

The Corporation of the
CITY OF WHITE ROCK



Board of Variance
AGENDA

Wednesday, June 28, 2023, 3:30 p.m.

City Hall Council Chambers

15322 Buena Vista Avenue, White Rock, BC, V4B 1Y6

	Pages
1. CALL TO ORDER	
2. ADOPTION OF AGENDA	
RECOMMENDATION THAT the Agenda for the Board of Variance meeting scheduled for June 28, 2023, be approved.	
3. ADOPTION OF MINUTES	3
RECOMMENDATION THAT the board of variance adopts the minutes from the February 23, 2022 meeting as circulated.	
Note: it is acknowledged that all three members are newly appointed board members for the term 2023-2024 and the minutes are provided for information.	
4. DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES WELCOME AND ROUNDTABLE INTRODUCTION OF MEMBERS AND STAFF	
5. NOMINATION AND ELECTION	
Board of variance members to nominate a Chair as required by Section 539(1) of the <i>Local Government Act</i> . Note: The Chair may then appoint a member of the board of variance as acting chair to preside in the absence of the Chair.	
6. COMMITTEE CODE OF CONDUCT AGREEMENT	5
The board of variance members are to sign the agreement and return such to the Director of Planning and Development Services during the meeting.	

7.	ADOPTION OF MEETING SCHEDULE FOR 2023	7
	<u>RECOMMENDATION</u>	
	THAT the board of variance adopt the meeting schedule for 2023 as presented.	
	Note: The Chair may request additional meetings and, with input from the board, revise the meeting schedule as required to ensure quorum.	
8.	APPEAL SUBMISSIONS TO THE BOARD OF VARIANCE	
8.1	BOV 22-031, 15259 Marine Drive	8
	To accommodate the construction of stairs to project into a front yard and exterior side yard setback, the applicant is seeking a variance to:	
	i. Permit new stairs to project 3.38m into front yard setback, and 2.19m into side yard setback. (Zoning Bylaw Section 4.13.3(a))	
8.2	BOV22-033, 15048 Buena Vista Avenue	18
	To accommodate the construction of an awning built without permits, encroaching into required angle of containment. The applicant is seeking a variance to:	
	i. Permit the projection of awning encroaching into the angle of containment. (Zoning Bylaw Section 4.9)	
8.3	BOV23-006, 14693 West Beach Avenue	27
	To accommodate the construction of a new single-family dwelling, the applicant is seeking a variance to:	
	i. Reduce the minimum exterior side yard setback from 3.80m to 1.50m (Zoning Bylaw Section 6.1.6 (1))	
9.	CONCLUSION OF MEETING	

PRESENT: L. Ebenal, Chairperson
G. Parkin

ABSENT: J. Gill

GUESTS: Applicant/Agent, 15708 Cliff Avenue
Owner/Resident, 15719 Cliff Avenue
Owner/Resident, 15728 Cliff Avenue
Owner/Resident, 1130 Finlay Street
Owner/Resident, 1080 Lee Street
Owner/Resident, 1070 Lee Street
Owner/Resident, 1111 Lee Street

STAFF: J. Calenda, Interim Director, Planning & Development Services
N. Syam, Planner
J. Pelzman, Planning & Development Assistant II
W. Berg, Manager, Building & Bylaw Enforcement

1. CALL TO ORDER

The meeting was called to order at 3:30 p.m.

2. ADOPTION OF AGENDA

It was **MOVED** and **SECONDED**

THAT the Board of Variance adopts the February 23, 2022, agenda as circulated.

CARRIED

3. ADOPTION OF MINUTES

It was **MOVED** and **SECONDED**

THAT the Board of Variance adopts the minutes from the April 28, 2021, meeting as circulated.

CARRIED

4. APPEAL SUBMISSIONS TO THE BOARD OF VARIANCE

BOV 22-003, 15708 Cliff Avenue

The Board heard from the Applicant (Agent), Sheetal Sunderji, who was seeking a variance to:

- i. Reduce the minimum exterior side yard setback from 7.5m to 4.2m (Zoning Bylaw Section 6.1.6).

The Board heard from five (5) members of the public who were in attendance, all of them spoke in opposition to the application.

The Board asked a question to the Applicant about why there were no drawings that illustrated how the proposed house design would look with the elevator and widened staircase if it had to comply with the standard setback requirements of the RS-1 Zone.

The Applicant responded by saying that the house would be very narrow, and it would be difficult to accommodate everything in the home including the elevator, widened staircase, and widened doors. The Applicant also referenced the setbacks of two (2) neighbouring properties (15709 Cliff Avenue and 15738 Cliff Avenue) and noted that they had requested 3.8m setback variances which were previously approved.

There were fifteen (15) written comments received regarding the application for the Board's consideration, all of which expressed general opposition to the application.

The Board expressed concern regarding the house design as it pertains to the hardship. There was no indication that the proposed house design could not work with the standard setback requirements of the RS-1 Zone.

The Chairperson sought a motion on the appeal as a whole:

It was **MOVED** by G. Parkin and **SECONDED** by L. Ebenal

THAT the appeal be granted for a variance to Section 6.1.6 of White Rock Zoning Bylaw 2012, No. 2000 to reduce the minimum exterior side yard setback from 7.5m to 4.2m.

DEFEATED
2-0

5. CONCLUSION OF THE MEETING

There being no further business, the Chairperson declared the meeting concluded at 4:45 pm.

Lorne Ebenal
Chairperson, Board of Variance

Joseph Calenda
Interim Director, Planning & Development
Services, City of White Rock

THE CORPORATION OF THE
CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6



POLICY TITLE: CODE OF CONDUCT FOR COMMITTEE MEMBERS

POLICY NUMBER: COUNCIL - 120

<i>Date of Council Adoption:</i> November 15, 2010	<i>Date of Last Amendment:</i> March 25, 2013
<i>Council Resolution Number:</i> 2010-501, 2013-082	<i>Historical Changes (Amends, Repeals or Replaces):</i> Housekeeping amendments
<i>Originating Department:</i> Administration	<i>Date last reviewed by the Governance and Legislation Committee:</i> March 11, 2013

Policy:

Committee Member (Members) means an individual that has been appointed by Council to serve on a City Committee.

- a) Members shall conduct themselves at all times with behaviour respectful of their duties and mindful always of the long term results achieved for the benefit and protection of City of White Rock citizens.
- b) Conduct of members in the performance of their duties shall be fair, open, honest and in a professional manner.
- c) Members shall refrain from abusive conduct, personal charges or verbal attacks upon the character or motives of other Committee members, staff, members of the public, members of Council and guests at the meeting
- d) Committee members are entitled to make comments expressing their opinions regarding matters before the committee or Council as long as such statements clearly state they are putting forward personal views and not those of the committee or Council. Committee members should not criticize the conduct of the committee or members of Council, who are often assigned as representatives to the City's committees. It is acceptable to publicly disagree about an issue, but it is unacceptable to make derogatory comments about other committee members, staff, members of the public, members of Council and guests at the meeting with regards to their opinions or actions.

When concern has been raised that a member is not adhering to the above, information will be brought before Council by the Chief Administrative Officer or Corporate Officer, in a closed meeting, and considered.

Council has the authority to remove a member appointment when they determine actions have contravened this policy.

Rationale:

A common goal of members of Council, staff, and members of City committees is to inspire public confidence and trust in local government. Members are ambassadors for the City of White Rock. Due to their affiliation with the City it is important they demonstrate their respect for the City, its residents, those elected to run the city and its staff.



**THE CORPORATION OF THE
CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6**

**BOARD OF VARIANCE
2023 Schedule of Meetings**

Committee Meetings are held in the City Hall Council Chambers. All meetings begin at 3:30pm and are limited to three hours.

The dates scheduled in **2023** are:

FEBRUARY 22, 2023 - <i>No Committee Appointed</i>	ALL APPEALS <u>MUST</u> BE SUBMITTED <u>NO LATER THAN JANUARY 13, 2023</u>
APRIL 26, 2023 - <i>Orientation to be Confirmed</i>	ALL APPEALS <u>MUST</u> BE SUBMITTED <u>NO LATER THAN MARCH 17, 2023</u>
JUNE 28, 2023	ALL APPEALS <u>MUST</u> BE SUBMITTED <u>NO LATER THAN MAY 12, 2023</u>
SEPTEMBER 27, 2023	ALL APPEALS <u>MUST</u> BE-SUBMITTED <u>NO LATER THAN AUGUST 18, 2023</u>
NOVEMBER 22, 2023	ALL APPEALS <u>MUST</u> BE SUBMITTED <u>NO LATER THAN OCTOBER 13, 2023</u>

PLEASE NOTE: There is no extension on the application deadline dates. Any appeals received after these dates will NOT be heard until the following scheduled meeting.

THE CORPORATION OF THE
CITY OF WHITE ROCK
STAFF REPORT



DATE: June 28, 2023

TO: Board of Variance

FROM: Sophia Bihari, Planning and Development Assistant II

SUBJECT: Board of Variance Application for 15259 Marine Drive **Ref No: 22-031**

PURPOSE

The purpose of this report is to provide the Board of Variance with the information and analysis regarding an application that is requesting the following variances for the property located at 15259 Marine Drive.:

1. To vary the projection into the front yard setback for the construction of stairs from 2.1m (6.88ft) to 3.38m (11.1ft)
 2. To vary the projection into the exterior side yard setback for the construction of stairs from 1.5m (4.92ft) to 2.19m (7.21ft)
-

BACKGROUND

The subject property is zoned RS-3, One-unit Residential. The property is located within the Waterfront Village land use designation along Marine Drive. The steep topography provides clear waterfront views while also creating a physical barrier to and from the rest of the city. The property at 15259 Marine Dr. has a lot size of 177 m² (1909 ft²).

The applicant proposes to construct a set of stairs to access entry to the front door of the house. The proposed construction of the steps will project 3.38m into the front yard setback and 2.19m into the exterior side yard setback, which is beyond the maximum permitted, per Section 4.13.3(a) of the Zoning Bylaw. Currently, the entrance to the home is accessed from Centre Street. The request for a variance is proposed due to the possibility of the removal of the Centre Street access encroachment agreement. The removal of the agreement would result in a permanent road closure to vehicular traffic on the Centre Street Walkway. In January 2023, the motion to move forward with the project was denied, however plans for future improvements to the Walkway project are still under review and could potentially affect the access to the property.

DISCUSSION

The applicant for 15259 Marine Drive has submitted a variance application proposing a relaxation of the permitted projections into to the front and exterior side yard setbacks. Noting the current access to the property from Centre Street could be removed due to future improvements by the city. The City is still reviewing possible projects for this area which could permanently stop vehicular traffic to the applicant's property. Based on inter-departmental comments, there are no concerns with this proposed construction.

VARIANCE DETAILS

Zoning Bylaw Reference (Section 4.13.3(a))	Permitted	Proposed	Difference
Front Yard	2.1m	3.38m	1.28m
Exterior side Yard	1.5m	2.19m	0.69m

NOTIFICATION

In accordance with the City of White Rock Board of Variance Bylaw No. 1753 notification letters regarding this application were sent to the owners and occupiers of the land that is subject to the application, and the owners and occupiers of the land located adjacent to the parcel which is the subject to the appeal.

SUMMARY/CONCLUSION

The applicant for 15259 Marine Drive has requested the following variances to the RS-3 zone requirements of the Zoning Bylaw No. 2000:

1. To vary the projection into a front yard setback for construction of stairs from 2.1m (6.88ft) to 3.38m (11.1ft)
2. To vary the projection into an exterior side yard setback for construction of stairs from 1.5m (4.92ft) to 2.19m (7.21ft)

SAMPLE MOTIONS:

The following are proposed for Board consideration:

1. That the Board approve application BOV 22-031 to vary the following section 4.13.3(a) of the Zoning Bylaw:
 - To increase the projection into a front yard setback for construction of stairs from 2.1m (6.88ft) to 3.38m (11.1ft) **and,**
 - To increase the projection into an exterior side yard setback for construction of stairs from 1.5m (4.92ft) to 2.19m (7.21ft)

2. That the Board deny application BOV 22-031 to vary the following sections of the Zoning Bylaw:
 - To increase the projection into a front yard setback for construction of stairs from 2.1m (6.88ft) to 3.38m (11.1ft) **and**,
 - To increase the projection into an exterior side yard setback for construction of stairs from 1.5m (4.92ft) to 2.19m (7.21ft)

Alternatively, any other motion the board may deem appropriate for the applicant.

Respectfully submitted,

Sophia Bihari
Planning and Development Assistant II

Attachments:

Appendix A: Location Map
Appendix B: Orthographic Map
Appendix C: Site Plan
Appendix D: Site Survey
Appendix E: Drawings



Board of Variance Application Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

www.whiterockcity.ca

15322 Buena Vista, White Rock B.C. V4B 1Y6

In accordance with White Rock Board of Variance Bylaw, 2004, No. 1753 and White Rock Planning Procedures Bylaw, 2017, No. 2234, I / we hereby submit the following application to the Board of Variance:

Site Address(es)	15259 Marine Drive
PID(s)	005-695-023
Legal Description(s)	Lot 15, Section 11, Township 1 New Westminster, Dist. plan 7244
Zoning	RS-3

Variance(s) Requested

Please detail the specific variances to the White Rock Zoning Bylaw, 2012, No. 2000 that you are requesting below:

Variance Requested	Zoning Bylaw Section
Example: Front Lot Line Setback from 7.5 metres to 6.0 metres in RS-1 Zone	Example: Section 6.1.6 (3)
Section 4.13.3 (a) permits a 2.1m (6.88') projection into a front yard beyond the face of the	Sec. 4.13.3 (a)
principal building & 1.5m (4.92') projection into an exterior side yard. Proposed new stairs project	
3.38m (11.1') into the front yard & 2.19m (7.21') into the side yard (east).	

Description of Proposal

Please provide a short description of your proposal below:

Proposed new stairs located at the front of the house (south) starting from existing deck (first floor) down to grade (adjacent to Marine Dr.) located within private property. Proposed new stairs project 3.38m (11.1') into the front yard measured from the South elevation of house & 2.19m (7.21') into the side yard measured from the East elevation of the house.

