

NOTICE OF PUBLIC HEARING – SEPTEMBER 26, 2022

BYLAW 2438: **WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT
(RT-1 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438**

CIVIC ADDRESS: **1091 STAYTE ROAD**

PURPOSE: Bylaw 2438 proposes to rezone the subject property from the “RS-1 One-Unit Residential Zone” to the “RT-1 Two-Unit (duplex) Residential Zone”. If approved, it would allow for the construction of a duplex on the property.

WHITE ROCK
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Documents:

Author	Document	Item #
Director of Planning and Development Services	Regular Council corporate report dated July 25, 2022	R-1
Corporate Administration Department	Minutes – Various Extracts	R-2

Written Submissions:

Author	Date Received	Resident?	Status	Item #
None to date.				

THE CORPORATION OF THE
CITY OF WHITE ROCK

15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

**NOTICE OF PUBLIC HEARING
MONDAY, SEPTEMBER 26, 2022**

NOTICE is hereby given that the Council of the City of White Rock will hold an opportunity for public participation for a Public Hearing on **MONDAY, SEPTEMBER 26, 2022**, at **5:00 P.M.** in accordance with the *Local Government Act* and the *Planning Procedures Bylaw*. All persons who deem their interest in property is affected by the proposed bylaw / application shall be afforded an opportunity to be heard **in person, via telephone or by forwarding written submissions** reflecting matters contained in the proposed bylaw / application that is the subject of the Public Hearing. At the Public Hearing, Council will hear and receive submissions from the interested persons in regard to the bylaw / application listed below:

BYLAW 2438: **WHITE ROCK ZONING BYLAW, 2012, NO. 2000,
AMENDMENT (RT-1 1091 STAYTE ROAD) BYLAW,
2022, NO. 2438**

CIVIC ADDRESS: 1091 STAYTE ROAD (See Site Map)

PURPOSE: Bylaw 2438 proposes to rezone the subject property from the “RS-1 One-Unit Residential Zone” to the “RT-1 Two-Unit (duplex) Residential Zone”. If approved, it would allow for the construction of a duplex on the property.

The proposed application and associated reports can be viewed online on the agenda and minutes page of the City website, www.whiterockcity.ca, under Council Agendas from September 13, 2022, until September 26, 2022. If you are unable to access the information online, please contact the Corporate Administration department at 604-541-2278, between the hours of 8:30 a.m. and 4:30 p.m., or leave a voicemail and staff will ensure you have the information made available to you.

ADDITIONAL INFORMATION

Further details regarding the subject of the Public Hearing may be found online: whiterockcity.ca/agendas

Contact the Planning and Development Services Department for any questions regarding this application: 604-541-2136 | planning@whiterockcity.ca

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VIEW THE PLANNING REPORT, BYLAWS AND RELATED DOCUMENTS

Online at whiterockcity.ca/agendas

SUBMIT YOUR COMMENTS

- **Email:** clerksoffice@whiterockcity.ca with “Bylaw 2438 (1091 Stayte Road)” noted in the subject line
- **Mail:** City Hall at 15322 Buena Vista Avenue, White Rock, V4B 1Y6

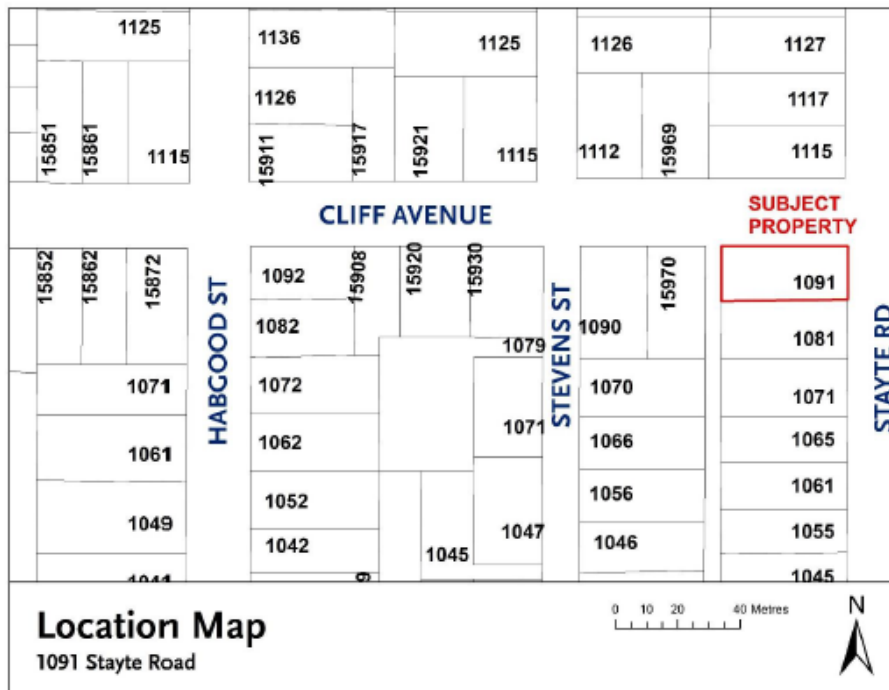
All submitted comments will be distributed to Council and must be received by 12:00 p.m. noon on the day of the public hearing.

