

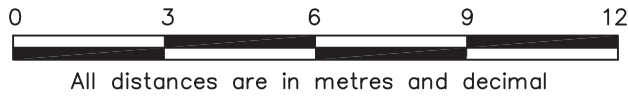
TOPOGRAPHIC SURVEY PLAN OF LOT 7 SECTION 10 TOWNSHIP 1 NWD PLAN 4170

PID: 011-080-493

Civic Address:

#14591 Gordon Avenue
White Rock, B.C.

SCALE 1:150

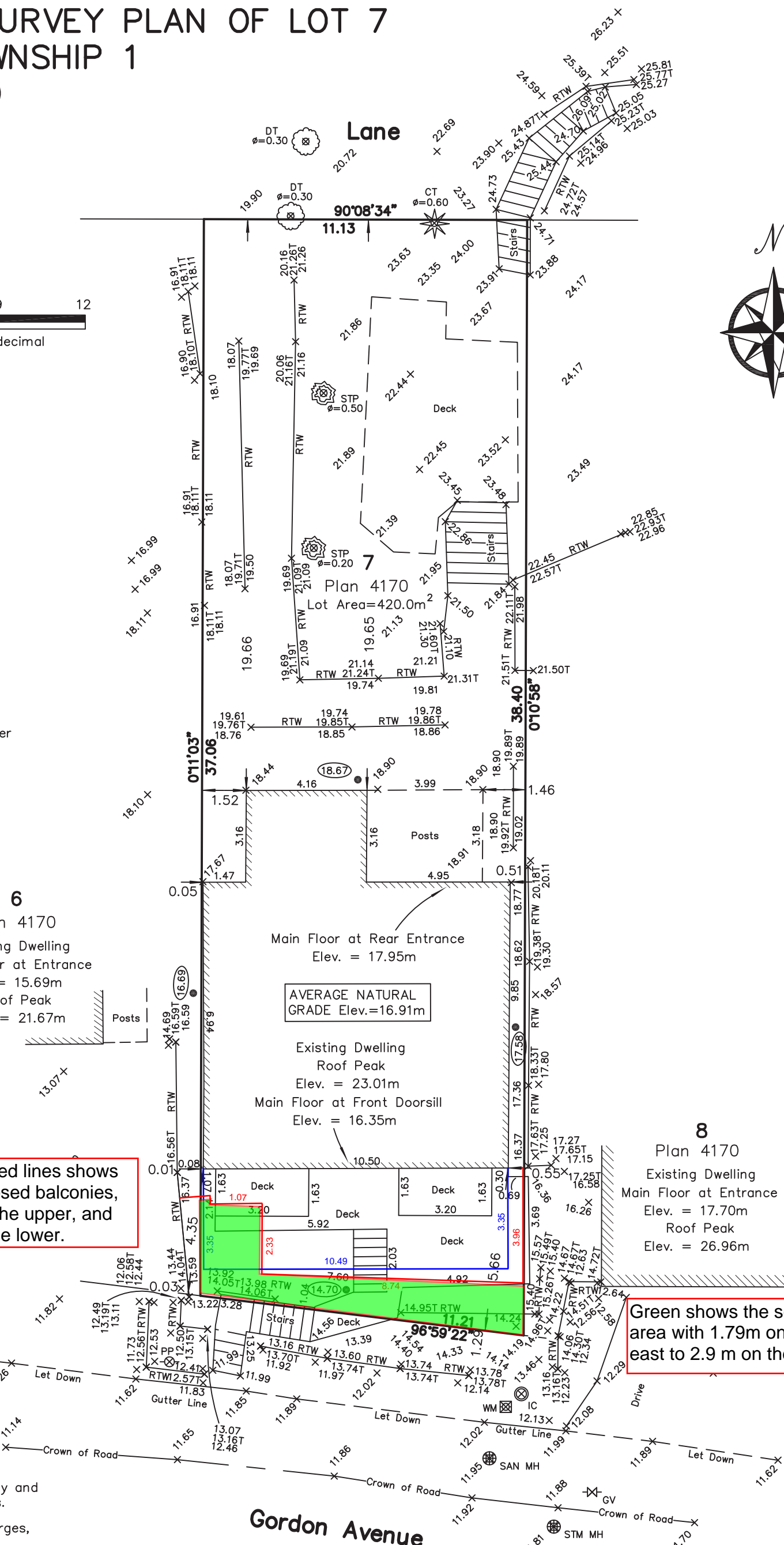


Elevation Derivation

Elevations are geodetic derived from the City of White Rock Control Monument No. 88H3853 Datum CVD28GVRD 2018 Elevation=8.394m

LEGEND :