Hardship Statement

The Board of Variance is authorized to act only in cases of undue hardship as relating to the siting, size, or shape of buildings or structures on a property. Please provide a short description of your hardship below:

Property owners have had existing stairs for 35 years located near the south east corner of the house (front of house) starting from existing deck on the First floor directed toward & providing access to Marine Drive. The stairs now have to be removed due to park rehabilitation project which is taking place to the east of the property. These stairs provide access for the property owners from the First floor of the house down to grade/street level on Marine Drive. If the stairs are removed the property owners will lose the ability to access Marine Drive & it will create a hardship.

As a result, proposed new stair design does not meet requirements of the Zoning Bylaw for siting & location.

Many homes along Marine Drive have front stairs constructed in a similar design manner as per our proposal so they can access Marine Drive.

There is precedence in many locations along Marine Drive where homes have stairs in a similar location as our proposal.

Minimum Application Requirements

Please use the following checklist to assist with the preparation of your application:

Checklist	CHECK
A Completed Application Form with associated fee (\$550) <i>Note: 8 copies of this document are required.</i>	provided
An Authorized Agent Form, if the property owner is represented by a third party	provided
Proof of Business Ownership <i>Note: Required if the property owner is a corporation; includes Notice of Articles, Certificate of Incorporation, BC Company Summary</i>	n/a
A recent title search, dated within 30 days of the application <i>Note: Staff will require copies of any applicable legal encumbrances on title.</i>	provided
A Registered Survey Plan <i>Note: The Registered Survey Plan must show the existing ("permitted") and proposed ("varied") dimensions of the building envelope. It must also show the topography of the site, along with the siting, size and elevations of trees located on and around the subject property. Along with the original stamped/sealed survey plan, 8 copies (11 by 17) are required.</i>	provided
Site Plan, Building Elevations Plans, and Floor Plans <i>Note: Only plans applicable to the requested variances are required. Be sure to verify which ones are required with staff. 8 copies of these plans (11 by 17) are required.</i>	provided

Additional Application Requirements

Some applications may have additional submission requirements. Other studies not described here may be required. Please verify with Planning staff before proceeding with the submission of this application:

Checklist	STAFF CHECK	APPLICANT CHECK
Tree Assessment Report <i>Note: The report, as prepared by a certified arborist, will need to identify trees of protected size for retention and removal on and around the subject property (see: White Rock Tree Management Bylaw, 2008, No. 1831). 8 copies of this document are required.</i>		
Parking Plan <i>Note: The plan will illustrate off-street (on-site) parking space dimensions, drive aisles, and turning radiuses. 8 copies of this document are required.</i>		

15259 MARINE DRIVE

LEGAL DESCRIPTION

BC LAND SURVEYORS PLAN SHOWING
LOCATION OF RETAINING WALLS ON
LOT 15 SECTION 11 TOWNSHIP 1 NEW
WESTMINSTER DISTRICT PLAN T244
PID 005-695-023
FOLIO 003834.000

PROJECT STATISTICS

ZONING REQUIREMENTS

LAND ZONED	= R8-3	
SITE AREA	= 1328 ±	SQFT.
EXISTING FLOOR AREA-NO ALTERATIONS TO EXISTING HOUSE		
THIRD FLOOR ±	= 616.0	SQFT.
SECOND FLOOR ±	= 616.0	SQFT.
FIRST FLOOR ±	= 142.0	SQFT.
BASEMENT FLOOR ±	= 142.0	SQFT.
OFF-STREET PARKING: (NO ALTERATIONS)		
-REQUIRED	= 2 SPACES	
-EXISTING	= 2 SPACES	

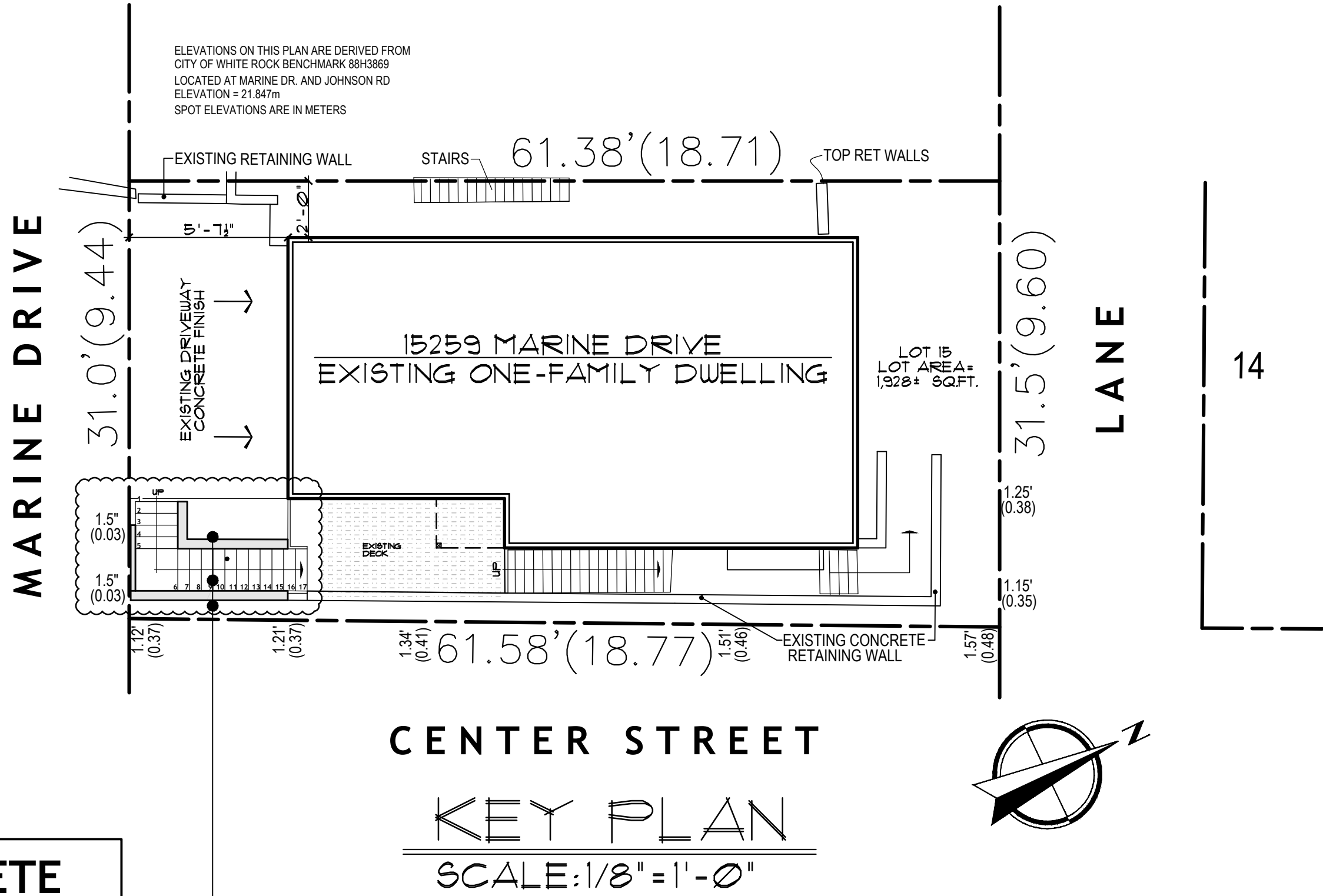
EX = EXISTING GRADE
FIN = FINISH GRADE

PROJECT DESCRIPTION

PROPOSED NEW EXTERIOR CONCRETE STAIRS
LOCATED AT THE FRONT OF THE HOUSE (SOUTH)
STARTING FROM EXISTING DECK DOWN TO GRADE
WITHIN PRIVATE PROPERTY.

CONSTRUCTION NOTES
(PLANS ARE IN COMPLIANCE W/THE 2018 BC BUILDING CODE)

- CONTRACTOR SHALL CHECK ALL LEVELS AND DIMENSIONS ON SITE AND BE RESPONSIBLE FOR THE SAME.
- ALL DIMENSIONS ARE TO FACE OF EXTERIOR CLADDING, CONCRETE ON THE FOUNDATION PLAN AND TO FACE OF GYPSUM BOARD OR SHEATHING ON FLOOR PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT 2018 BC BUILDING CODE REQUIREMENTS AND ANY OTHER PROVINCIAL AND/OR MUNICIPAL CODES AND REGULATIONS. IN CASE OF CONFLICT BETWEEN CODES, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- ALL LUMBER TO BE DOUGLAS FIR No2 OR BETTER UNLESS NOTED OTHERWISE (MAXIMUM MOISTURE CONTENT-19%).
- ALL LINTELS TO BE 2-2x10 DOUGLAS FIR No2 OR BETTER NAILED TOGETHER UNLESS NOTED OTHERWISE.
- JOISTS UNDER NON-LOADBEARING PARTITIONS RUNNING PARALLEL WITH WALL TO BE DOUBLED UNLESS NOTED OTHERWISE.
- ALL CONCRETE FOR EXTERIOR STAIRS, GARAGE FLOORS, FOUNDATION WALLS AND FOOTINGS TO BE MINIMUM 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS. CONCRETE FINISH TO APPROVAL OF OWNER.
- ALL CONCRETE FOR BASEMENT FLOOR SLABS, EXTERIOR PATIO FLOOR SLABS, AND WALKWAYS TO BE MINIMUM 2000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS. CONCRETE FINISH TO APPROVAL OF OWNER.
- BACKFILL MATERIAL TO RETAINING WALLS TO BE FREE DRAINING GRANULAR FILL FREE OF ORGANIC MATERIAL.
- STAIR HANDRAIL HEIGHTS TO BE 2'-8" TO 3'-0" MEASURED VERTICALLY FROM NOSING LINE.
- ALL GAUDDRAILS TO BE 3'-6" HEIGHT WITH NO HORIZONTAL MEMBERS BETWEEN 4" AND 3'-0" TO FACILITATE CLIMBING. MAXIMUM ALLOWABLE OPENINGS TO BE 4".
- CONTRACTOR TO VERIFY LOCATION OF SERVICE LINES PRIOR TO CONSTRUCTION.
- ALL FINISHES, COLOURS OF FINISHED MATERIALS TO BE SELECTED AND APPROVED BY OWNER.
- ALL ELECTRICAL/LOW VOLTAGE WORK TO CONFORM TO CURRENT CANADIAN ELECTRICAL CODES.
- ALL PLUMBING/MECHANICAL WORK TO CONFORM TO CURRENT CANADIAN PLUMBING CODES.
- DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- PLAN DIMENSIONS ARE IN FEET UNLESS NOTED OTHERWISE.



PROPOSED NEW CONCRETE
STAIRS AND RETAINING WALL

fluidspace.ca
res+comm design
16981-104 Ave.,
Surrey, BC, V4N-4L9
tel:604.781.8890

PROJECT: EXTERIOR CONCRETE STAIRS
15259 MARINE DR.
WHITE ROCK, BC

REF#265:



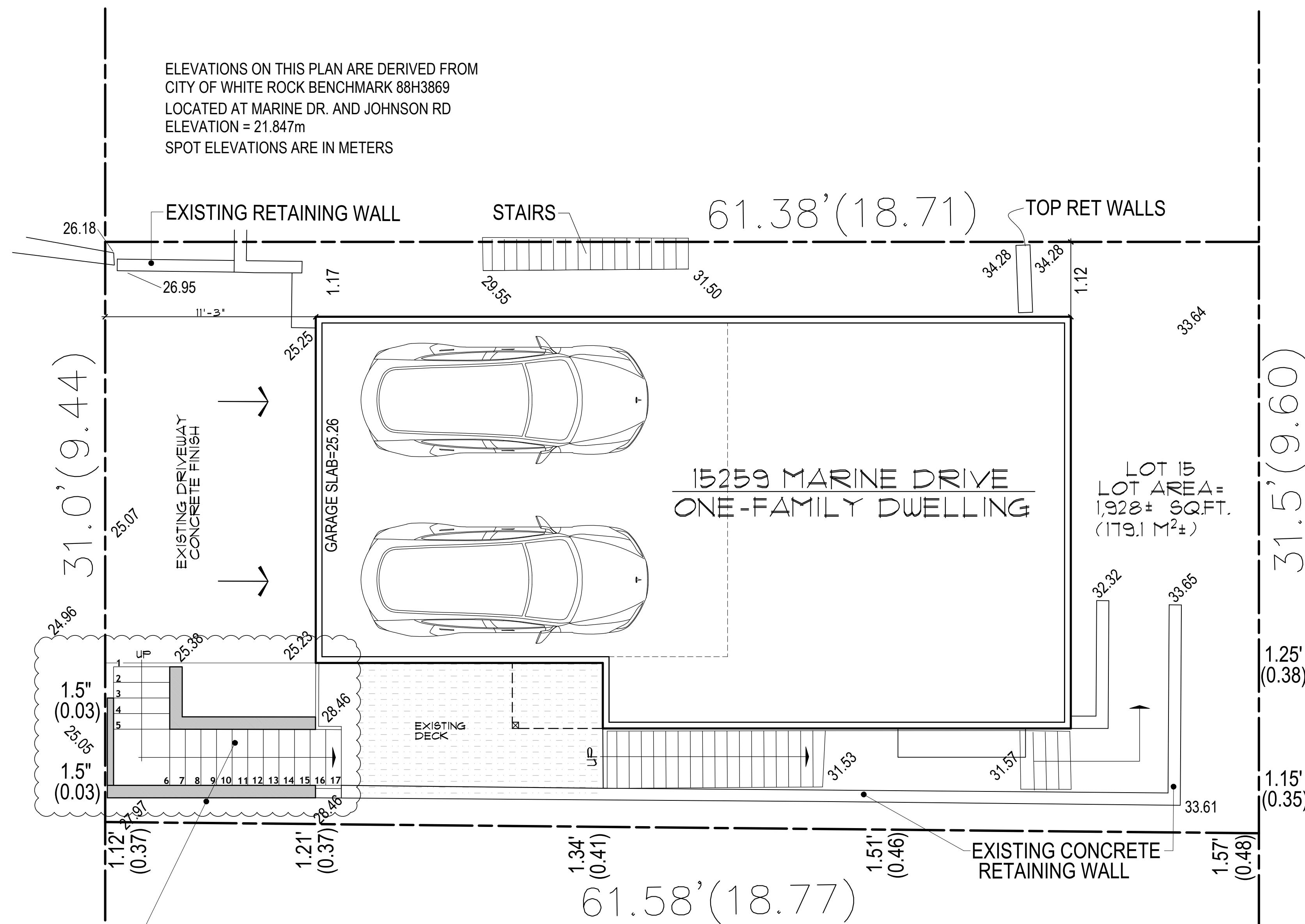
TITLE:
PROJECT STATISTICS
KEY PLAN

DRAWN: R.M.
REVISED:
SEPTEMBER 20th 2022
SCALE: 1/8" = 1'-0"

