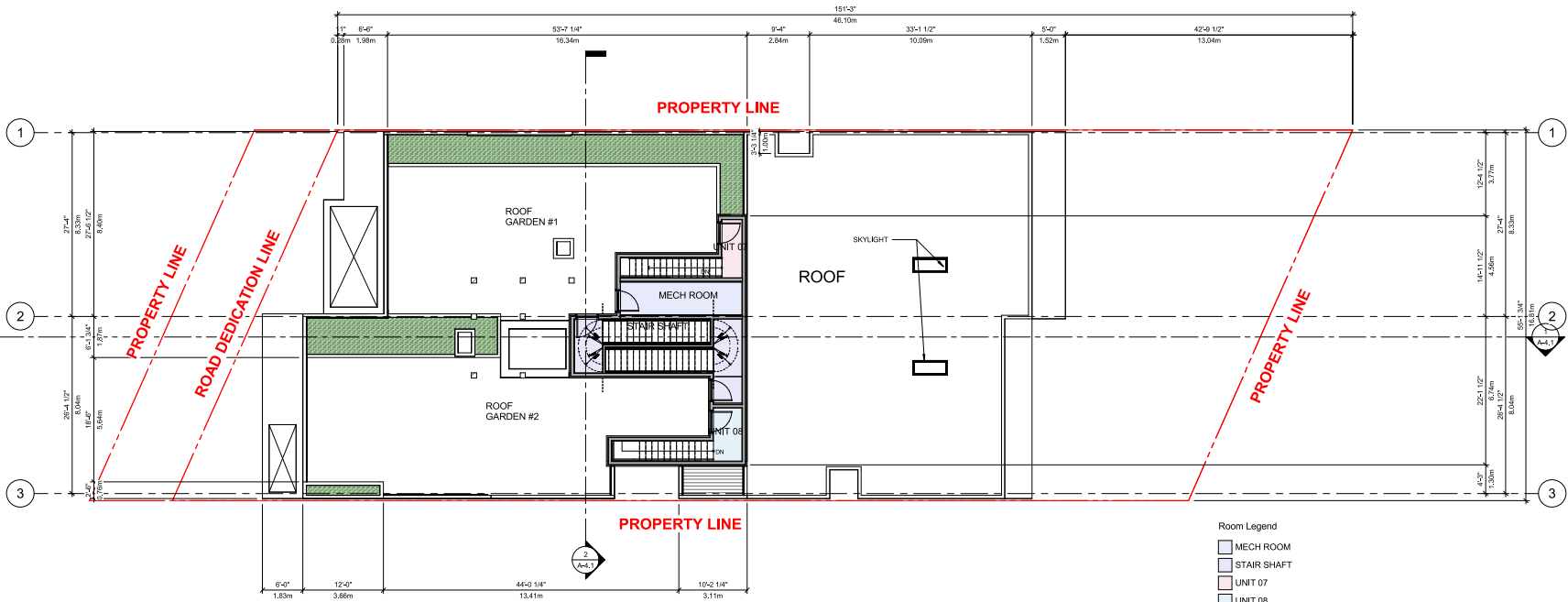
CIP#:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE: 1/8" = 1'-0"	
JOB NO: 2148	