- WM Denotes water meter
- PP Denotes power pole
- GV Denotes gas valve
- SAN MH Denotes sanitary manhole
- STM MH Denotes storm manhole
- x 0.00 Denotes spot elevation
- RTW Denotes retaining wall
- IC Denotes inspection chamber
- STP Denotes stump of tree
- DT Denotes deciduous tree
- CT Denotes coniferous tree
- — Denotes current contours (based on field survey)



6
Plan 4170
Existing Dwelling
Main Floor at Entrance
Elev. = 15.69m
Roof Peak
Elev. = 21.67m

Main Floor at Rear Entrance
Elev. = 17.95m

AVERAGE NATURAL GRADE Elev.=16.91m

Existing Dwelling
Roof Peak
Elev. = 23.01m
Main Floor at Front Doorsill
Elev. = 16.35m

8
Plan 4170
Existing Dwelling
Main Floor at Entrance
Elev. = 17.70m
Roof Peak
Elev. = 26.96m

Colored lines shows proposed balconies, blue the upper, and red the lower.

Green shows the setback area with 1.79m on the east to 2.9 m on the west.

Lot dimensions according to field survey and Land Title and Survey Authority records.

This plan does not show non-plan charges, liens or interests.

This plan was prepared for inspection purposes and is for the exclusive use of our client. This documents shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

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COMPASS LAND SURVEYING LTD.
Professional Land Surveyors

#202-8381 128th Street
Surrey, B.C. V3W 4G1
Tel: 604-503-6898

Email: Office@CompassSurveys.com

File No.: 2201016 T9

This topographic survey re-certified correct this 29th day of May, 2024.

This topographic survey completed and certified correct this 28th day of February 2022.

Shou Peng Liu -- BCLS - ABCLS

Digitally signed by Shou Peng Liu
- BCLS - ABCLS
DN: c=CA, o=CertifIO Pro, ou=Association of British Columbia Land Surveyors,
0.9.2342.19200300.100.1.1=933,
cn=Shou Peng Liu - BCLS - ABCLS
Date: 2024.05.31 10:19:45 -0700'



SHOUPENG LIU



Proposed balconies and stairs boundary area.

Existing boundary of Decks and stairs.

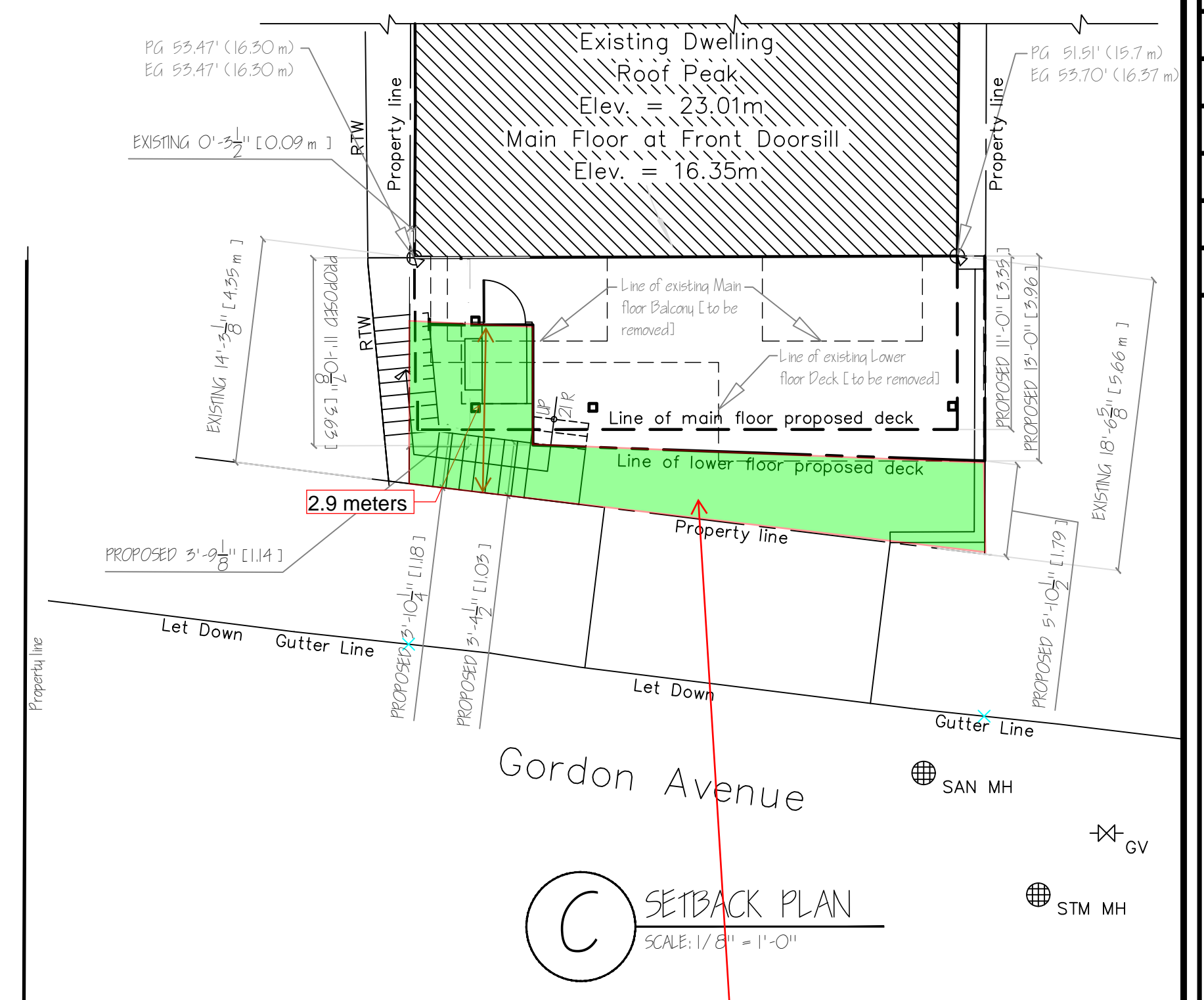
REVISIONS	BY
May 31, 2024	MEUD
June 4, 2024	MEUD