DWG N°:

A1/A3

MARINE DRIVE

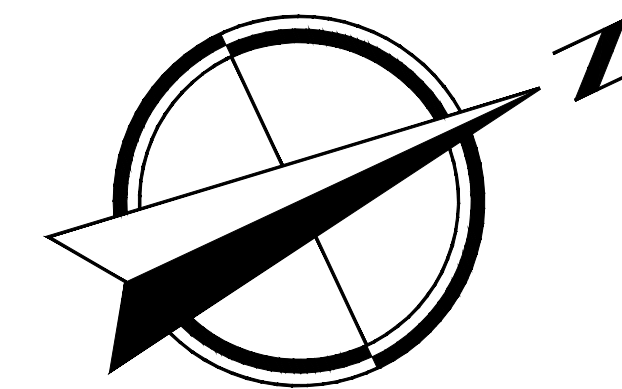


LANE

14

CENTER STREET

SITE PLAN
SCALE: 1/4" = 1'-0"



PROJECT: EXTERIOR CONCRETE STAIRS
15259 MARINE DR.
WHITE ROCK, BC

REF#265:

TITLE:

SITE PLAN

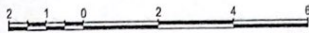
DRAWN: RM.
REVISED: SEPTEMBER 20th 2022
SCALE: 1/4" = 1'-0"

DWG N°:

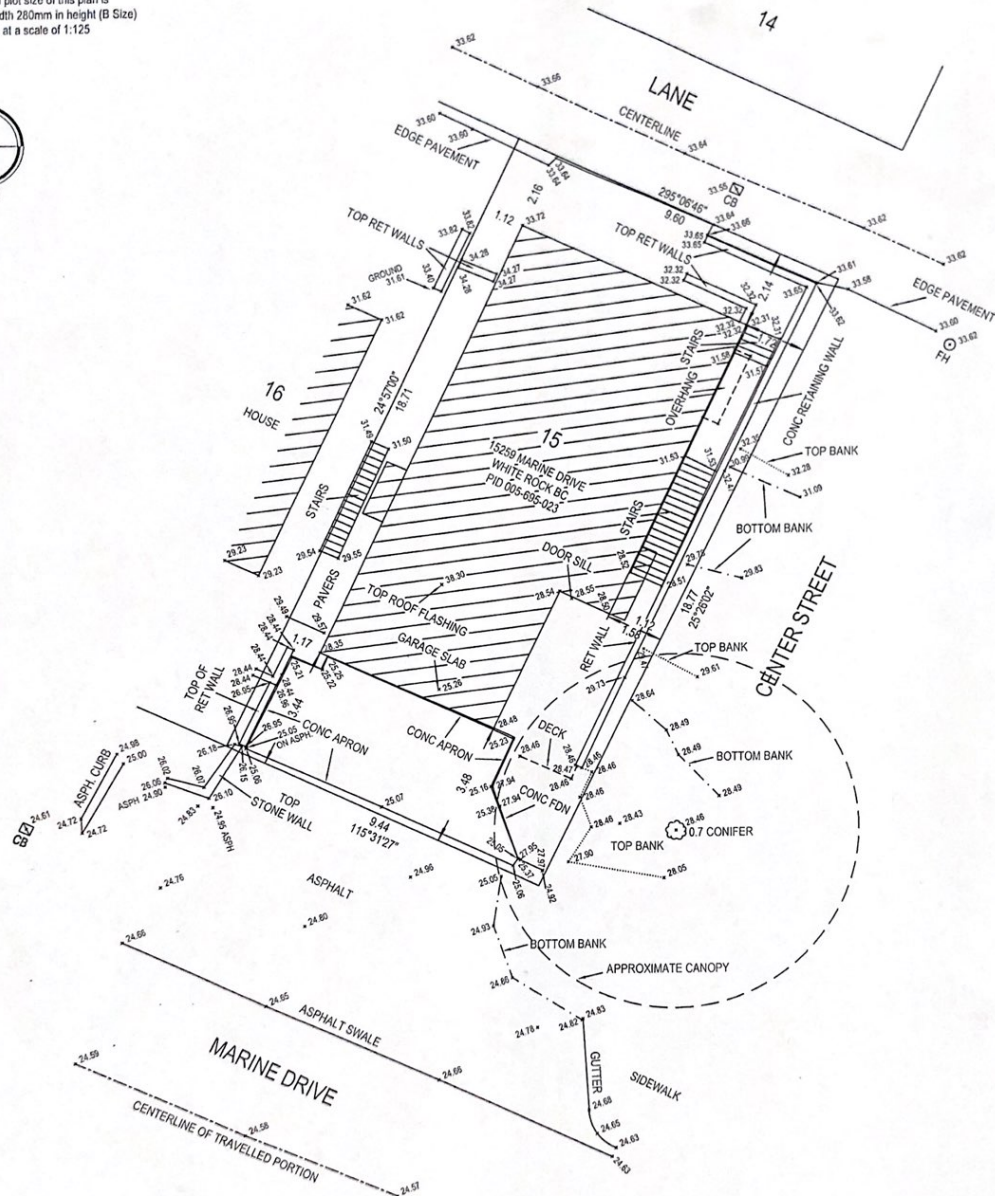
A2/A3

BC LAND SURVEYORS TOPOGRAPHIC PLAN OF LOT 15 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 7244

OLSEN & ASSOCIATES
BRITISH COLUMBIA LAND SURVEYORS
204-15585 24th AVENUE, SURREY, B.C. V4A 2J4
PHONE: 604-531-4067 Fax: 604-531-5811
email: info@olsensurveying.ca
File No 18137T



The intended plot size of this plan is
432mm in width 280mm in height (B Size)
when plotted at a scale of 1:125



LEGEND

- | | |
|--------|--------------------------|
| WV | WATER VALVE |
| CB | CATCH BASIN |
| WM | WATER METER |
| STM MH | STORM MANHOLE |
| SAN MH | SANITARY MANHOLE |
| LS | LAMP STANDARD |
| FH | FIRE HYDRANT |
| PP/L | POWER POLE/LAMP STANDARD |
| NGV | NATURAL GAS VALVE |
| LB | LAWN BASIN |
| GW | GUYWIRE |
| UB | UTILITY BOX |
| EB | ELECTRICAL BOX |
| CO | CLEAN OUT |
| SV | SEWER VALVE |
| INV. | CONCRETE SUMP |
| RCP | INVERT |
| | REINFORCED CONCRETE PIPE |

NOTE:

ELEVATIONS ON THIS PLAN ARE DERIVED FROM
CITY OF WHITE ROCK BENCHMARK 8803869
LOCATED AT MARINE DR. AND JOHNSON RD
ELEVATION = 21.847m

LOT DIMENSIONS ARE DERIVED
FROM LAND TITLE OFFICE RECORDS

TREE SYMBOLS SHOWN ON THIS PLAN ARE
NOT TO SCALE AND DO NOT REPRESENT CANOPY
DIAMETER. THEY INDICATE LOCATION ONLY.

THIS PLAN DOES NOT CONSTITUTE
A RESURVEY OF THE LEGAL BOUNDARIES
OF THE TITLED LOT OR LOTS, IT IS
COMPILED FROM FIELD TIES AND
LAND TITLE OFFICE RECORDS.

NOTE - GROUND ELEVATIONS ON
THIS PLAN ARE NOT TO BE USED FOR
CONSTRUCTION BENCHMARK PURPOSES.
A BENCHMARK MAY BE OBTAINED
FROM THIS OFFICE.

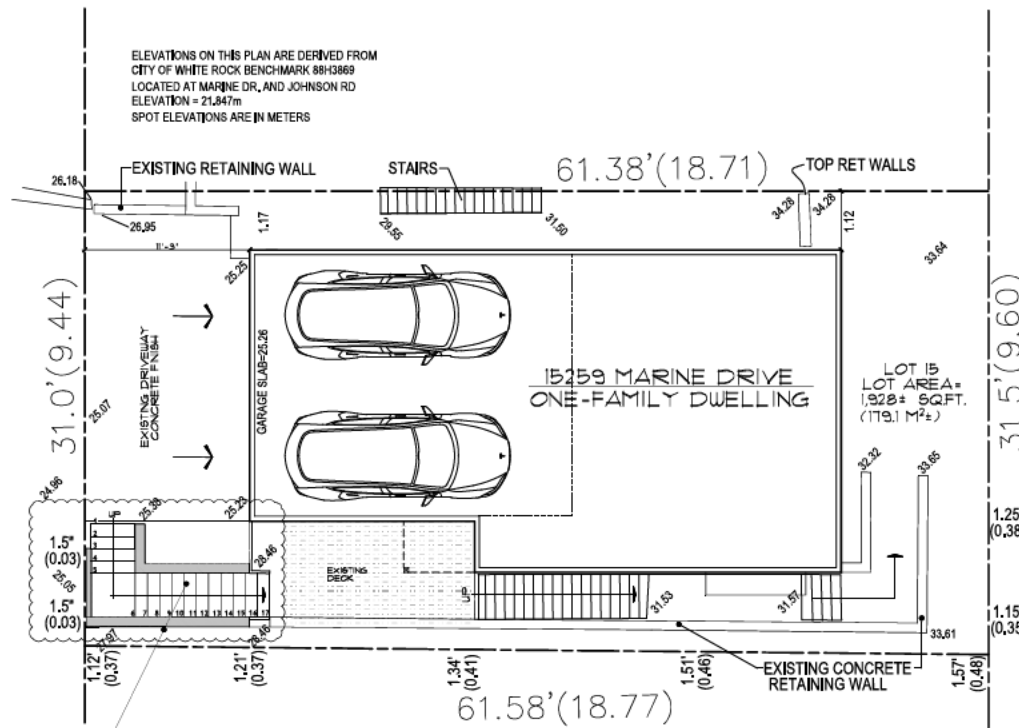
GA Rowbottom
CERTIFIED CORRECT B.C.L.S.

Dated this 8th day of AUGUST, 2022

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED.

File No 18137T

MARINE DRIVE



CENTER STREET

SITE PLAN
SCALE: 1/4" = 1' - 0"



LANE

14

PROJECT: EXTERIOR CONCRETE STAIRS	REF: 2651	TITLE: SITE PLAN	DRAWN: RM	DWG NO: A2/A3
15259 MARINE DR. WHITE ROCK, BC			REVISED: REVISION 2651 2022	
			SCALE: 1/4" = 1' - 0"	

THE CORPORATION OF THE
CITY OF WHITE ROCK
STAFF REPORT



DATE: June 28, 2023

TO: Board of Variance

FROM: Sophia Bihari, Planning and Development Assistant II

SUBJECT: Board of Variance Application for 15048 Buena Vista Avenue (BOV 22-033)

PURPOSE

The purpose of this report is to provide the Board of Variance with the information and analysis regarding an application that is requesting the following variance for the property located at 15048 Buena Vista Avenue:

1. To vary the required 45-degree angle of containment on the southerly side of the building to zero degree.

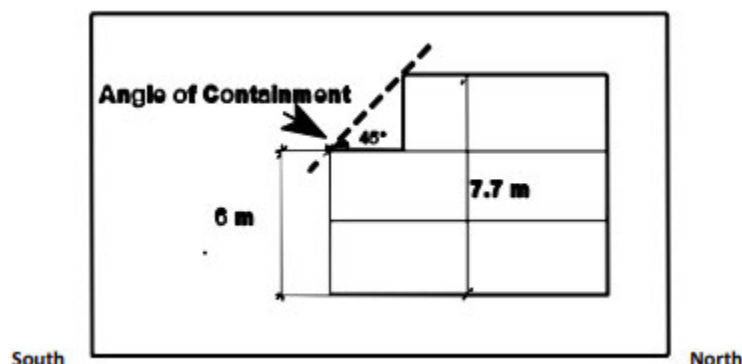
BACKGROUND

The subject property is zoned RS-3 One-unit (Small lot, Hillside) Residential which is located in the Mature Neighbourhood land use designation area. Mature Neighbourhoods are comprised largely of White Rock's existing single family housing stock. The property at 15048 Buena Vista Avenue has a lot size of approximately 167m² (1795 sq²)

The applicant is requesting a variance to a glass awning structure already installed which does not meet the required angle of containment in Section 4.9 of the Zoning bylaw.

The angle of containment regulation requires that no portion of a building, which is partly enclosed by walls, columns or posts and used or intended for the shelter or accommodation of persons, animals, chattels or things (except open-type guardrails) protrude above this south-facing terracing setback, see Figure 1.0 below. However, based on the drawings submitted by the applicant, the angle of containment has been eliminated due to the installation of an awning which projects beyond the required 45 degree angle.

Figure 1.0



DISCUSSION

The applicant of 15048 Buena Vista Avenue has submitted a variance application which proposes to eliminate the angle of containment requirement on the southerly side of the building.

It is noted the structure does not enclose more than 60% of the deck, and an awning structure has been added which does not meet the bylaw for angle of containment. A building permit application will be required as an application was not submitted prior to installation. The construction does not impact any other department.

VARIANCE DETAILS

Zoning Bylaw Reference	Permitted	Proposed	Difference
Section 4.90 – Angle of Containment	45 degrees	0 degrees	

NOTIFICATION

In accordance with the City of White Rock Board of Variance Bylaw No. 1753, notification letters regarding this application were sent to the owners and occupiers of the land that is subject to the application, and the owners and occupiers of the land located adjacent to the parcel which is the subject to the appeal.

SUMMARY/CONCLUSION

The applicant for 15048 Buena Vista Avenue has requested the following variances to the RS-3 zone requirements of the Zoning Bylaw No. 2000:

1. To vary the required 45-degree angle of containment on the southerly side of the building to zero degrees.

SAMPLE MOTIONS:

The following are proposed for Board consideration:

1. That the Board approve application BOV 22-033 to vary the following Section 4.9 of the Zoning Bylaw:
 - To permit an angle of containment of zero degrees on the southerly side of the building
2. That the Board deny application BOV 22-031 to vary the following Section 4.9 of the Zoning Bylaw:
 - To permit an angle of containment of zero degrees on the southerly side of the building.

Alternatively, any other motion the board may deem appropriate for the applicant.