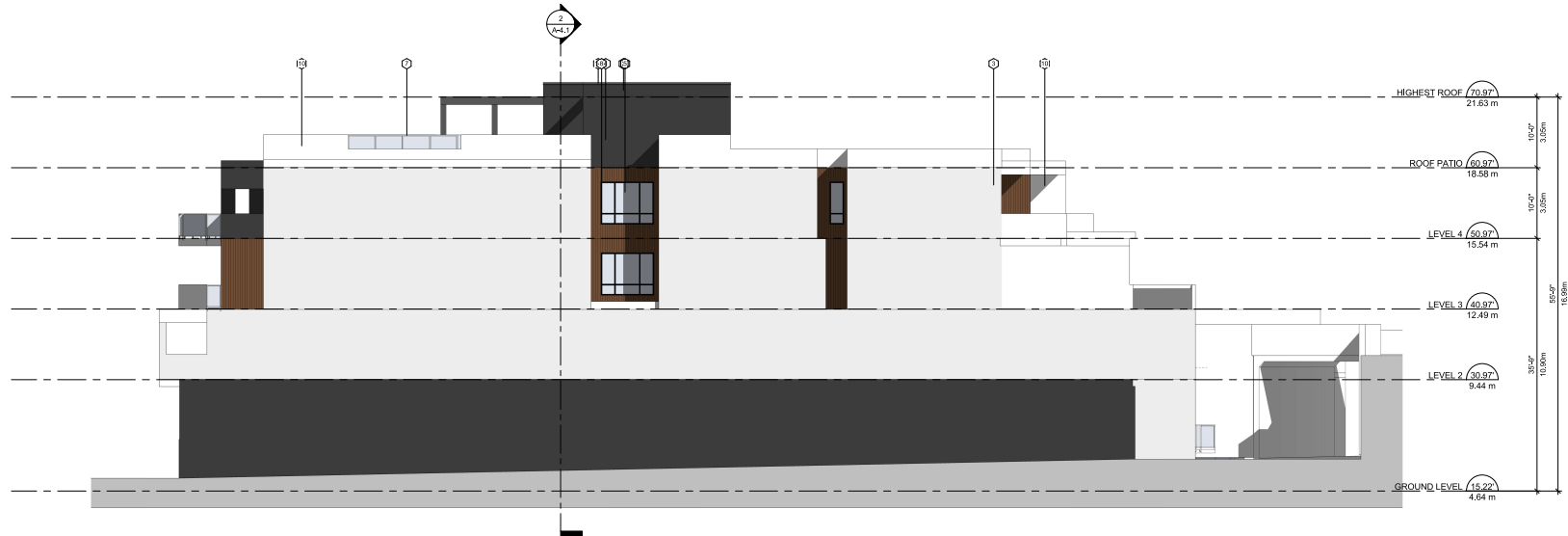
ROOF PLAN

DRAWING NO. A-2.5	REV. NO. 0
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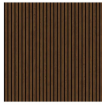
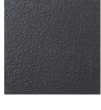

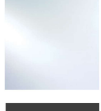





- Room Legend
- MECH ROOM
 - STAIR SHAFT
 - UNIT 07
 - UNIT 08

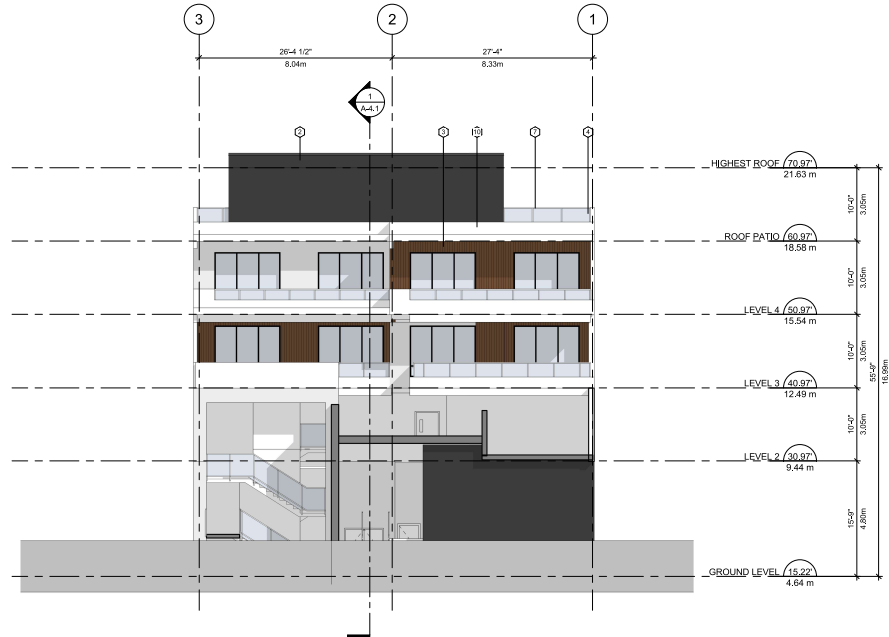
1 ROOF PATIO
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

	GLASS GUARD RAILING Clear Tempered		METAL PANEL Corrugated Metal Panel
	FIBRE CEMENT PANEL Dark Grey		CONCRETE Architectural Cast-in-Place
	FIBRE CEMENT PANEL White		THERMALLY BROKEN, DOUBLE GLAZED WINDOW Clear
	VINYL WINDOW / DOORFRAME Black		ALUMINUM GUARDRAIL White