- **In Person:** Attend in person at City Hall Council Chambers.
- **Register to speak at the public hearing by phone:** Refer to the City of White Rock Website at whiterockcity.ca/publichearings and follow the instructions regarding the sign-up process or call 604-541-2127.

WATCH THE PUBLIC HEARING

Live online or view the video the following day at whiterockcity.ca/agendas

SITE MAP: 1091 Stayte Road



September 13, 2022
Tracey Arthur, Director of Corporate Administration



www.whiterockcity.ca

THE CORPORATION OF THE
CITY OF WHITE ROCK
CORPORATE REPORT



DATE: July 25, 2022

TO: Mayor and Council

FROM: Anne Berry, Director, Planning and Development Services

SUBJECT: Consideration of 1st and 2nd Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438

RECOMMENDATIONS

THAT Council:

1. Give first and second readings to “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438;”
 2. Direct staff to schedule the public hearing for “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438;” and
 3. Direct staff to address the following conditions prior to bringing “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438” back for consideration of final adoption:
 - a) Ensure that all engineering requirements and issues, including road dedication and the execution of a Works and Servicing Agreement, are addressed to the satisfaction of the Director of Engineering and Municipal Operations;
 - b) Ensure that the east pedestrian walkway is revised, and updated drawings are submitted and approved by the Director of Planning and Development Services;
 - c) Registration of a Section No. 219 Covenant to restrict basement suites;
 - d) Ensure that all matters pertaining to tree protection and retention are addressed to the satisfaction of the Director of Planning and Development Services.
 - e) Confirm and ensure the recommendations of the final arborist report, approved by the Director of Planning and Development Services and, more specifically the city’s Arboricultural Technician, are implemented and maintained through future demolition and construction activities; and
 - f) Complete the demolition of the existing dwelling to the satisfaction of the Director of Planning and Development Services.
-

EXECUTIVE SUMMARY

This application proposes to rezone the property from the “RS-1 One-Unit Residential Zone” to the “RT-1 Two-Unit (duplex) Residential Zone” at 1091 Stayte Road. If approved, it would allow for the construction of a duplex on the property. A minor development permit for form and character is also required. The subject property meets the lot area and dimension requirements of

the RT-1 zone and the siting and massing of the proposed two-storey duplex is similar to a single-unit residential building that could be constructed under the existing zoning. The duplex would provide a more ‘affordable’ ownership option in the city, as compared to one large single-family home. Overall, staff supports the proposal subject to the recommended conditions.

A copy of draft Zoning Amendment Bylaw No. 2438 is included in this corporate report as Attachment A, and the proposed architectural and landscape drawings are included as Attachment B.

PREVIOUS COUNCIL DIRECTION

Motion & Meeting Date	Motion Details
2020-LU/P-040 October 26, 2020	THAT Land Use and Planning Committee recommend that Council resolve that the zoning amendment application at 1091 Stayte Road proceed to the next stage in the application review process.
2020-542 November 9, 2020	THAT Council resolve that the zoning amendment application at 1091 Stayte Road proceed to the next stage in the application review process.

INTRODUCTION/BACKGROUND

If approved, the zoning would be amended from RS-1 to RT-1, which enables the construction of a duplex. Figure 1.0 illustrates the Subject Property and the context of the site. The properties immediately west and south are zoned RS-1. The properties to the east of the subject property fall within the City of Surrey.