Respectfully submitted,

Sophia Bihari
Planning and Development Assistant II

Attachments:

Appendix A: Location Map
Appendix B: Orthographic Map
Appendix C: Angle of Containment Survey
Appendix D: Foundation Survey
Appendix E: Elevations and Trees

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PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

Board of Variance Application Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

www.whiterockcity.ca

15322 Buena Vista, White Rock B.C. V4B 1Y6

In accordance with White Rock Board of Variance Bylaw, 2004, No. 1753 and White Rock Planning Procedures Bylaw, 2017, No. 2234, I / we hereby submit the following application to the Board of Variance:

Site Address(es)	15048 BUENA VISTA AVE, WHITE ROCK V4B 1Y9
PID(s)	007-474-172
Legal Description(s)	LOT 13 BLOCK 6 SEC 10 NWD PLAN 3672 TWP 1
Zoning	RS 3

Variance(s) Requested

Please detail the specific variances to the White Rock Zoning Bylaw, 2012, No. 2000 that you are requesting below:

Variance Requested Example: Front Lot Line Setback from 7.5 metres to 6.0 metres in RS-1 Zone	Zoning Bylaw Section Example: Section 6.1.6 (3)
ANGLE OF CONTAINMENT INFRACTION OF NO ANGLE AT ALL	SEC 6.3.5(1)

Description of Proposal

Please provide a short description of your proposal below:

TO ADD A GLASS STRUCTURE OVER THE UNCOVERED
DECK FOR WEATHER PROTECTION

Hardship Statement

The Board of Variance is authorized to act only in cases of undue hardship as relating to the siting, size, or shape of buildings or structures on a property. Please provide a short description of your hardship below:

A GLASS ROOF STRUCTURE WAS INNOCENTLY ADDED TO COVER HER OUTDOOR DECK DUE SOLELY FOR WEATHER PROTECTION AND TO PREVENT FURTHER DAMAGE TO DECK AND INTERIOR SPACES.

A CONTRACTOR AND COMPANY WAS HIRED BY THE OWNER AND THEY WERE PAID \$35000 IN FULL BUT NEVER ONCE MENTIONED SHE REQUIRED ANY PERMITS OR VARIANCES

Minimum Application Requirements

Please use the following checklist to assist with the preparation of your application:

Checklist	CHECK
A Completed Application Form with associated fee (\$550) <i>Note: 8 copies of this document are required.</i>	
An Authorized Agent Form, if the property owner is represented by a third party	
Proof of Business Ownership <i>Note: Required if the property owner is a corporation; includes Notice of Articles, Certificate of Incorporation, BC Company Summary</i>	
A recent title search, dated within 30 days of the application <i>Note: Staff will require copies of any applicable legal encumbrances on title.</i>	
A Registered Survey Plan <i>Note: The Registered Survey Plan must show the existing ("permitted") and proposed ("varied") dimensions of the building envelope. It must also show the topography of the site, along with the siting, size and elevations of trees located on and around the subject property. Along with the original stamped/sealed survey plan, 8 copies (11 by 17) are required.</i>	
Site Plan, Building Elevations Plans, and Floor Plans <i>Note: Only plans applicable to the requested variances are required. Be sure to verify which ones are required with staff. 8 copies of these plans (11 by 17) are required.</i>	

Additional Application Requirements

Some applications may have additional submission requirements. Other studies not described here may be required. Please verify with Planning staff before proceeding with the submission of this application:

Checklist	STAFF CHECK	APPLICANT CHECK
Tree Assessment Report <i>Note: The report, as prepared by a certified arborist, will need to identify trees of protected size for retention and removal on and around the subject property (see: White Rock Tree Management Bylaw, 2008, No. 1831). 8 copies of this document are required.</i>		
Parking Plan <i>Note: The plan will illustrate off-street (on-site) parking space dimensions, drive aisles, and turning radiuses. 8 copies of this document are required.</i>		

BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE OF LOCATION
OF CONCRETE FOUNDATION ON N 1/2 LOT 13 BLOCK 6 SECTION 10
TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 3672

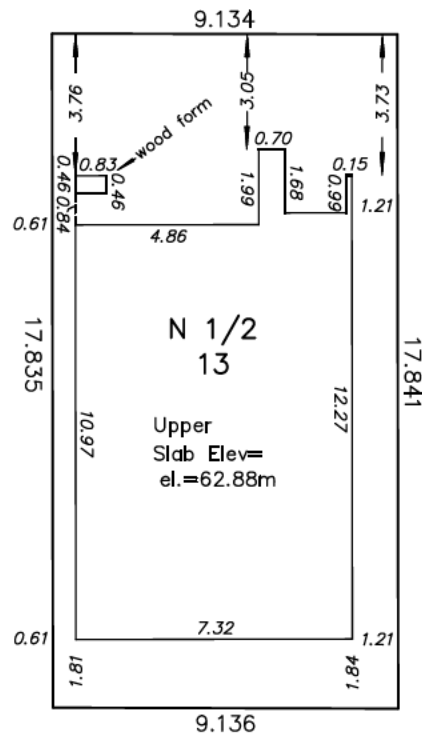
Current civic address:
15048 Buena Vista Avenue
White Rock, B.C.

SCALE 1:200

Notes:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- All foundation dimensions correspond to outside face of exterior walls.
- Elevations are based on City of White Rock Geodetic datum.

BUENA VISTA AVENUE



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LAND SURVEYING INC.

216-12899 76th Avenue
Surrey, B.C.
V3W 1E6

(ph) 501-6188

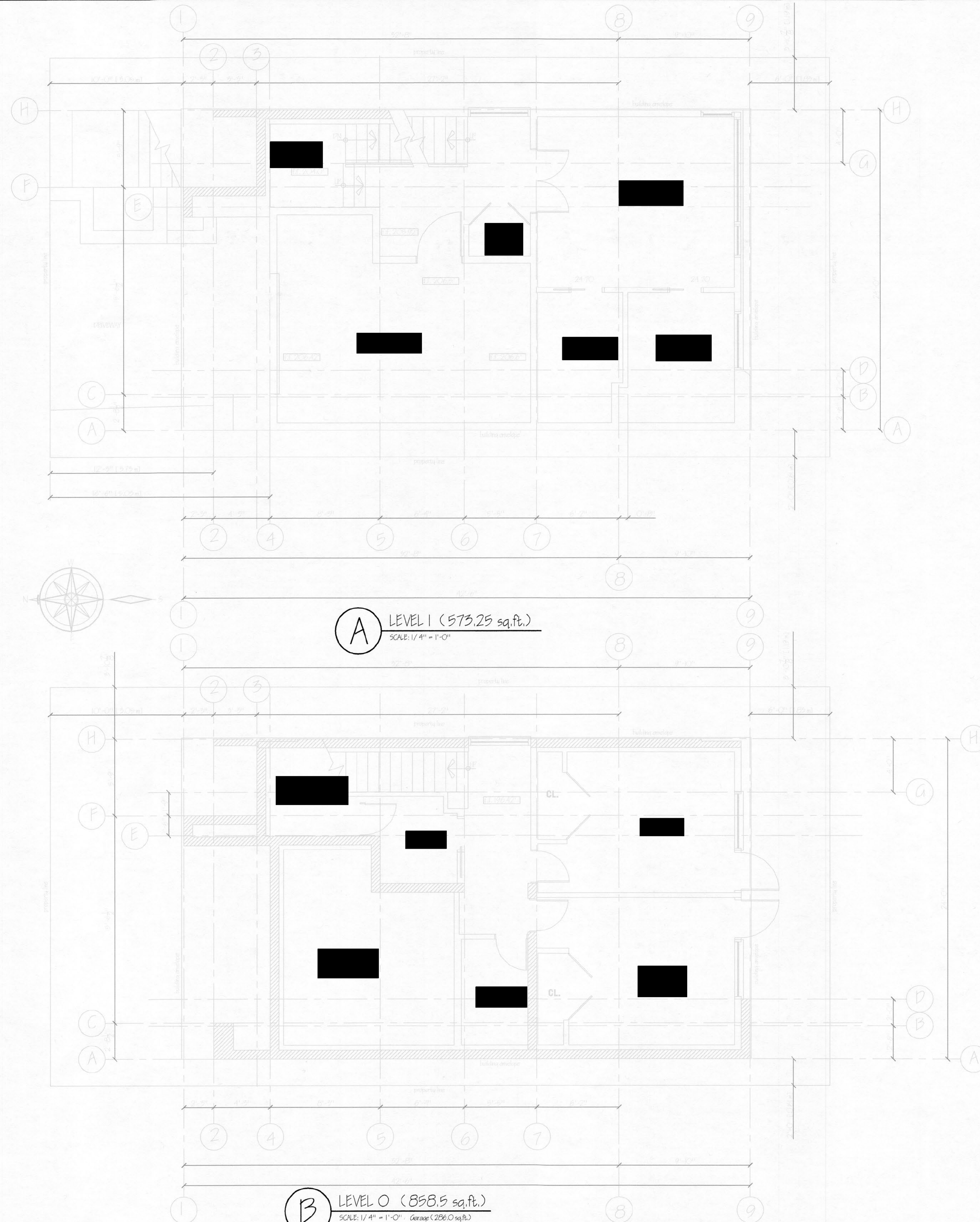
(fx) 501-6189

FILE: 1107140-F05

DATE OF SURVEY:
04th DAY OF MARCH 2015

**THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED**

LORIN LEVAC
B.C.L.S. 881



PROJECT INFORMATION

LEGAL DESCRIPTION

LOT # 13 NMD plan 3672 TP # 1
BLOCK # 6 SECTION #10 ZONE RS-3

SPECIFICATIONS

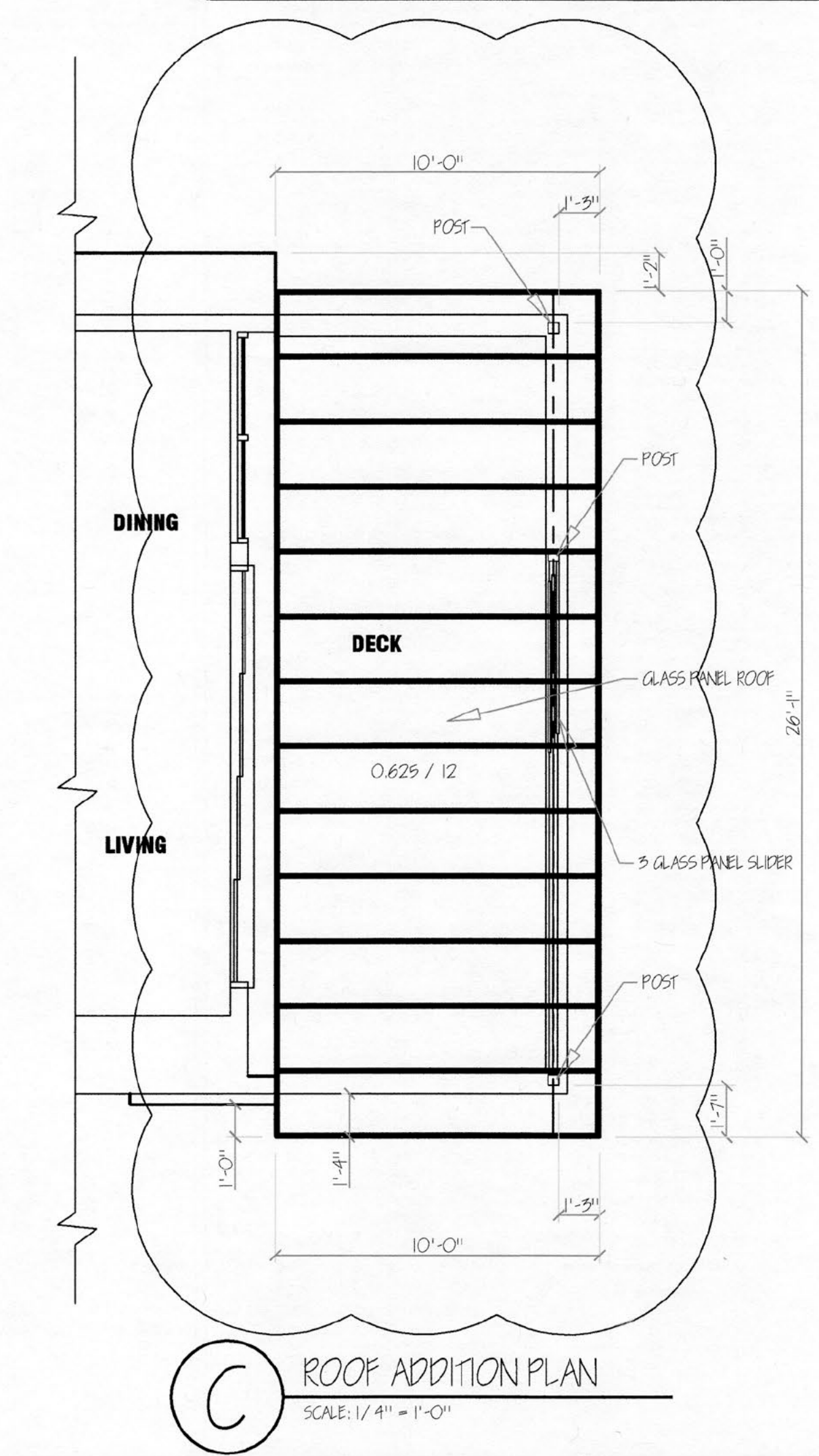
TOTAL LOT AREA:	(162.97 sqm)	=	1754.24 SQ.FT.
ALLOWABLE SITE COVERAGE:	58.4%	=	1024.48 SQ.FT.
PROPOSED SITE COVERAGE:	56.1%	=	983.9 SQ.FT.
	UNDERAGE:		40.58 SQ.FT.
ALLOWABLE GROSS FLOOR AREA	70%	=	1227.97 SQ.FT.
LEVEL 0 (Basement)	858.5 SQ.FT.		
GARAGE	286.0 SQ.FT.		
LEVEL 1	573.25 SQ.FT.		
LEVEL 2	609.5 SQ.FT.		
LEVEL 2 DECK	236.0 SQ.FT.		
PROPOSED GROSS FLOOR AREA	67.4%	=	182.75 SQ.FT.
	UNDERAGE :		45.22 SQ.FT.