MATERIAL LEGEND	
Key	Keynote Text
1	FIBRE CEMENT PANEL - DARK GREY
2	CORRUGATED METAL PANEL
3	CLEAR TEMPERED GLASS GUARD RAILING
4	THERMALLY BROKEN, DOUBLE GLAZED WINDOW - CLEAR
5	BRICK PANEL - FROSTED GLASS PARTITION WALL
6	ALUMINUM GUARDRAIL - WHITE
7	VINYL WINDOW / DOORFRAME - BLACK
8	EXPOSED ARCHITECTURAL CAST-IN-PLACE CONCRETE WALL IN DISTAL STAIR RAMP PLANTER
9	FINISHED METAL FLASHING - DARK GREY



2 NORTH ELEVATION
1/8" = 1'-0"

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PROJECT:
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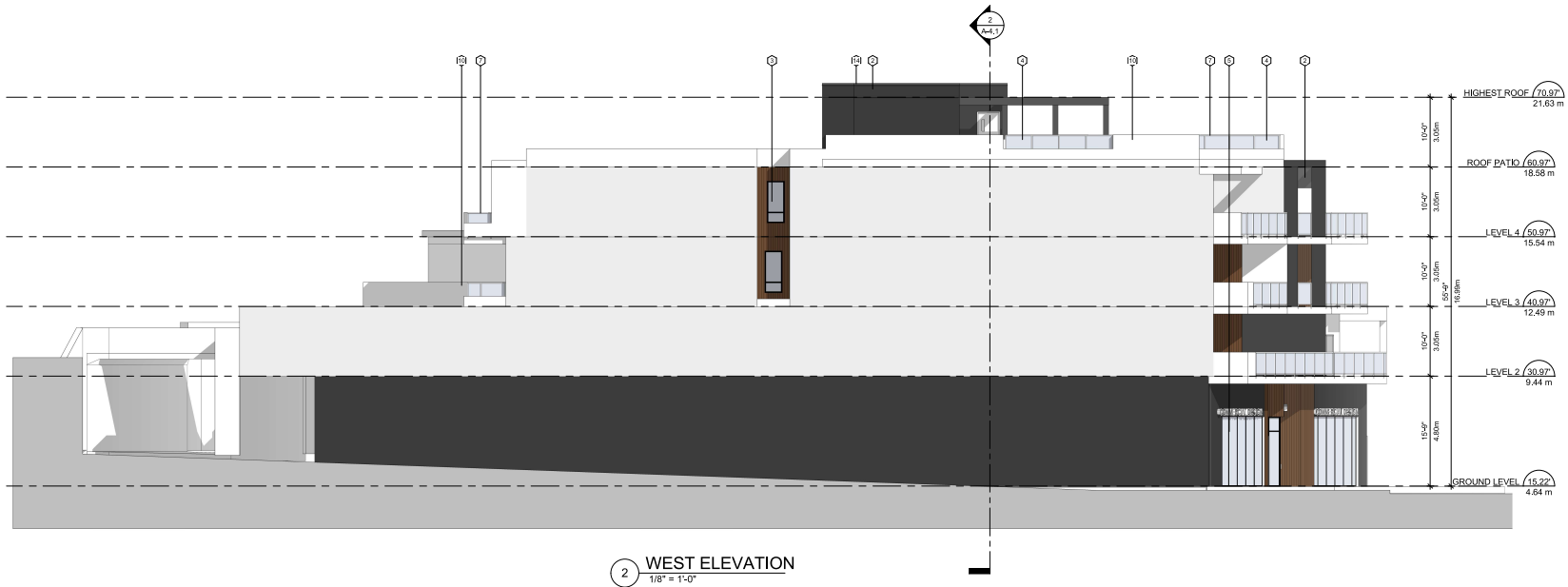
14981/14985 Marine Dr, White Rock, BC
CLIENT:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE: 1/8" = 1'-0"	
JOB NO.: 2148	

SHEET TITLE:
ELEVATIONS

MATERIAL LEGEND	
Key Value	Keynote Text
2	FIBRE CEMENT PANEL - DARK GREY
3	CORRUGATED METAL PANEL
4	CLEAR TEMPERED GLASS GUARD RAILING
5	THERMALLY BROKEN DOUBLE GLAZED WINDOW - CLEAR
6	PRIVACY SCREEN - FROSTED GLASS PARTITION WALL
7	ALUMINUM QUORONA - WHITE
8	VINYL WINDOW / DOOR FRAME - BLACK
10	EXPOSED ARCHITECTURAL CAST-IN-PLACE CONCRETE WALL/PEDESTAL/STAIR/PLANTER
11	SPARK EAT DOOR - FIBRE REINFORCED POLYESTER - BROWN GREY
12	PRE-FINISHED METAL FLASHING - DARK GREY



