

# THE CORPORATION OF THE CITY OF WHITE ROCK



## DEVELOPMENT VARIANCE PERMIT NO. 459

1. Development Variance Permit No. 459 is issued to **PARVIZ DEHGHAN MANSHADI** as the owner and shall apply only to ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description: LOT 7 SECTION 10 TOWNSHIP 1 NEW  
WESTMINSTER DISTRICT PLAN 4170  
PID: 011-080-493

Hereinafter called "Lands"  
As indicated on Schedule A.

2. Development Variance Permit No. 459 is issued pursuant to the authority of Section 498 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1 as amended, and in conformity with the procedures prescribed by 'White Rock Planning Procedures Bylaw, 2017, No. 2234' as amended.
3. The provisions of 'White Rock Zoning Bylaw, 2024, No. 2506' as amended, is varied as follows:
  - (a) Section 6.3.9 (2) is varied to reduce the minimum setback requirements for a structure from the side yard setback from 1.2m to 0.55m on the Eastern lot line.
  - (b) Section 6.3.9 (3) is varied to reduce the minimum setback requirements for a structure from the side yard setback from 1.2m to 0.0m on the Western lot line.
4. Said lands shall be developed strictly in accordance with the terms and conditions and provisions of this Development Variance Permit and any plans and specifications attached to this Development Variance Permit which shall form a part hereof.

### Terms and conditions:

- (a) This Development Variance Permit (DVP) is for the construction of stairs and balconies for an existing single-family home.
- (b) The siting and works of these structures shall conform to the drawings prepared by DAG Design & Company (revision date June 4, 2024) attached hereto as Schedule B.
- (c) The applicant must obtain an easement from the property legally described as LOT 6, PLAN NWP4170, PART NW1/4, SECTION 10, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT in order to facilitate the stairs that are subject to this development variance permit as the stairs will be located on the property legally

described LOT 6, PLAN NWP4170, PART NW1/4, SECTION 10, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT. This easement must be in priority to any other charges and will be in perpetuity.

- (d) Registration of a Section 219 Restrictive Covenant between the City and both properties owners to prohibit the alteration of the stairs and balconies.
  - (e) The Development Variance Permit (DVP) approval is valid under the condition that if the stairs or house are demolished or damaged beyond 75% as per the Local Government Act the variance permit will terminate.
5. Where the holder of this Development Variance Permit does not receive final approval of a Building Permit for the proposed development within two (2) years after the date this Permit was issued, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized the extension of the Permit.
6. This Development Variance Permit does not constitute a Building Permit.

Authorizing Resolution passed by the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

This Development Variance Permit has been executed at the City of White Rock, British Columbia, the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

The Corporate Seal of THE CORPORATION  
OF THE CITY OF WHITE ROCK was hereunto  
affixed in the presence of:

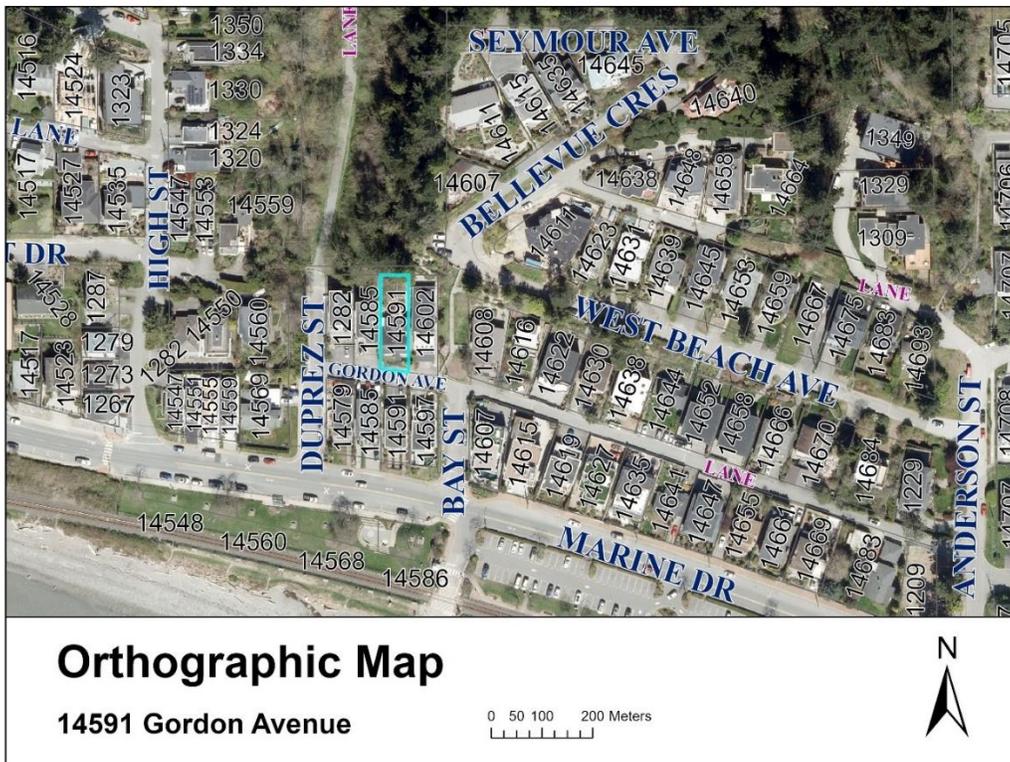
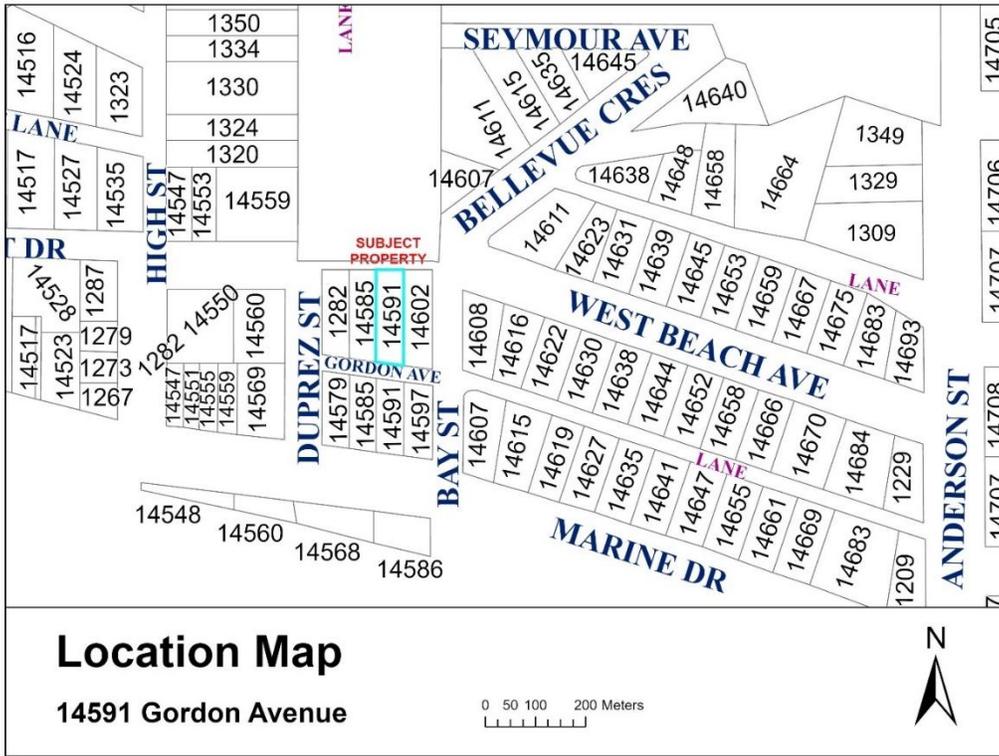
---

Mayor – Megan Knight

---

Director of Corporate Administration – Tracey Arthur

**Schedule A**  
**Location and Orthographic Maps**



# Schedule B Drawings