ELEVATIONS:

LEVEL 0 196.42' (59.86 m)
LEVEL 1 205.92' (62.76 m)
FOYER LANDING 212.89' (64.88 m)
LEVEL 2 215.42' (65.66 m)
TOP OF ROOF 226.25' (68.96 m)
MAX BUILDING HEIGHT 226.51' (69.04 m)
AVERAGE NATURAL GRADE 20.25' (6.14 m)
DPE FRONT 206.42' (62.91 m)
DPE REAR 206.6' (62.97 m)

LIST OF DRAWINGS

1. LEVEL 0,
LEVEL 1
ROOF ADDITION PLAN
2. SOUTH, WEST AND EAST ELEVATIONS
LEVEL 2



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CITY OF WHITE ROCK

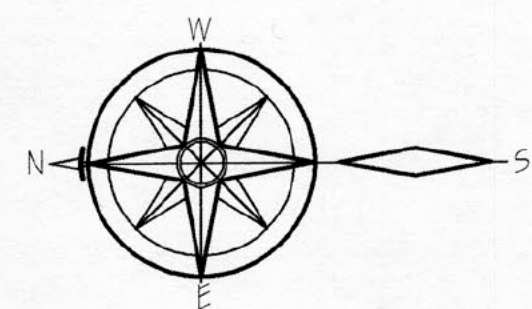
REVISIONS	BY

DAG DESIGN & COMPANY
1150 Maple St., White Rock, B.C., V4B 4M6
604. 538. 2981
DAGDESIGN.CO.CA

THESE DRAWINGS OR DESIGN REMAIN THE SOLE PROPERTY OF DAG DESIGN & COMPANY
NOT BE REPRODUCED, COPIED OR USED WITHOUT WRITTEN PERMISSION OF DAG NOTE

15048 Buena Vista, White Rock, BC

Date	Oct. 12, 2022
Scale	1/4" = 1'-0"
Drawn	M.A. HALL DRAWING
Job	OCT 13 2022
Sheet	AI of 2
Of	Sheets



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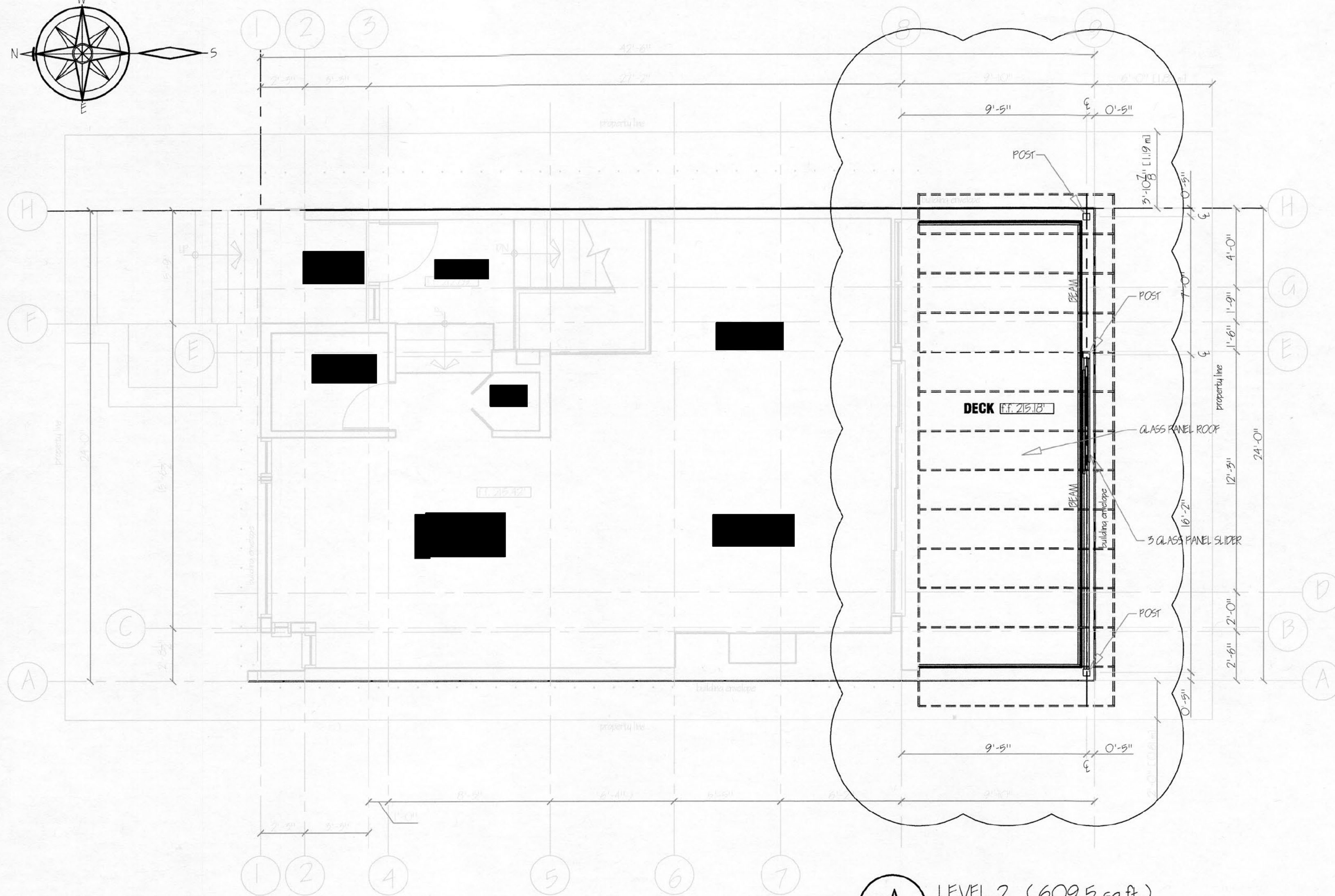
OCT 14 2022

PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

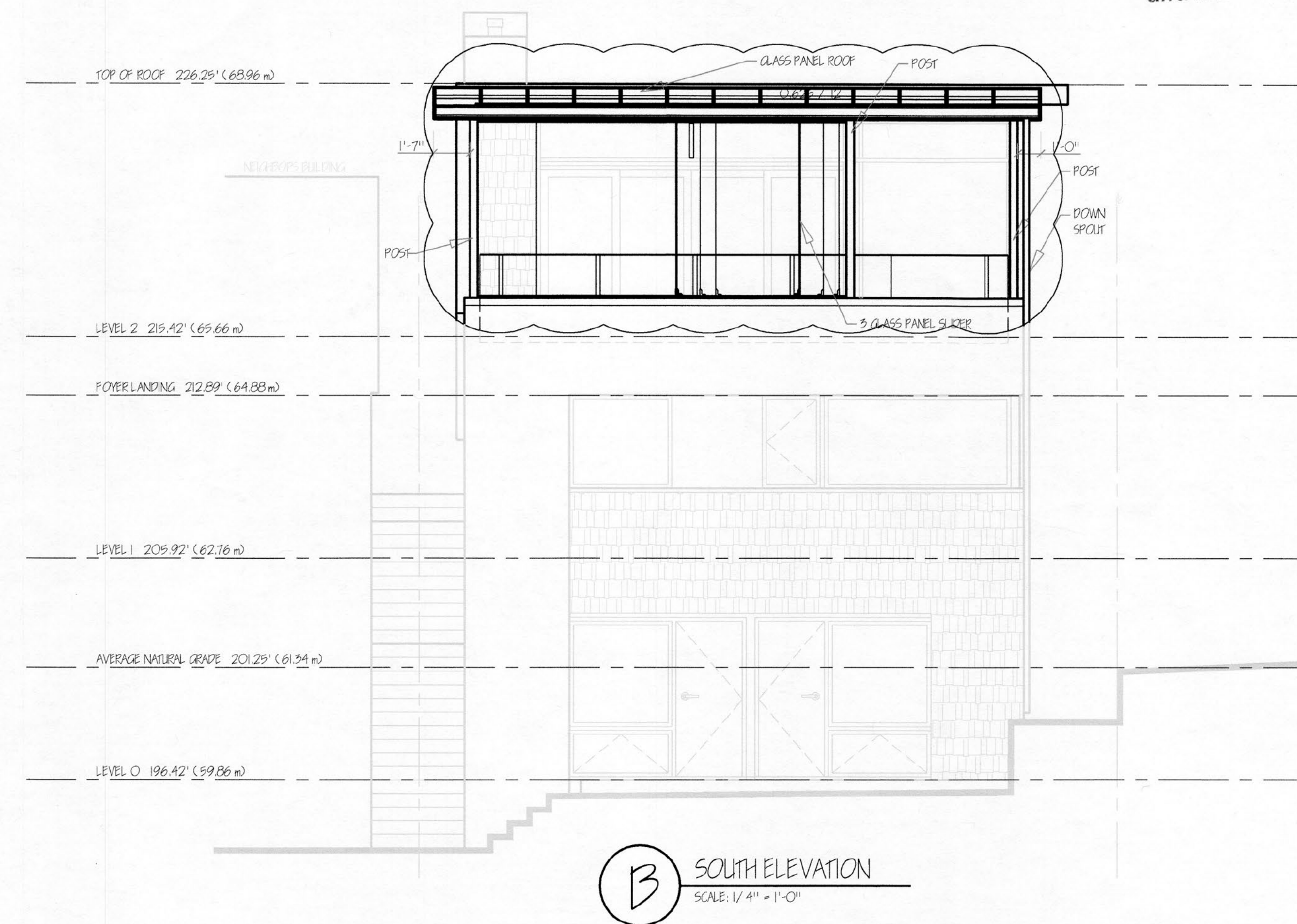
REVISIONS	BY

DAG DESIGN & COMPANY
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604. 538. 2981
DAGDESIGN.CO.CA

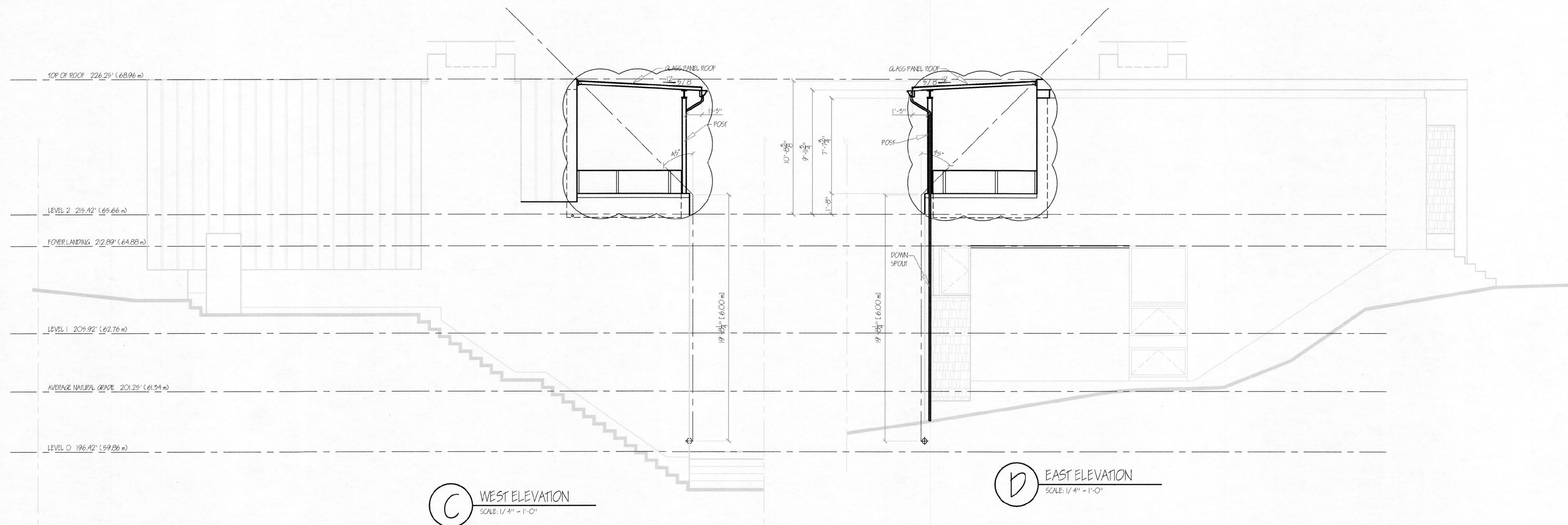
THESE DRAWINGS OR DESIGN SKETCHES, THE SITE, PROPERTY, EXISTING AND PROPOSED
NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS.



A LEVEL 2 (609.5 sq.ft.)
SCALE: 1/4" = 1'-0"



B SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



C WEST ELEVATION
SCALE: 1/4" = 1'-0"

D EAST ELEVATION
SCALE: 1/4" = 1'-0"

15048 Buena Vista, White Rock, BC

Date Oct 12, 2022

Scale 1/4" = 1'-0"

Drawn M.A. HALL
DRAWING

Job OCT 13 2022

Sheet

A2 of 2

Of Sheets

BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE
SHOWING ANGLE OF CONTAINMENT ON N 1/2 LOT 13 BLOCK 6 SECTION 10
TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 3672

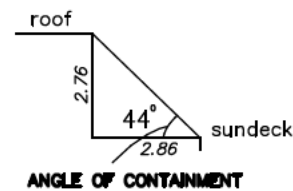
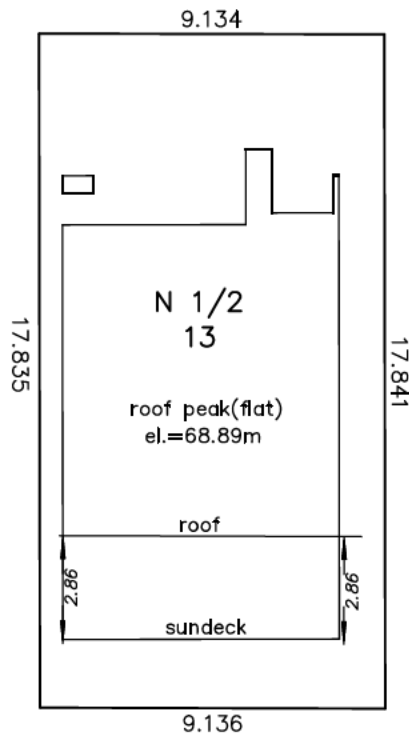
Current civic address:
15048 Buena Vista Avenue
White Rock, B.C.

SCALE 1:200

Notes:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- Elevations are based on City of White Rock Geodetic datum, Monument No. 88H3865
Elevation = 60.116m

BUENA VISTA AVENUE



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LAND SURVEYING INC.