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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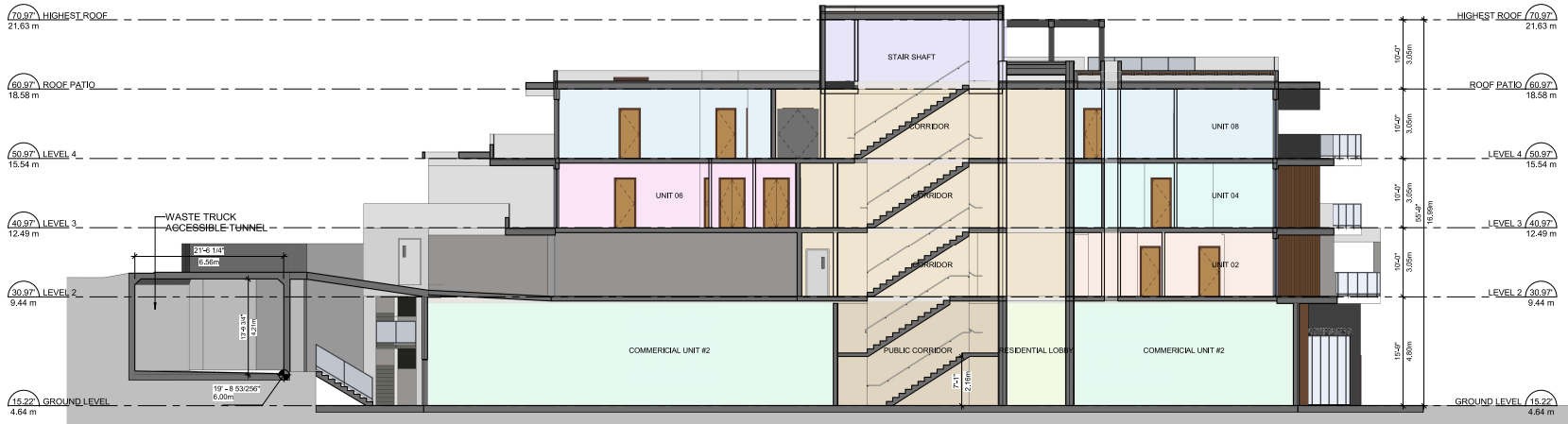
PROJECT:
SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC
CLIENT:

CONSULTANT:

DRAWN BY:	DESIGNER	SEAL:
DATE:	09/08/23	
SCALE:	1/8" = 1'-0"	
JOB NO.:	2148	

SHEET TITLE:
ELEVATIONS



1 SECTION 1
1/8" = 1'-0"



2 SECTION 2
1/8" = 1'-0"

- Room Legend
- COMMERCIAL UNIT #1
 - COMMERCIAL UNIT #2
 - CORRIDOR
 - MECH ROOM
 - PUBLIC CORRIDOR
 - RESIDENTIAL LOBBY
 - Room
 - STAIR SHAFT
 - STORAGE
 - UNIT 01
 - UNIT 02
 - UNIT 03
 - UNIT 04
 - UNIT 05
 - UNIT 06
 - UNIT 07
 - UNIT 08

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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NO.	REVISION	DATE	BY
1	Revision 1		DDP 1

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DATE
August 28, 2020

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PROJECT:

SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC

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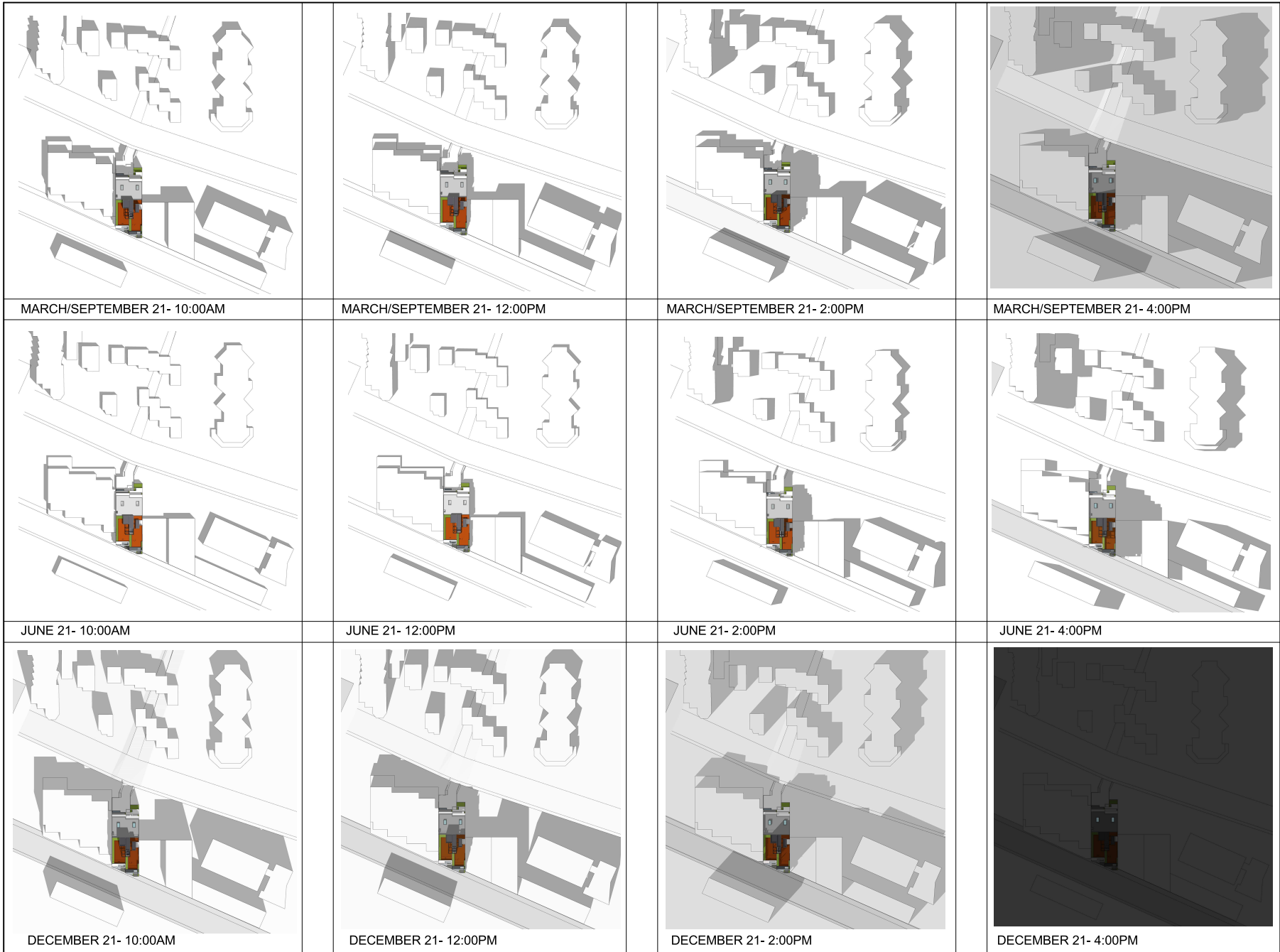
CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 08/08/23	
SCALE: 1/8" = 1'-0"	
JOB NO.: 2148	

SHEET TITLE:

SECTIONS

DRAWING NO. A-4.1	REVISION NO. 1
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BUILDER'S RESPONSIBILITY TO LAYOUT WORK
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PROJECT:
SEASIDE RESIDENCE DEVELOPMENT
14981/14985 Marine Dr, White Rock, BC
CIP#:

CONSULTANT:	
DRAWN BY: Designer	SEAL:
DATE: 08/31/24	
SCALE:	
JOB NO: 2148	

SHEET TITLE:
SHADOW STUDY



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE:	
JOB NO: 2148	

SHEET TITLE:

RENDERINGS



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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PROJECT:

SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC

CLIENT:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE:	
JOB NO:	
2148	

SHEET TITLE:

RENDERINGS



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WWW.JSARCHITECT.CA EMAIL: INFO@JSARCHITECT.CA

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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CONSULTANT:

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DATE: 09/06/23		
SCALE:		
JOB NO:		
2148		

SHEET TITLE:

RENDERINGS

DRAWING NO.	REVISION NO.
A-6.3	



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CLIENT:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE:	
JOB NO: 2148	