DAG DESIGN & COMPANY
 976 Lee Street, White Rock, B.C., V4B 4N8
 604. 538. 2981
 DAGDESIGN.CO.CA

MANSHADI RESIDENCE

#14591 Gordon Avenue White Rock, B.C.

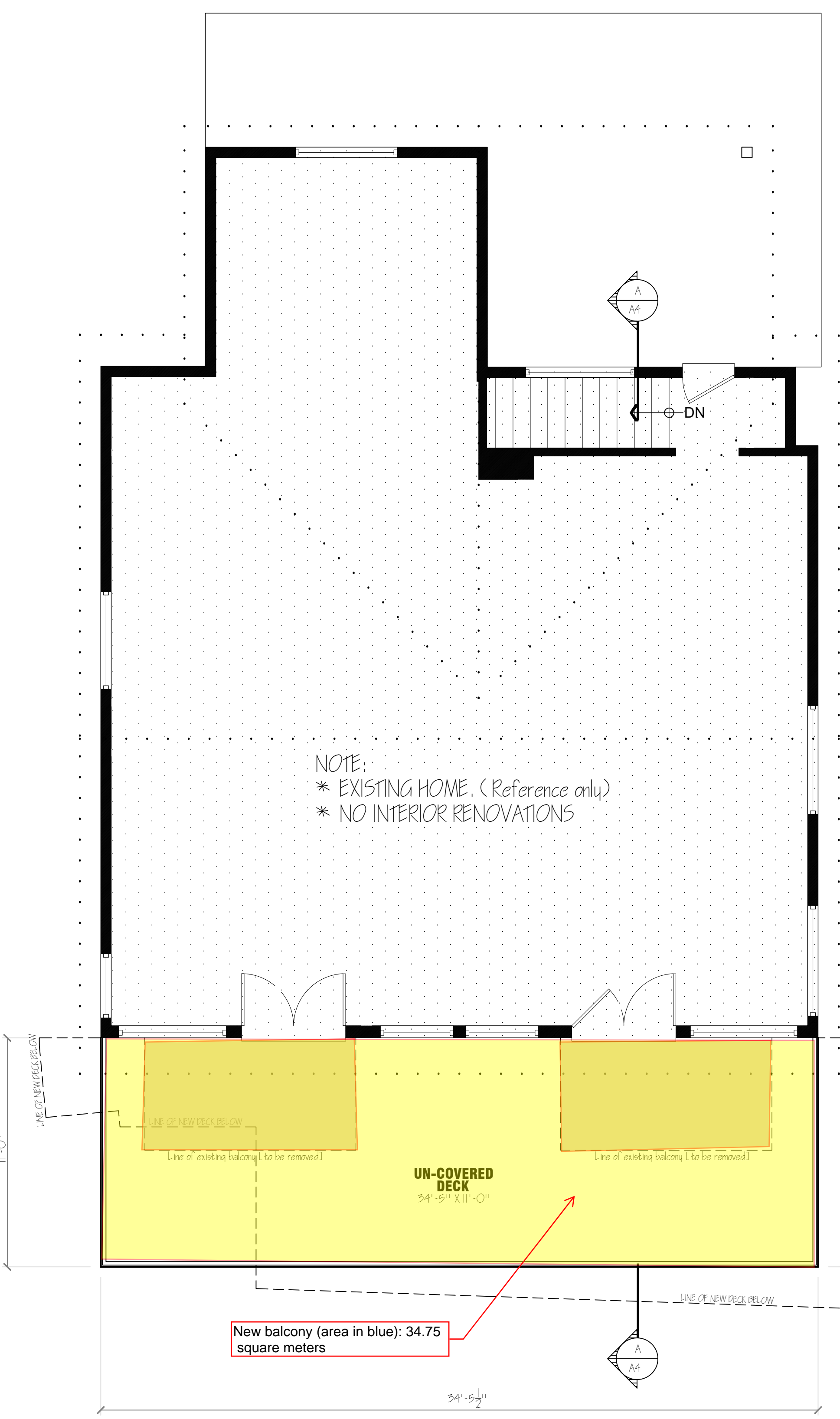
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Job	
Sheet	A3 of 4 Sheets