216-12899 76th Avenue

Surrey, B.C.

V3W 1E6

(ph) 501-6188

(fx) 501-6189

FILE: 1107140-AOC01

DATE OF SURVEY:
29th DAY OF MAY 2015

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ORIGINALLY SIGNED AND SEALED**

GENE PAUL NIKULA BCLS 803

THE CORPORATION OF THE
CITY OF WHITE ROCK
STAFF REPORT



DATE: June 28, 2023

TO: Board of Variance

FROM: Sophia Bihari, Planning and Development Assistant II

SUBJECT: Board of Variance Application for 14693 West Beach Avenue
Ref No: 23-006

PURPOSE

The purpose of this report is to provide the Board of Variance with the information and analysis regarding an application that is requesting the following variances for the property located at 14693 West Beach Avenue:

1. To vary the exterior side yard setback from 3.8m to 1.5m, due to irregular lot shape for construction of a new single-family.
-

BACKGROUND

The subject property is zoned RS-1, which is intended to accommodate one-unit residential buildings on lots 464.0m² (4996.6ft²) or more. The property at 14693 West Beach Avenue has a lot size of 399.43m² (4299.55ft²).

The applicant proposes construction of a new single-family home. The subject property does not meet the minimum lot requirements of 464 m² due to its irregular shape (See Figure 1.0). Given the lot is under-sized for the RS-1 zone, the applicant is requesting relaxation to the exterior side yard setback to increase the buildable area.

Figure 1.0



DISCUSSION

The applicant of 14693 West Beach Avenue has submitted a variance application for the purpose of proposing a relaxation to the exterior side yard setback of the property to increase the buildable area on the lot. The property is considered irregular as it is not a square or rectangle, thus making it difficult to apply zoning setback requirements.

It has been noted by the Parks department that the plans will be required to show the work around the tree protection zone for the two mature trees located near the southeast corner of the lot, and further that no services to the lot are to impact the protected offsite and on-site trees. A geotechnical report for slope stability is required as the property is located in a Geotechnical area. These will be requirements of the Building Permit approval process.

VARIANCE DETAILS

Zoning Bylaw Reference (Section 6.1.6)	Permitted	Proposed	Difference
Exterior side Yard	3.8m	1.5m	2.3m

NOTIFICATION

In accordance with the City of White Rock Board of Variance Bylaw No. 1753 notification letters regarding this application were sent to the owners and occupiers of the land that is subject to the application, and the owners and occupiers of the land located adjacent to the parcel which is the subject of the appeal.

SUMMARY/CONCLUSION

The applicant for 14693 West Beach Avenue has requested the following variances to the RS-1 zone requirements of the Zoning Bylaw No. 2000:

1. To vary the exterior side yard setback from 3.8m to 1.5m, due to irregular lot shape for construction of a new single-family

SAMPLE MOTIONS:

The following are proposed for the Board consideration:

1. That the Board approve application BOV 23-006 to vary the following Section 6.1.6 of the Zoning Bylaw:
 - To reduce exterior side yard setback from 3.8m to 1.5m.

2. That the Board deny application BOV 23-006 to vary the following sections of the Zoning Bylaw:

- To reduce exterior side yard setback from 3.8m to 1.5m

Alternatively, any other motion the board may deem appropriate for the applicant.

Respectfully submitted,

Sophia Bihari
Planning and Development Assistant II

Attachments:

Appendix A: Location Map
Appendix B: Orthophoto
Appendix C: Proposed Site Plan
Appendix D: Site Survey Plan
Appendix E: Drawings



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PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

Board of Variance Application Form

Planning and Development Services
P: 604-541-2136 | F: 604-541-2153
www.whiterockcity.ca

15322 Buena Vista, White Rock B.C. V4B 1Y6

In accordance with White Rock Board of Variance Bylaw, 2004, No. 1753 and White Rock Planning Procedures Bylaw, 2017, No. 2234, I / we hereby submit the following application to the Board of Variance:

Site Address(es)	14693 West Beach Avenue
PID(s)	011-110-406
Legal Description(s)	Lot 27 Section 10 Township 1 NWD Plan 5729
Zoning	RS-1

Variance(s) Requested

Please detail the specific variances to the White Rock Zoning Bylaw, 2012, No. 2000 that you are requesting below:

Variance Requested	Zoning Bylaw Section
Example: Front Lot Line Setback from 7.5 metres to 6.0 metres in RS-1 Zone	Example: Section 6.1.6 (3)
Exterior Side Lot Line Setback from 3.80m to 1.50m in RS-1	Section 6.1.6 (1)

Description of Proposal

Please provide a short description of your proposal below:

As the lot is under-sized for the RS-1 zone, and there is a large green-space to the East, the proposal is to utilize a 1.50m exterior side lot line setback, rather than the required 3.8m setback.

This proposed setback, is in keeping with the RS-2 and RS-3 zones, which are typically the zones for smaller properties, such as this subject property.

This reduced setback allows the house to maximize the floor area permitted in the RS-1 zone, allowing a small secondary suite, providing three reasonable sized Bedrooms on the Main Floor and a reasonable sized Living area on the Upper floor.

Hardship Statement

The Board of Variance is authorized to act only in cases of undue hardship as relating to the siting, size, or shape of buildings or structures on a property. Please provide a short description of your hardship below:

The subject property in an under-sized RS-1 zoned parcel (399.43 sm vs. the minimum 464.00sm), and an unique shape, where none of the property lines are parallel. The narrowest width of the lot is also 12.39m vs. the required 15.00m in the zoning.

The shape of the lot, combined with the required Exterior Side Lot Line setback of 3.8m, results in a building envelope which is only 1,161 sf (108 sm). The permitted Floor Area is 2,149.77 sf (199.71sm), which is slightly less than twice the size of the building envelope, should the house be designed with the exact angles of the property. Further to this, with the Upper Floor being restricted to 80% of the Main Floor, the Floor Area of the house, without a variance, would likely only be an estimated 1,900 sf (176.52 sm), 250sf less than what is permitted.

With the current challenges of every City in respect to affordable housing, and parking, without an Exterior Side Lot Line setback variance, a double Garage in the Basement would effectively remove any possibility of a Secondary Suite.

Minimum Application Requirements

Please use the following checklist to assist with the preparation of your application:

Checklist	CHECK
A Completed Application Form with associated fee (\$550) <i>Note: 8 copies of this document are required.</i>	✓
An Authorized Agent Form, if the property owner is represented by a third party	
Proof of Business Ownership <i>Note: Required if the property owner is a corporation; includes Notice of Articles, Certificate of Incorporation, BC Company Summary</i>	
A recent title search, dated within 30 days of the application <i>Note: Staff will require copies of any applicable legal encumbrances on title.</i>	✓
A Registered Survey Plan <i>Note: The Registered Survey Plan must show the existing ("permitted") and proposed ("varied") dimensions of the building envelope. It must also show the topography of the site, along with the siting, size and elevations of trees located on and around the subject property. Along with the original stamped/sealed survey plan, 8 copies (11 by 17) are required.</i>	✓
Site Plan, Building Elevations Plans, and Floor Plans <i>Note: Only plans applicable to the requested variances are required. Be sure to verify which ones are required with staff. 8 copies of these plans (11 by 17) are required.</i>	✓

Additional Application Requirements

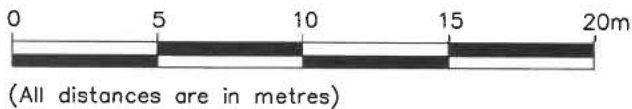
Some applications may have additional submission requirements. Other studies not described here may be required. Please verify with Planning staff before proceeding with the submission of this application:

Checklist	STAFF CHECK	APPLICANT CHECK
Tree Assessment Report <i>Note: The report, as prepared by a certified arborist, will need to identify trees of protected size for retention and removal on and around the subject property (see: White Rock Tree Management Bylaw, 2008, No. 1831). 8 copies of this document are required.</i>		
Parking Plan <i>Note: The plan will illustrate off-street (on-site) parking space dimensions, drive aisles, and turning radiuses. 8 copies of this document are required.</i>		

BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 27 SECTION 10 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 5729

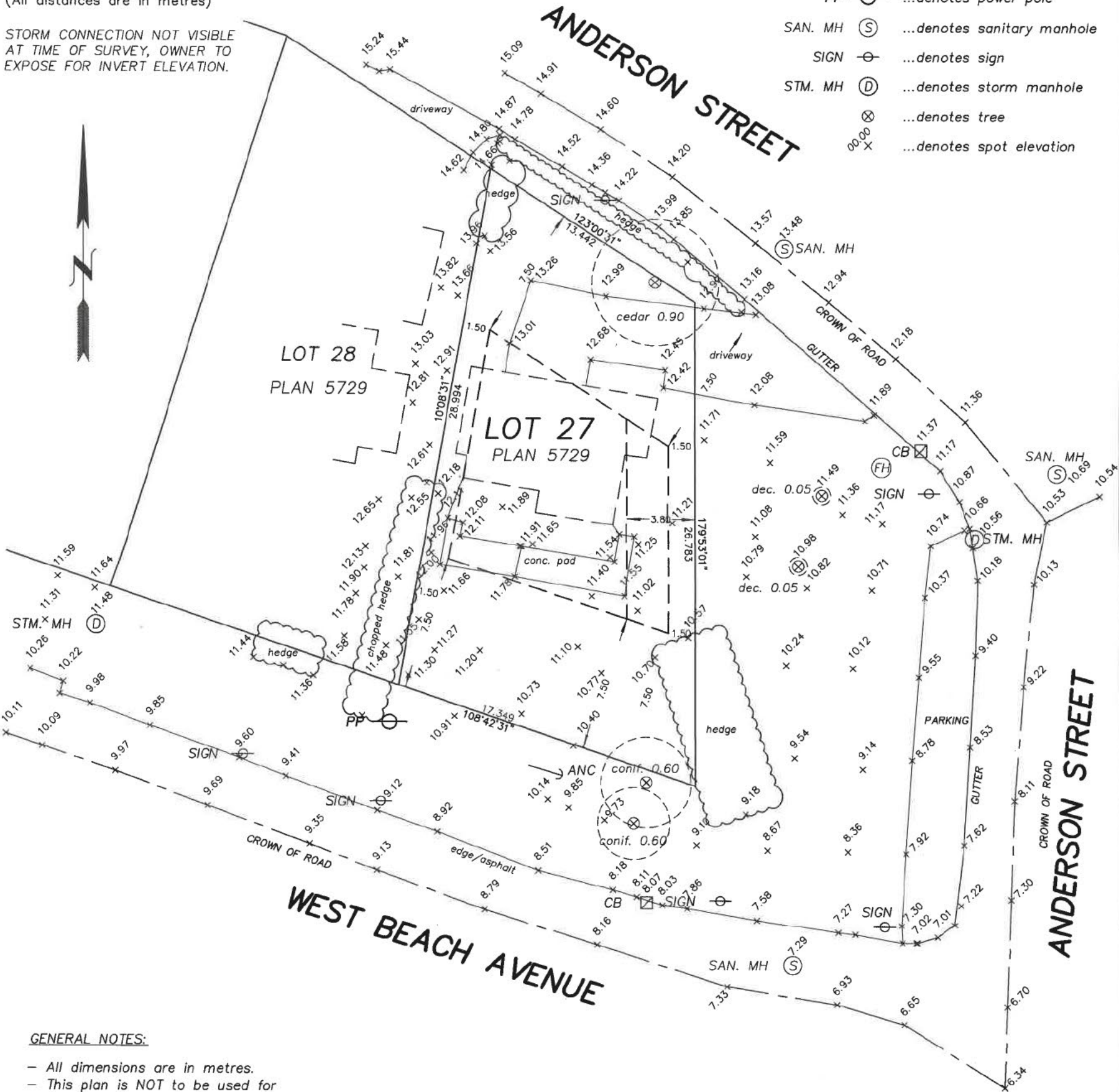
Current Civic Address:
14693 West Beach Ave
Surrey, B.C.
PID: 011-110-406

SCALE 1:250



STORM CONNECTION NOT VISIBLE
AT TIME OF SURVEY, OWNER TO
EXPOSE FOR INVERT ELEVATION.

- LEGEND
- ANC — ...denotes pole anchor
 - CB □ ...denotes catch basin
 - conc. ...denotes concrete
 - conif. ...denotes coniferous tree
 - dec. ...denotes deciduous tree
 - ⓕ ...denotes fire hydrant
 - PP —○— ...denotes power pole
 - SAN. MH Ⓢ ...denotes sanitary manhole
 - SIGN —○— ...denotes sign
 - STM. MH Ⓣ ...denotes storm manhole
 - ⊗ ...denotes tree
 - 00.00 x ...denotes spot elevation



GENERAL NOTES:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- Elevations are based on City of Surrey Geodetic datum, monument 89H5104 elev.= 3.085m (CVD28GVDR 2018).
- On the subject lot, only trees with a diameter of at least 0.25m are shown
- This plan does not show non-plan charges, liens or interests.
- property dimensions are derived from Land Title Office records