SHEET TITLE:

RENDERINGS

DRAWING NO.:	REV. NO.:
A-6.4	



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DEVELOPMENT PERIOD	DATE	August 28, 2024

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PROJECT:

SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC

CLIENT:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE:	
JOB NO: 2148	

SHEET TITLE:

RENDERINGS

DRAWING NO:	REV: 01/01/24
A-6.5	

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SEASIDE RESIDENCE DEVELOPMENT

14981/14985 Marine Dr, White Rock, BC
 CLIENT:

CONSULTANT:

DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE: 3/32" = 1'-0"	
JOB NO.: 2148	

AREA PLANS

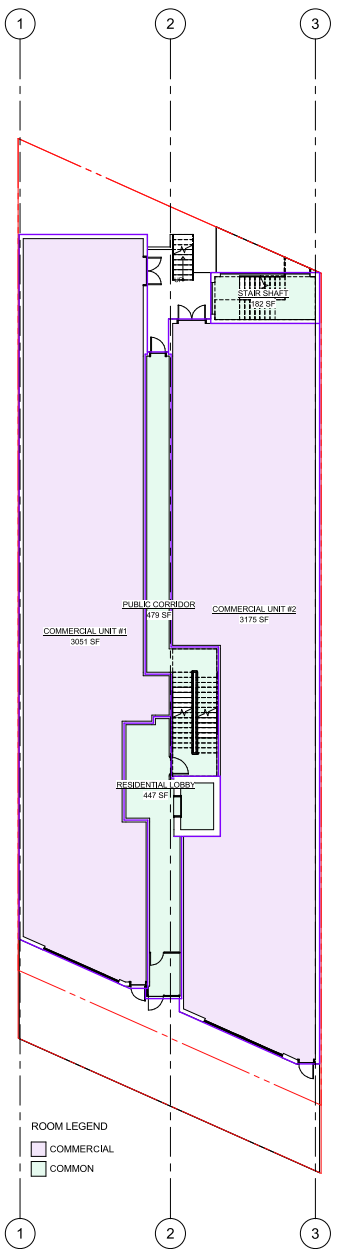
DRAWING NO. A-7.1	REV: 0/0
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FLOOR AREA SCHEDULE

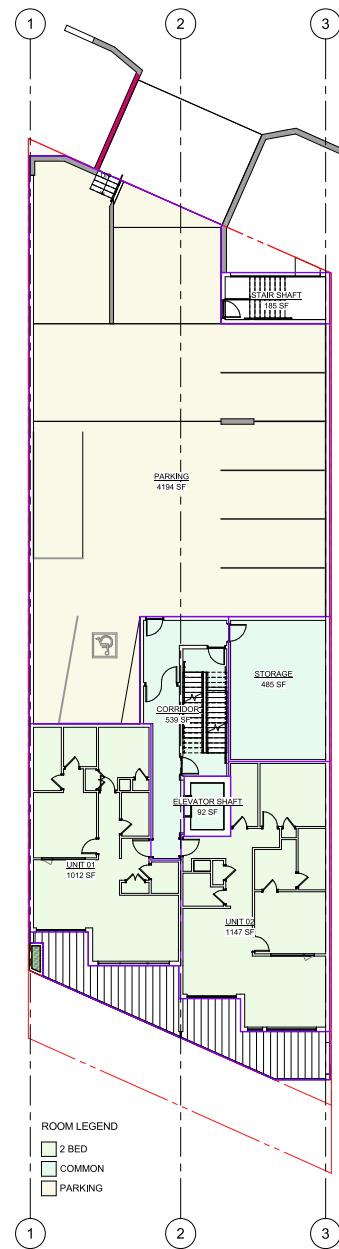
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GROUND LEVEL				
COMMERCIAL UNIT #1	3051 SF	COMMERCIAL		
COMMERCIAL UNIT #2	3175 SF	COMMERCIAL		
PUBLIC CORRIDOR	479 SF	COMMON		
RESIDENTIAL LOBBY	447 SF	COMMON		
STAIR SHAFT	132 SF	COMMON		
GROUND LEVEL				
	7334 SF			
LEVEL 2				
UNIT 01	2 BED	1013 SF		
UNIT 02	2 BED	1147 SF		
BALCONY	BALCONY	486 SF		
CORRIDOR	COMMON	239 SF		
ELEVATOR SHAFT	COMMON	82 SF		
STAIR SHAFT	COMMON	185 SF		
STORAGE	COMMON	485 SF		
PARKING	PARKING	4194 SF		
LEVEL 2				
	8134 SF			
LEVEL 3				
UNIT 03	2 BED	1135 SF		
UNIT 04	2 BED	947 SF		
UNIT 05	2 BED	1406 SF		
UNIT 06	2 BED	1063 SF		
BALCONY	BALCONY	134 SF		
BALCONY	BALCONY	304 SF		
BALCONY	BALCONY	125 SF		
BALCONY	BALCONY	119 SF		
BALCONY	BALCONY	175 SF		
CORRIDOR	COMMON	213 SF		
ELEVATOR SHAFT	COMMON	82 SF		
LEVEL 3				
	6442 SF			
LEVEL 4				
UNIT 06	3 BED	2389 SF		
UNIT 07	4 BED	2416 SF		
BALCONY	BALCONY	223 SF		
BALCONY	BALCONY	224 SF		
BALCONY	BALCONY	222 SF		
CORRIDOR	COMMON	289 SF		
ELEVATOR SHAFT	COMMON	82 SF		
LEVEL 4				
	6060 SF			
ROOF PATIO				
UNIT 06	3 BED	124 SF		
UNIT 07	4 BED	126 SF		
ROOFTOP GARDEN #1	AMENITY	495 SF		
ROOFTOP GARDEN #2	AMENITY	1039 SF		
STAIR SHAFT	COMMON	246 SF		
MECH ROOM	SERVICE	126 SF		
ROOF PATIO	PARKING	294 SF		
GRAND TOTAL				
				30560 SF