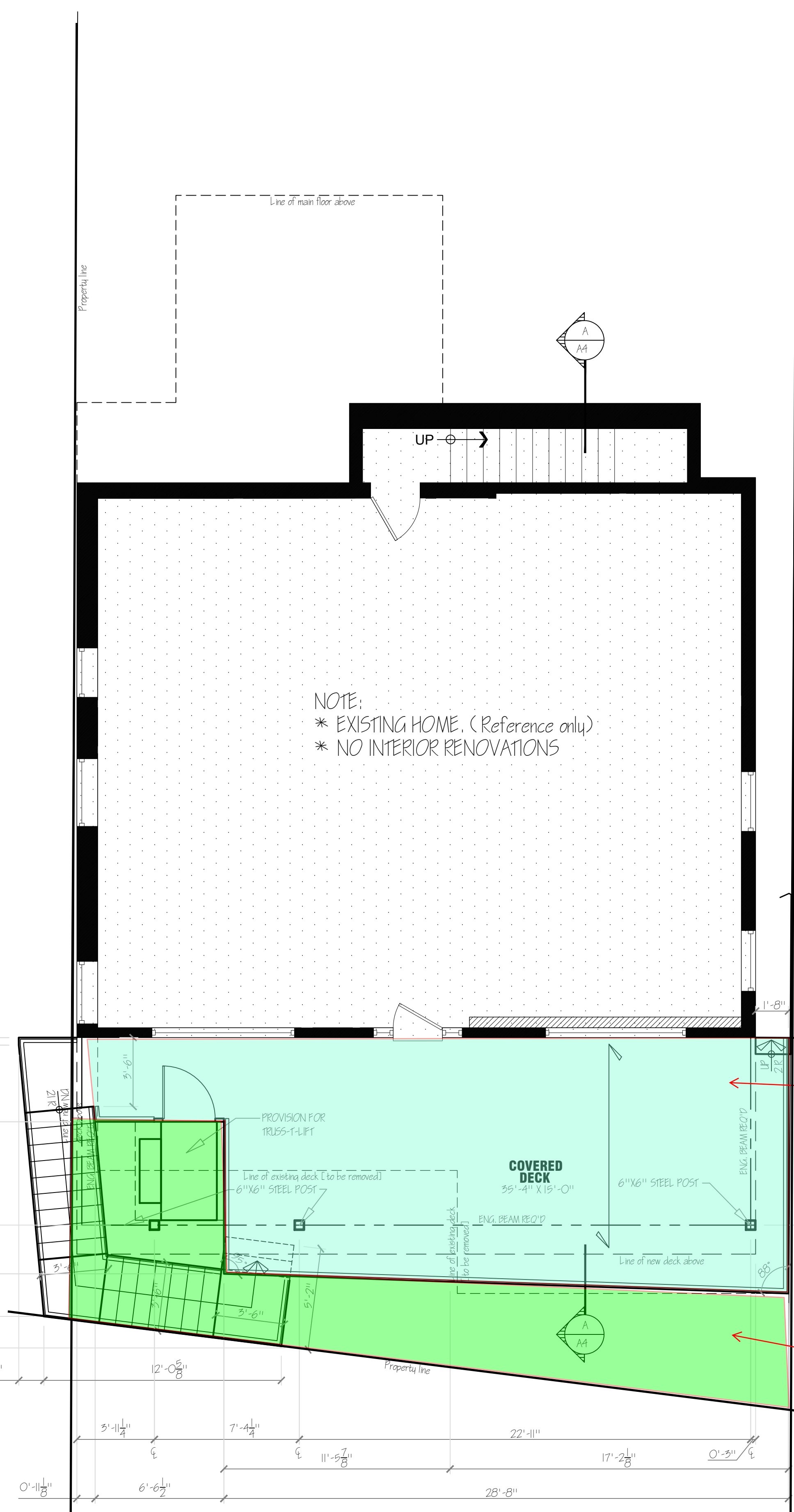
Green shows the setback area with 1.79 on the east to 2.9 meters on the west. Please note no setbacks on east or west, matching existing set up.