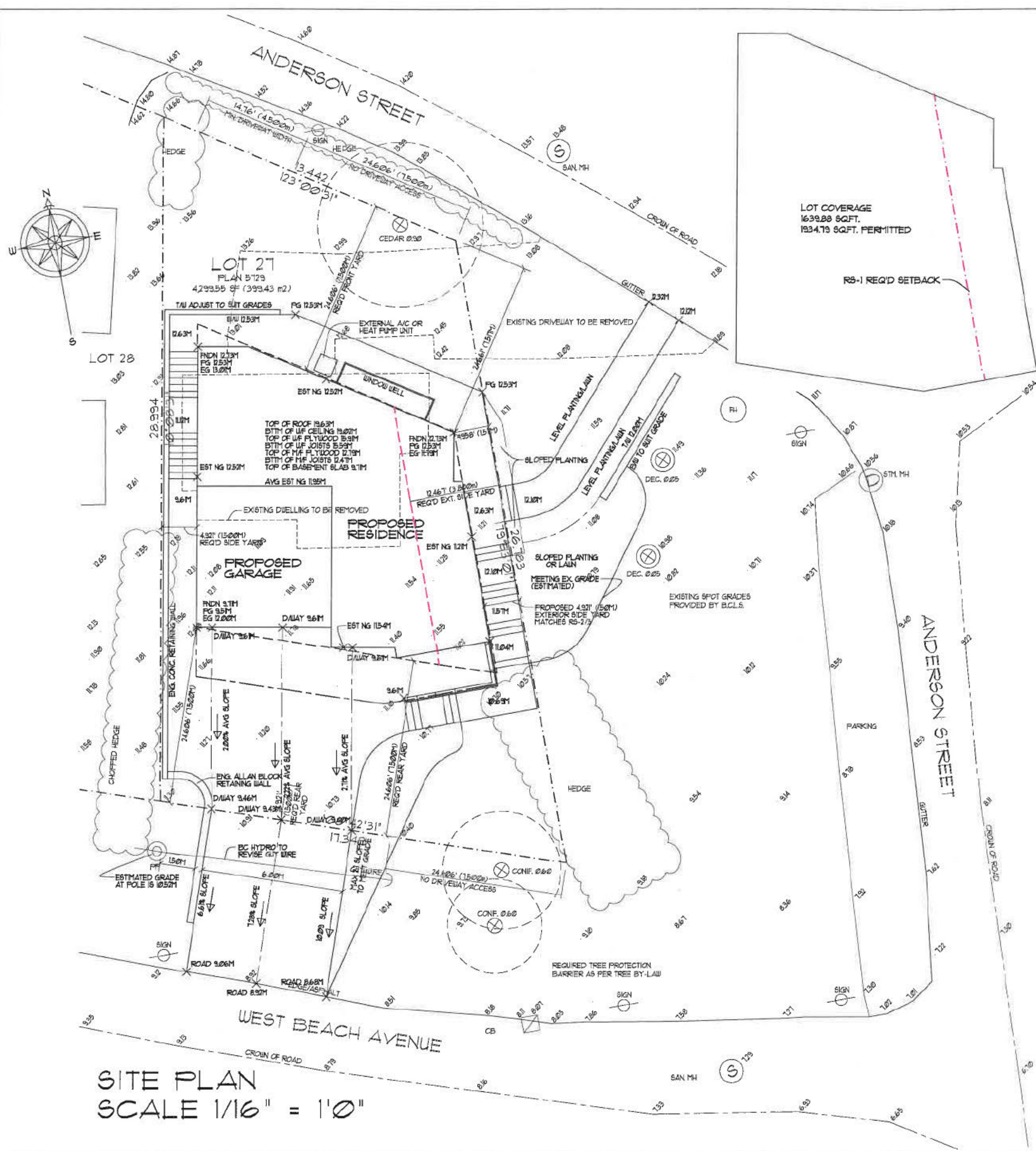
-This plan was prepared for design purposes and is for the exclusive use of our client. DHALI WAL AND ASSOCIATES LAND SURVEYING INC. and the signatory accept no responsibility for and hereby disclaim all obligations and liabilities for damages caused by the direct or indirect use or reliance upon the Plan beyond its intended use.

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DHALI WAL AND ASSOCIATES
LAND SURVEYING INC.
#216 12899-76th Avenue
Surrey, B.C. V3W 1E6
phone: (604) 501-6188
email: info@dhaliwalsurvey.com
File: 2209128-T02
Drawn by: PK/GK

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED

REVISED: BUILDING ENVELOPE
11th DAY OF APRIL 2023.
DATE OF SURVEY:
1st DAY OF NOVEMBER 2022.

SEAL
SUKH MINDER SINGH DHALI WAL
BCLS 756



SITE PLAN
SCALE 1/16" = 1'0"

PROJECT INFORMATION	
CLIENT NAME	
PROPERTY OWNER	
SITE ADDRESS	14693 WEST BEACH AVENUE WHITE ROCK B.C.
PROJECT TYPE	PROPOSED NEW SINGLE FAMILY DWELLING
AUTHORITY HAVING JURISDICTION	CITY OF WHITE ROCK
LEGAL DESCRIPTION	LOT 27 SECTION 10 TOWNSHIP 1 N.D. PLAN 5129 P.D. 011-10-406
TITLE SEARCH COMPLETED	YES - OLD BUILDING SCHEME ON TITLE
ZONE	RS-1 - ZONING BYLAW 2000 2013
SUBDIVISION	N.F.L.L. LOT
DESIGN CONTROL CONSULTANT	NOT REQUIRED
BUILDER	TO BE DETERMINED

ZONING ANALYSIS				
SETBACKS	FRONT YARD	REAR YARD	INT. SIDE YARD	EXT. SIDE YARD
STRUCTURE	24.60' (7.5m)	24.60' (7.5m)	4.92' (1.5m)	4.92' (1.5m)
PRINCIPAL BUILDING	24.60' (7.5m)	24.60' (7.5m)	4.92' (1.5m)	4.92' (1.5m)
ACCESSORY BUILDING	NOT ALLOWED	4.92' (1.5m)	4.92' (1.5m)	4.92' (1.5m)

SPECIAL SETBACK NOTES:

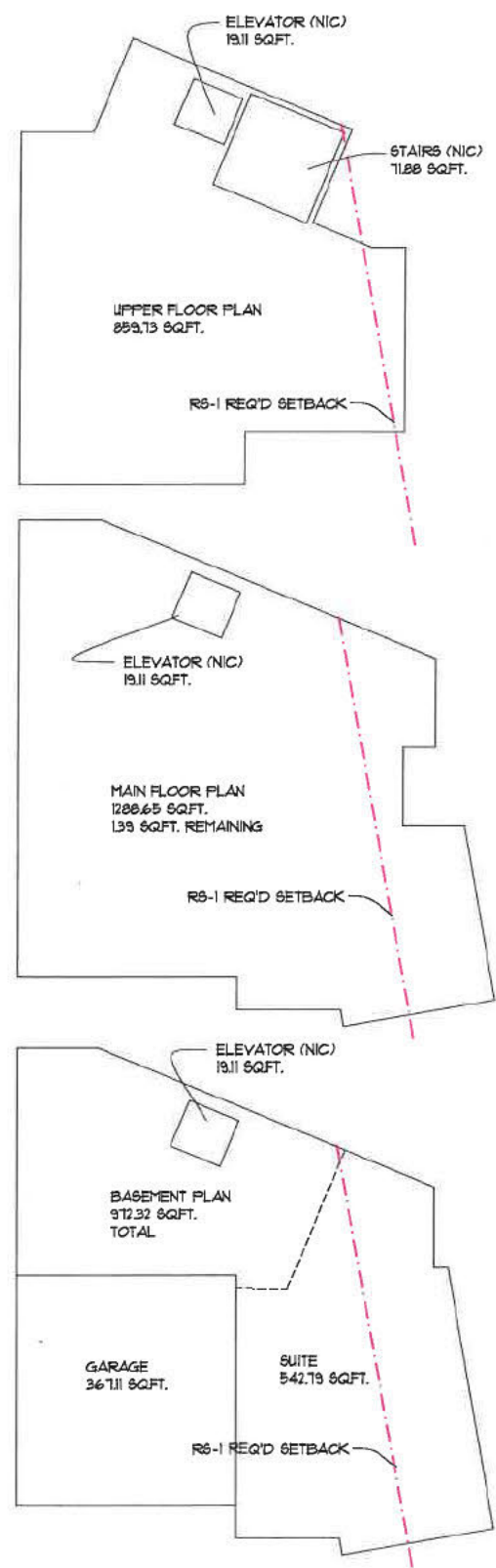
(1) WHERE AN EXTERIOR SIDE SETBACK IS REQUIRED TO BE 24.60' (7.5m) THE REAR SETBACK MAY BE REDUCED TO 24.60' (7.5m).

(2) WHERE AN EXTERIOR SIDE SETBACK IS REQUIRED TO BE 24.60' (7.5m) THE REAR SETBACK MUST BE INCREASED TO 24.60' (7.5m).

(3) WHERE AN INTERIOR SIDE LOT LINE ADJUTS A LANE THE REQUIRED SIDE YARD SETBACK MUST BE INCREASED TO 24.60' (7.5m).

(4) WHERE A REAR LOT LINE ADJUTS THE INTERIOR SIDE LOT LINE OF AN ADJACENT RESIDENTIAL LOT THE EXTERIOR SIDE SETBACK MUST BE INCREASED TO 24.60' (7.5m).

- MINIMUM 3.0m SEPARATION REQUIRED BETWEEN PRINCIPAL AND ACCESSORY BUILDINGS.



SCHEMATICS
SCALE 1/16" = 1'0"

PERMITTED PROJECTIONS		FRONT YARD	REAR YARD	INT. SIDE YARD	EXT. SIDE YARD
ARCH. FEATURES AND CORNICES	10' (3.0m)	10' (3.0m)	10' (3.0m)	10' (3.0m)	10' (3.0m)
CLADDING AND RAINSCREEN	0.375' (0.11m)	0.375' (0.11m)	0.375' (0.11m)	0.375' (0.11m)	0.375' (0.11m)
BAY, BOULDER BOX WINDOWS (1)	1.5' (0.46m)	1.5' (0.46m)	1.5' (0.46m)	1.5' (0.46m)	1.5' (0.46m)
FRONT PORCH ROOF (2)	3.94' (1.20m)	3.94' (1.20m)	3.94' (1.20m)	3.94' (1.20m)	3.94' (1.20m)
BALC., DECKS, PATIOS, STEPS (3)	6.89' (2.10m)	6.89' (2.10m)	6.89' (2.10m)	6.89' (2.10m)	6.89' (2.10m)
EAVES, GUTTERS, SILLS, SHADES (4)	3.94' (1.20m)	3.94' (1.20m)	3.94' (1.20m)	3.94' (1.20m)	3.94' (1.20m)
CHIMNEYS AND FIREPLACES (5)	1.5' (0.46m)	1.5' (0.46m)	1.5' (0.46m)	1.5' (0.46m)	1.5' (0.46m)

SPECIAL PROJECTIONS NOTES:

(1) BAY, BOULDER BOX WINDOWS AND CANTILEVERS MAY PROJECT A MAXIMUM OF 0.6M (2FT) INTO A FRONT, REAR OR EXTERIOR SIDE YARD SETBACK AREA (BUT NOT AN INTERIOR SIDE YARD SETBACK AREA) PROVIDED THAT SUCH PROJECTION SHALL ONLY APPLY TO THE PROJECTED FEATURE, SHALL NOT COMPRISE MORE THAN 3.0M (9.84FT) OF LINEAR DISTANCE OF ANY WALL, AND PROVIDED THAT THE PROJECTED FEATURE IS LOCATED AT LEAST 2.4M (7.87FT) FROM THE FRONT, REAR OR EXTERIOR SIDE LOT LINE.

(2) BAY WINDOWS MAY CONTAIN A CANTILEVERED FLOOR (INCLUDED IN F.A.R.) BUT NO FOUNDATION.

(3) STRUCTURES TO PROVIDE WEATHER PROTECTION OVER THE MAIN PEDESTRIAN ENTRANCE MAY PROJECT A MAXIMUM OF 1.2M (4.0FT) INTO A REQUIRED FRONT OR EXTERIOR SIDE YARD PROVIDED IT MUST BE AT LEAST 2.4M (7.87FT) FROM A FRONT OR EXTERIOR SIDE LOT LINE. THIS IS FOR CANTILEVERED OR WALL HUNG ELEMENTS ONLY, NOT INCLUDING POSTS.

(4) BALCONIES, DECKS, PATIOS, STEPS OR STAIRS MAY PROJECT BEYOND THE FACE OF THE PRINCIPAL BUILDING TO A MAXIMUM OF 1.2M INTO AN EXTERIOR SIDE YARD SETBACK, AND/OR 2.1M INTO A FRONT OR REAR YARD SETBACK, WHERE THE SETBACK BEING ENCRUSHED INTO IS A MINIMUM OF 3.6M. ANY OF THESE ELEMENTS LOCATED LESS THAN 2.4' ABOVE FINISHED GRADE CAN BE LOCATED ANYWHERE ON THE PROPERTY.

(5) EAVES AND GUTTERS, CORNICES, SILLS AND SHUTTER SHADES MAY PROJECT A MAXIMUM OF 0.6M (2FT) INTO A REQUIRED INTERIOR SIDE YARD SETBACK, AND 1.2M (4FT) INTO A REQUIRED FRONT, REAR OR EXTERIOR SIDE YARD SETBACK, PROVIDED THAT WHERE AN EXTERIOR SIDE YARD SETBACK REQUIRED IS LESS THAN 3.0M (9.84FT), THE MAXIMUM PROJECTION PERMITTED IS 0.6M (2FT).

LOT AREA		4299.55 SF	399.43 m2
FLOOR AREA RATIO			
ALLOWABLE PERCENT	50%		
ALLOWABLE RES. GRS. FLR. AREA	2149.77 SF	199.71 m2	
PROPOSED PERCENT	49.7%		
PROPOSED RES. GRS. FLR. AREA	2148.38 SF	199.59 m2	

SPECIAL F.A.R. NOTES:

- A BASEMENT IS ANY FLOOR THAT IS AT LEAST 2.0' BELOW THE AVERAGE NATURAL GRADE. BASEMENT AREA PROJECTING BEYOND THE MAIN FLOOR PERIMETER IS NOT INCLUDED IN F.A.R.

- IN THE RS-1 ZONE ONLY ONE BASEMENT STOREY IS PERMITTED.

- THERE IS NO RESTRICTION ON THE HEIGHT OF A STOREY.

- MAXIMUM PERMITTED FLOOR AREA OF A SECOND STOREY FOR A PRINCIPAL BUILDING SHALL NOT EXCEED 50% OF THE FOOTPRINT OF THE FIRST STOREY INCLUDING ATTACHED GARAGE AND THAT PORTION OF ANY COVERED PORCH, DECK OR CARPORT.

LOT COVERAGE		FOR LOTS 1,431 SF OR LESS	45%
		FOR LOTS GREATER THAN 1,431 SF	40%
ALLOWABLE AREA	1934.75 SF	179.14 m2	
PROPOSED PERCENT	30.14%		
PROPOSED AREA	1639.88 SF	152.35 m2	

SPECIAL LOT COVERAGE NOTES:

- CANTILEVERED ROOF OVERHANGS (EAVES) ARE NOT INCLUDED IN LOT COVERAGE. LOT COVERAGE IS TO SUPPORT POSTS ONLY.