FAR CALCULATION AREA

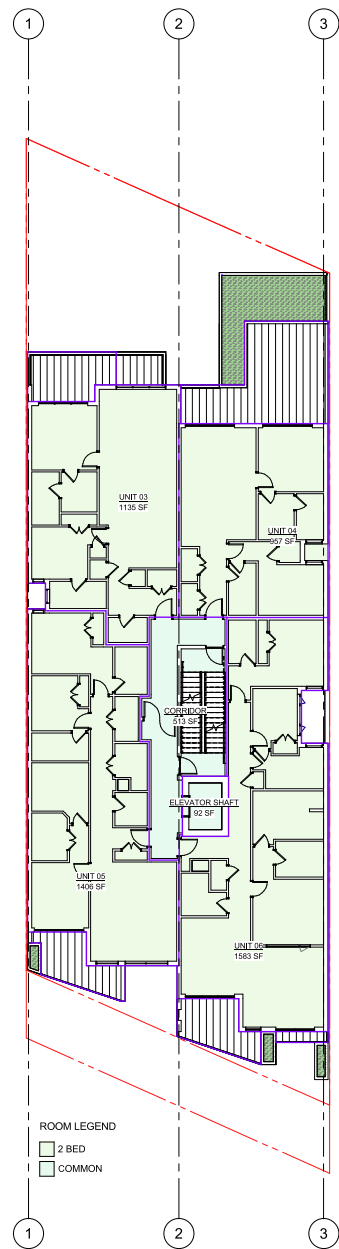
Name	Area	Use	Type	Area
Not Flood				
ELEVATOR SHAFT	COMMON	Not Flood		
Not Flood				
	7334 SF			
GROUND LEVEL				
COMMERCIAL UNIT #1	COMMERCIAL	3051 SF		
COMMERCIAL UNIT #2	COMMERCIAL	3175 SF		
PUBLIC CORRIDOR	COMMON	479 SF		
RESIDENTIAL LOBBY	COMMON	447 SF		
STAIR SHAFT	COMMON	132 SF		
GROUND LEVEL				
	1013 SF			
LEVEL 2				
UNIT 01	2 BED	1013 SF		
UNIT 02	2 BED	1147 SF		
CORRIDOR	COMMON	239 SF		
ELEVATOR SHAFT	COMMON	82 SF		
STAIR SHAFT	COMMON	185 SF		
LEVEL 2				
	2076 SF			
LEVEL 3				
UNIT 03	2 BED	1135 SF		
UNIT 04	2 BED	947 SF		
UNIT 05	2 BED	1406 SF		
UNIT 06	2 BED	1063 SF		
CORRIDOR	COMMON	213 SF		
ELEVATOR SHAFT	COMMON	82 SF		
LEVEL 3				
	5666 SF			
LEVEL 4				
UNIT 06	3 BED	2389 SF		
UNIT 07	4 BED	2416 SF		
CORRIDOR	COMMON	289 SF		
ELEVATOR SHAFT	COMMON	82 SF		
LEVEL 4				
	5477 SF			
ROOF PATIO				
UNIT 06	3 BED	124 SF		
UNIT 07	4 BED	126 SF		
STAIR SHAFT	COMMON	246 SF		
ROOF PATIO	PARKING	294 SF		
GRAND TOTAL				
				21988 SF