New balcony (area in blue): 37.35 square meters

Green shows the setback area with 1.79 on the east to 2.9 meters on the west. Please note no setbacks on east or west, matching existing set up.



A MAIN FLOOR PLAN (1250.0 square Ft.)
 SCALE: 1/4" = 1'-0"



B LOWER FLOOR PLAN (1044.0 square Ft.)
 SCALE: 1/4" = 1'-0"

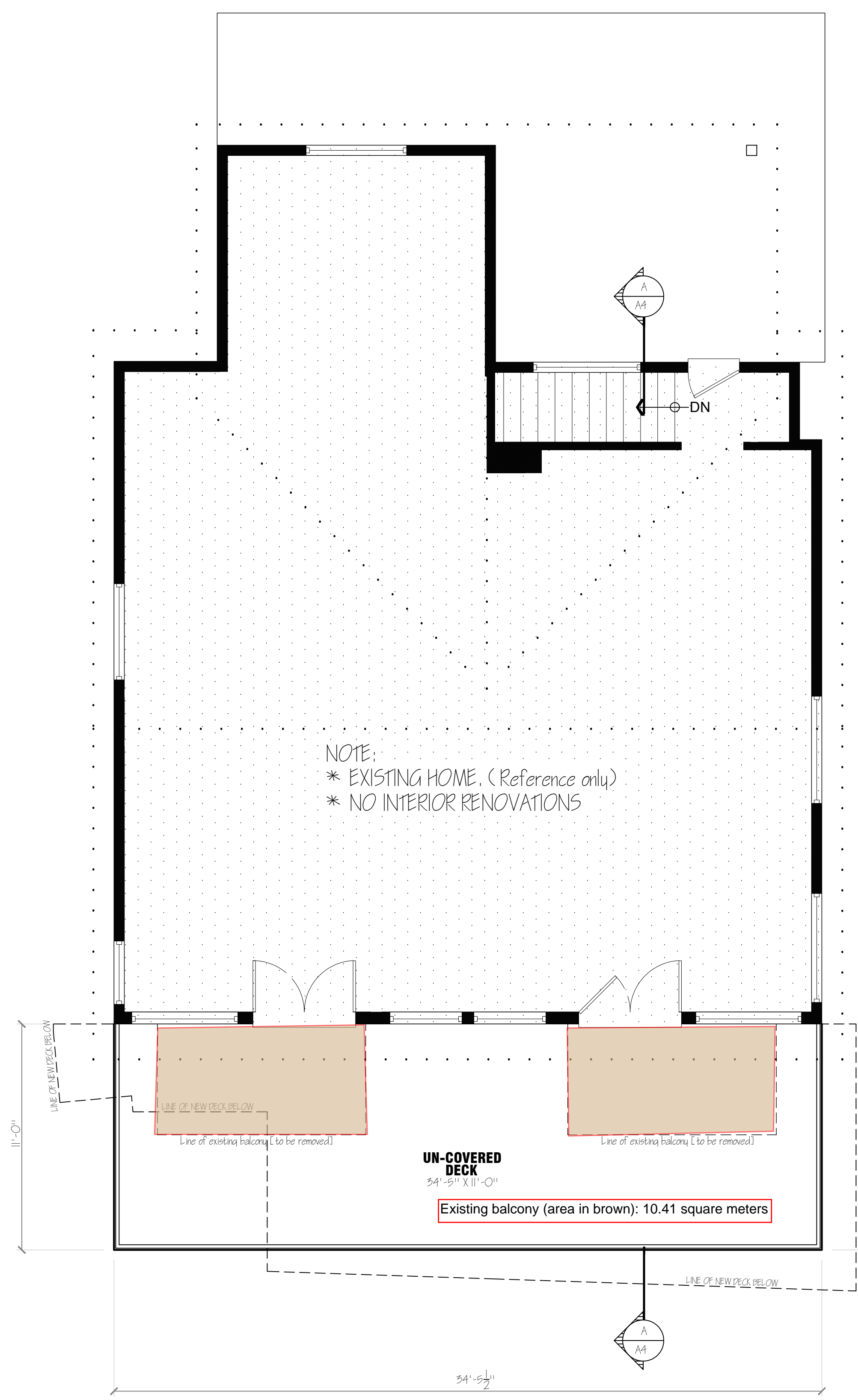
REVISIONS	BY
May 31, 2024	MLD
June 4, 2024	MLD