BUILDING HEIGHT		PRINCIPLE BLDG. ALLOWED	25.26' (7.7m)
		ACCESSORY BLDG. ALLOWED	13.1' (4.0m)
		PRINCIPLE BLDG. PROPOSED	
		PRINCIPLE BLDG. PROPOSED	

BUILDING HEIGHT NOTES:

- HEIGHT IS TO THE HIGHEST POINT OF THE BUILDING FROM THE AV. NATURAL GRADE.

DRIVEWAY		ALLOWABLE SLOPE	15.00%
		PROPOSED SLOPE	0.0%
		MAX WIDTH	12.0' (3.66m)

GEODETIC ELEVATIONS		ROOF PEAK ELEV.	
		ROOF MEAN ELEV.	
		UPPER FLOOR CEILING ELEV.	
		UPPER FLOOR FLOOR ELEV.	
		MAIN FLOOR FLOOR ELEV.	
		GARAGE SLAB - ENTRY ELEV.	
		AVERAGE EXISTING GRADE	
		BASEMENT SLAB ELEV.	
		ALLOWABLE (M.B.E.)	
		9TH SEWER INVERT	0.0' P.L.
		SAN. SEWER INVERT	0.0' P.L.

INCLUDED FLOOR AREA:

CANTO FLOORS

ELEVATOR # 1 FLOOR

NOT INCLUDED:

GARAGE/CARPORT

BAY WINDOWS

DECKS OR PORCHES

INT. STAIRS # 1 FLOOR

BASEMENTS

CRAWLSPACES MAX 5'

NOT INCLUDED:

BOXED WINDOWS

DECK/PORCH STAIRS

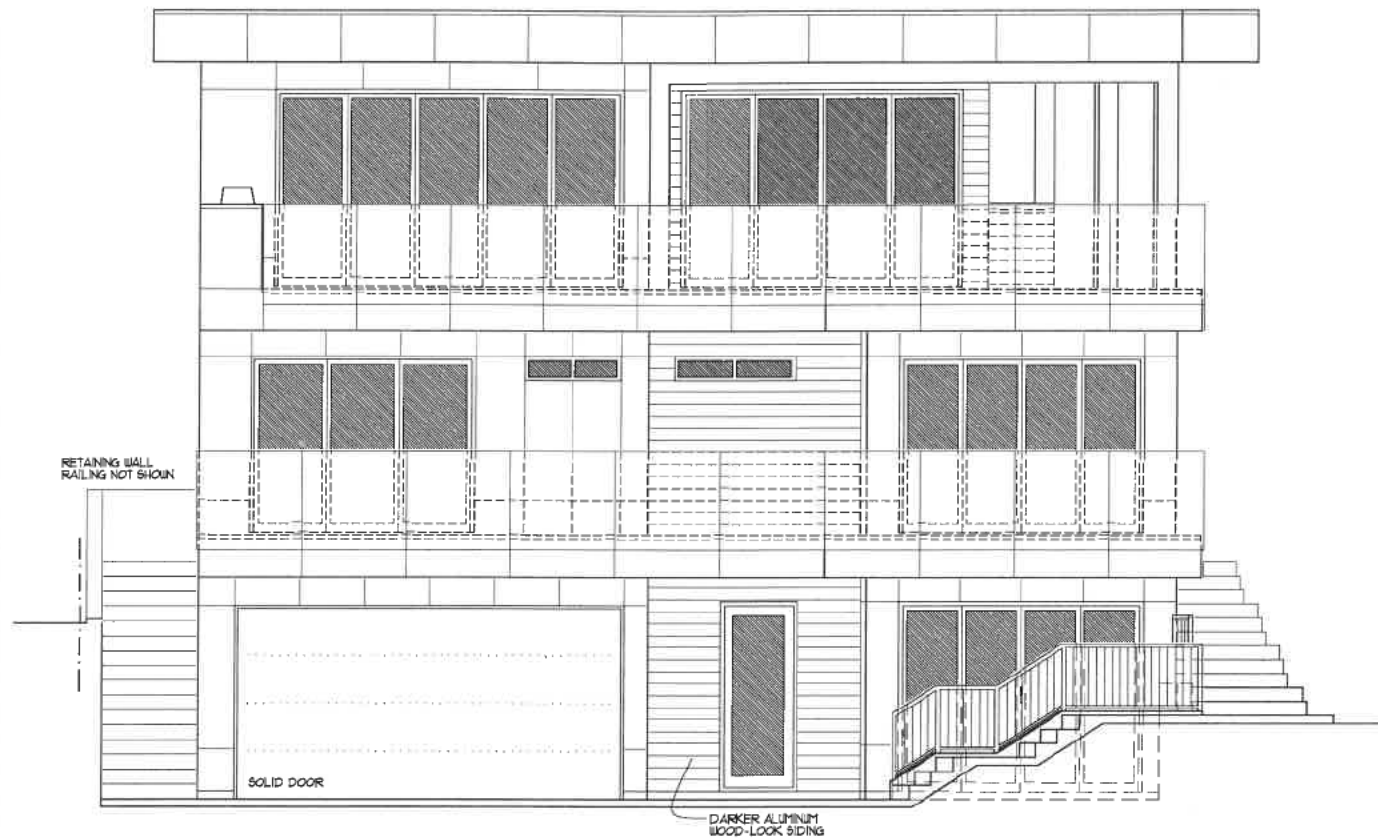
DECKS > 24" W/O ROOF

PATIOS > 24" W/O ROOF

STEPS ON GRADE

PROPOSED RESIDENCE

14693 WEST BEACH AVE.



REAR (SOUTH) ELEVATION
SCALE 1/8" = 1'0"



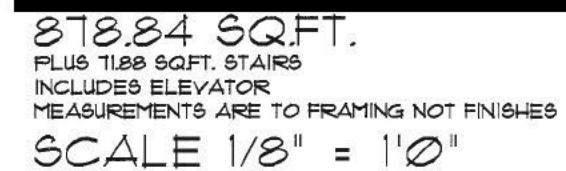
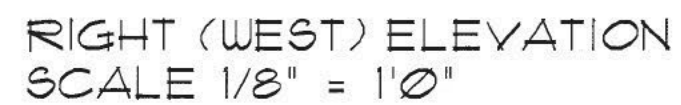
LEFT (EAST) ELEVATION
SCALE 1/8" = 1'0"



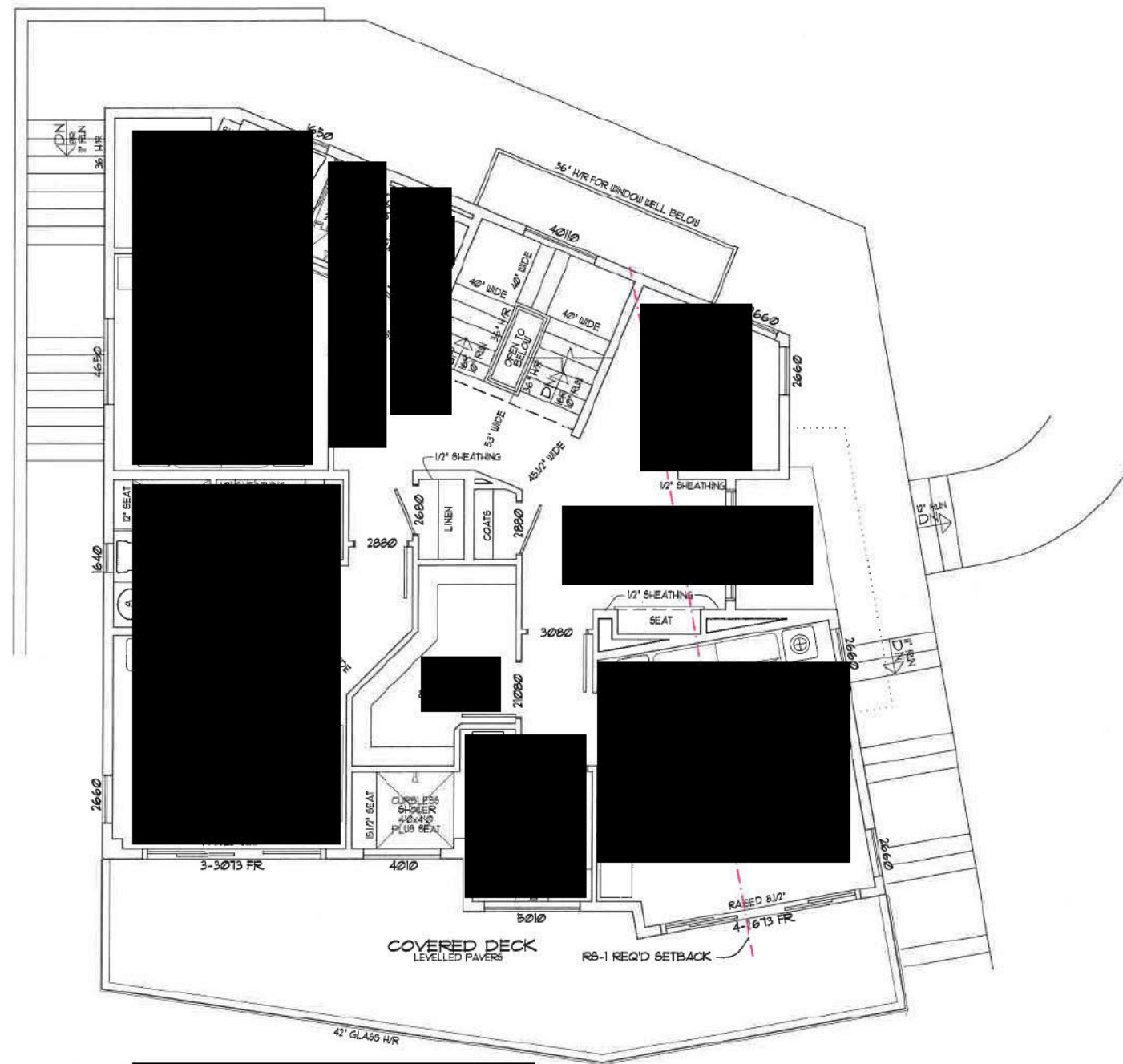
FRONT (NORTH) ELEVATION
SCALE 1/8" = 1'0"

14693 WEST BEACH AVE.

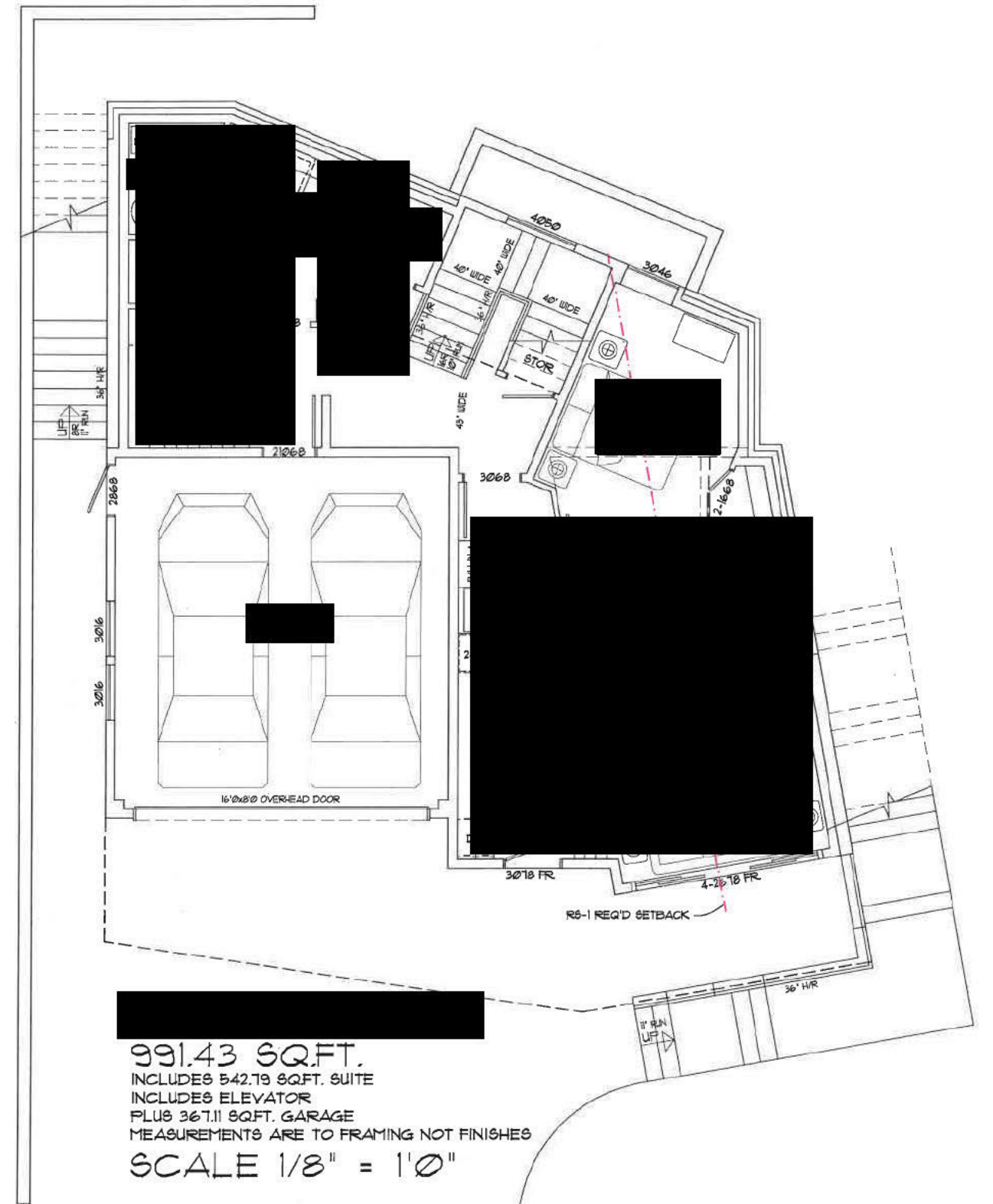
PROPOSED RESIDENCE



PROPOSED [REDACTED] RESIDENCE



1301.16 SQ.FT.
INCLUDES ELEVATOR
MEASUREMENTS ARE TO FRAMING NOT FINISHES
SCALE 1/8" = 1'0"



991.43 SQ.FT.
INCLUDES 542.19 SQ.FT. SUITE
INCLUDES ELEVATOR
PLUS 367.11 SQ.FT. GARAGE
MEASUREMENTS ARE TO FRAMING NOT FINISHES
SCALE 1/8" = 1'0"

14693 WEST BEACH AVE.

PROPOSED RESIDENCE