1 GROUND LEVEL
3/32" = 1'-0"



2 LEVEL 2
3/32" = 1'-0"



3 LEVEL 3
3/32" = 1'-0"

ROOM LEGEND
 [] COMMERCIAL
 [] COMMON

ROOM LEGEND
 [] 2 BED
 [] COMMON
 [] PARKING

ROOM LEGEND
 [] 2 BED
 [] COMMON

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PROJECT:

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14981/14985 Marine Dr, White Rock, BC

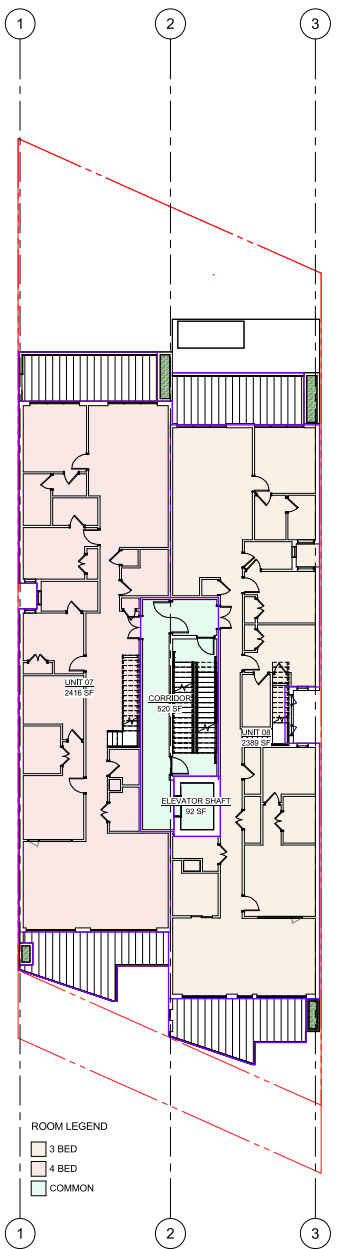
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CONSULTANT:

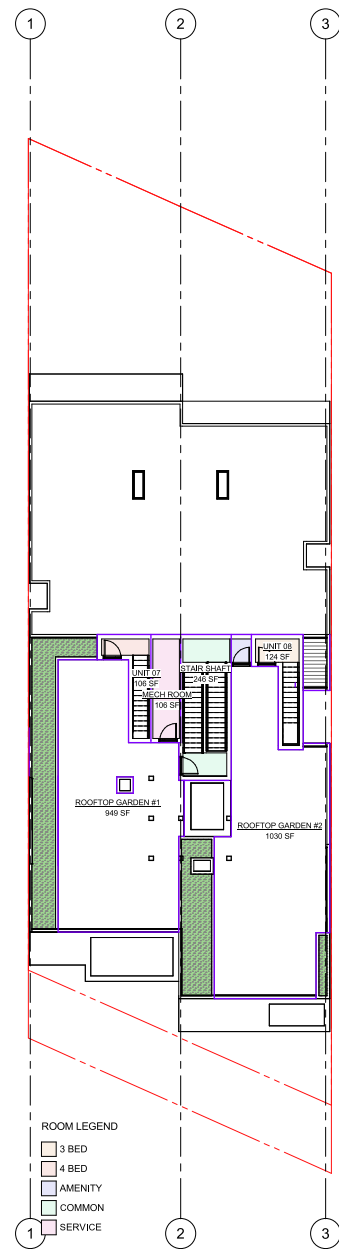
DRAWN BY: Designer	SEAL:
DATE: 09/08/23	
SCALE: 3/32" = 1'-0"	
JOB NO: 2148	

SHEET TITLE:
AREA PLANS

DRAWING NO.:	REV. NO.:
A-7.2	



1 LEVEL 4
3/32" = 1'-0"



2 ROOF PATIO
3/32" = 1'-0"