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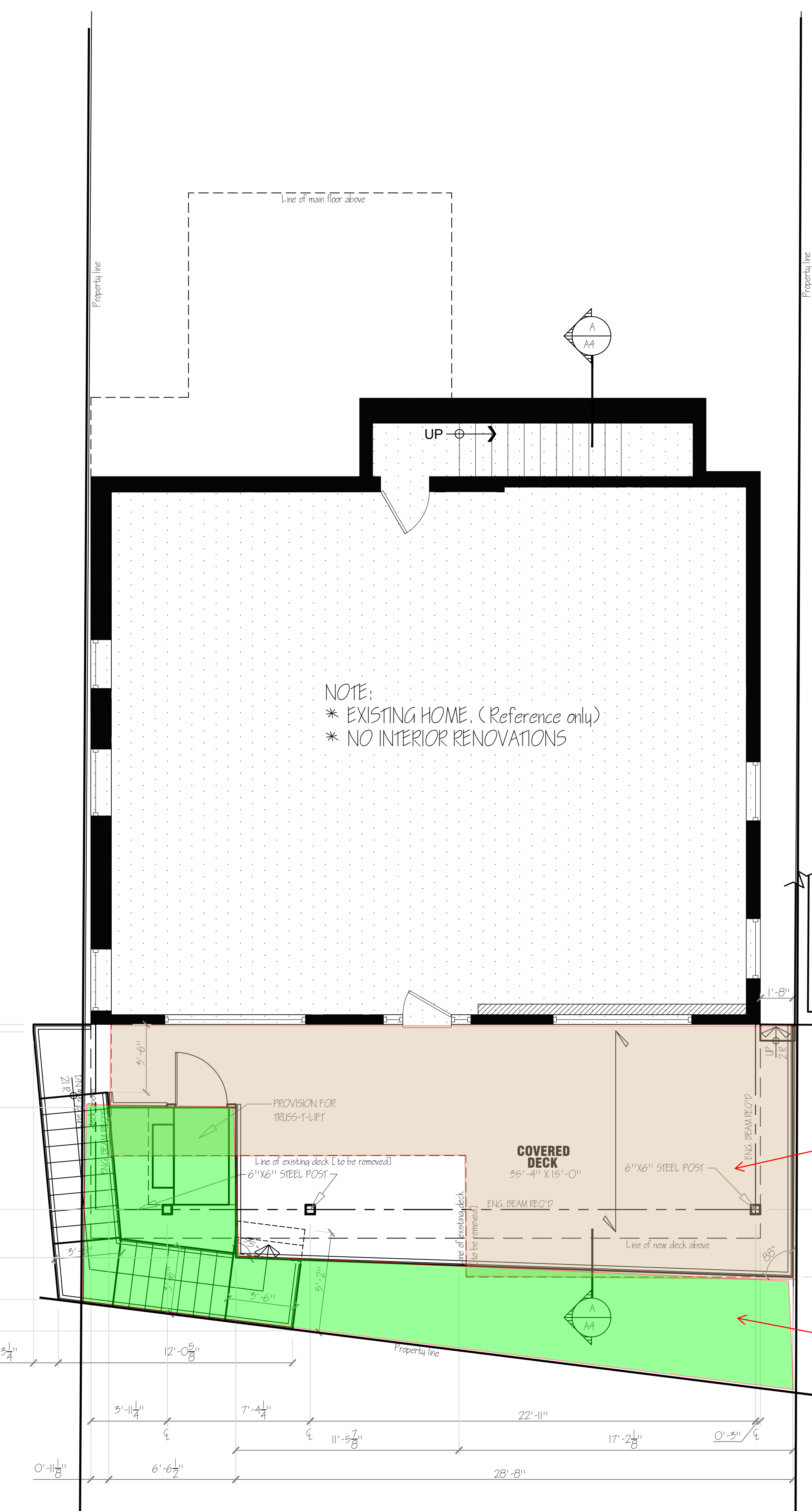
MANSHADI RESIDENCE

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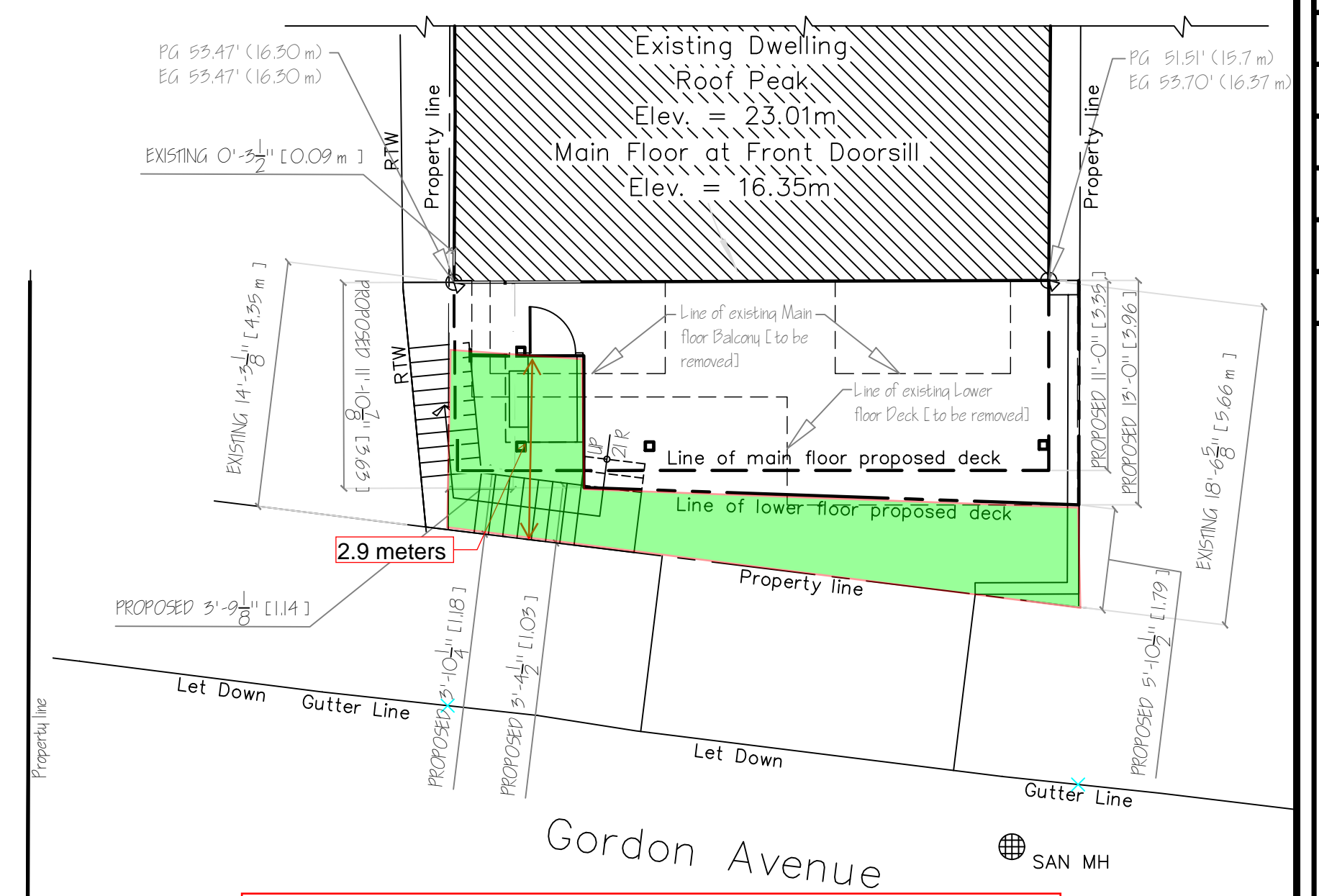
Date	Feb. 29, 2024
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Sheet	A3 of 4 Sheets



A MAIN FLOOR PLAN (1250.0 square Ft.)
 SCALE: 1/4" = 1'-0"



B LOWER FLOOR PLAN (1044.0 square Ft.)
 SCALE: 1/4" = 1'-0"



C SETBACK PLAN
 SCALE: 1/8" = 1'-0"

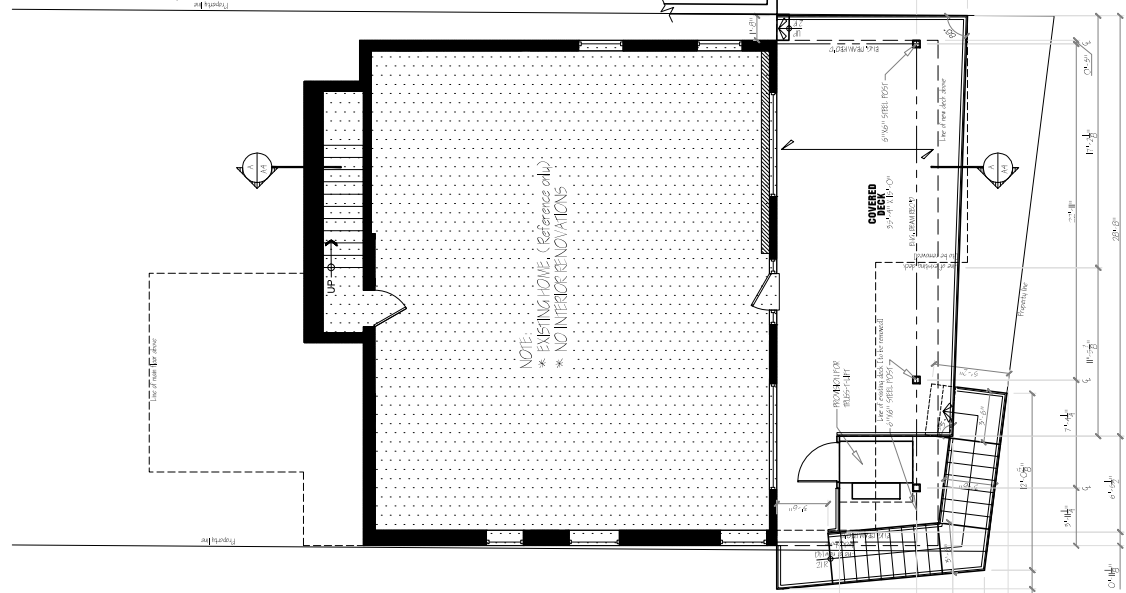
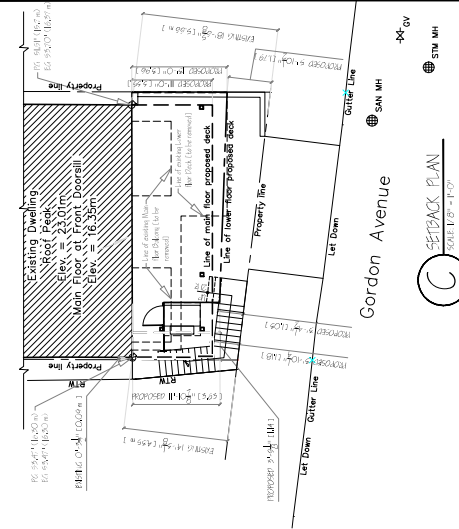
REVISIONS	BY	DATE
1	MM	May 31, 2024
2	MM	June 4, 2024

DAG DESIGN & COMPANY
 604 538 2981
 D. MORGENTHAU
 576 GORDON AVENUE WHITE ROCK, B.C. V4B 4N8
 VANCOUVER, BC
 10% IS APPLICABLE TO ALL SERVICES PROVIDED BY THE ARCHITECT.

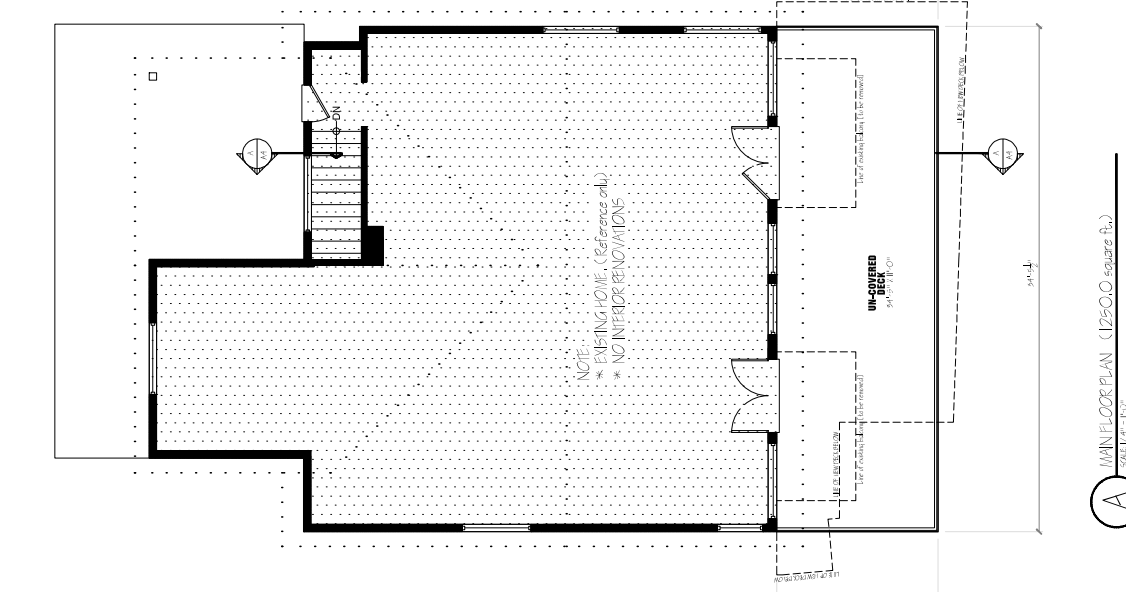
MANSHADI RESIDENCE

#14591 Gordon Avenue White Rock, B.C.

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Drawn:	MM
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Drawn:	MM
Scale:	1/4" = 1'-0"
Sheet:	4



B LOWER FLOOR PLAN (1044.0 square ft.)
SCALE 1/4" = 1'-0"



A MAIN FLOOR PLAN (1250.0 square ft.)
SCALE 1/4" = 1'-0"