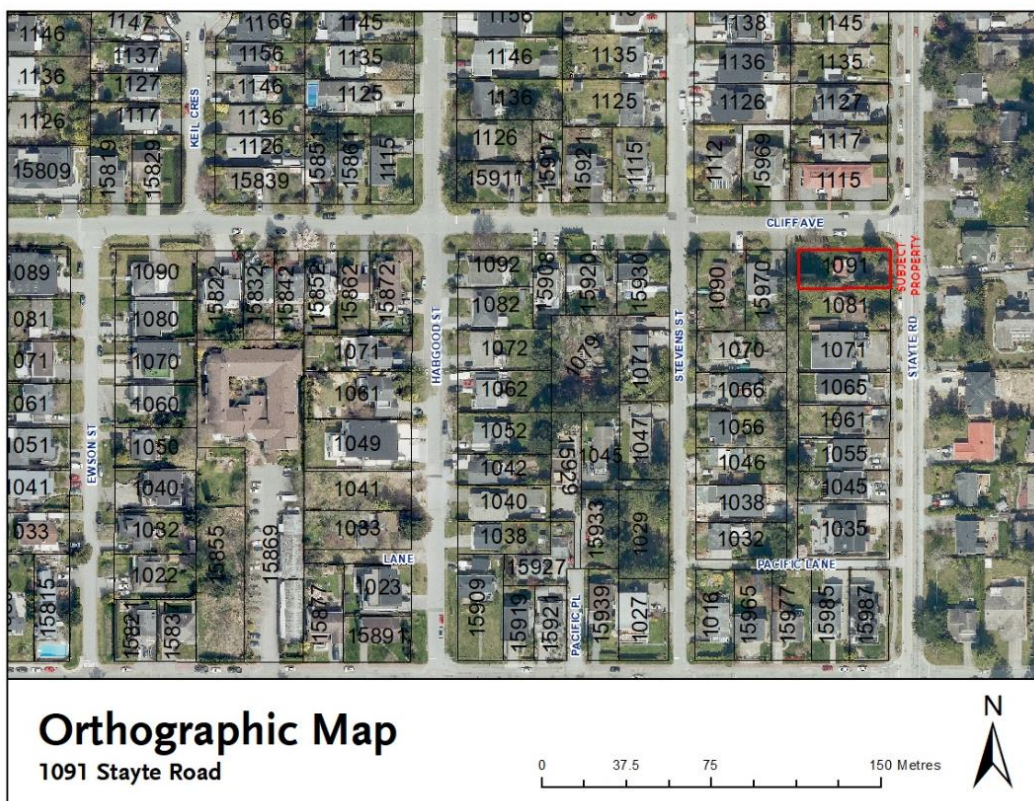


Figure 1: Site Context and Subject Property

Official Community Plan

The property is within the City’s “Mature Neighbourhood” designation as outlined in the Official Community Plan (OCP). This OCP designation goal is to create low-scale housing forms (for example, housing that includes single-family homes with secondary suites, duplexes, and triplexes). The OCP policies are intended to maintain residential character within established neighbourhoods by encouraging gentle infill while supporting a variety of housing choices and different levels of affordability. Under OCP Section 7: Growth Management, Policy 7.4.2, duplexes are encouraged to be spread throughout the City by limiting the number of duplexes along a single block frontage to 20% of the total number of properties. This would be the first duplex on the west side of Stayte Road and is therefore supported by OCP Policy 7.4.2.

ANALYSIS

The proposal has undergone a series of revisions to ensure alignment with the City’s Development Permit Area and Duplex Design Guidelines. The project is consistent with the OCP’s Mature Neighbourhood DPA policies. The following sections describe details of the proposal and key land use planning considerations made in preparing the staff recommendation outlined in this report.

Zoning

The subject property is approximately 18.59 m (62.0 ft) wide, 40.26 m (132.3 ft) deep, and has a lot area of 748.06 sq.m (8,052 ft²), exceeding the minimum requirements of both the existing RS-1 zone and the proposed RT-1 zone. The zoning requirements that relate to the siting and massing of buildings are largely identical for the RS-1 and RT-1 zones. The only variation is to lot coverage with a maximum of 40% required in the RS-1 zone as compared to 45% in the RT-1 zone. The proposal at 1091 Stayte Road is in conformance with all RT-1 standards. Table 1.0 below summarizes the current and proposed zoning and configuration for the proposed duplex. The proposed use of the property is permitted within the RT-1 zone. Secondary suites are not permitted in the RT-1 zone.

Table 1: Existing and Proposed Zoning Matrix

Zone Standard	RS-1 (Current zone)	RT-1 (Standard) zone	RT-1 (Proposed)
Lot Width (min)	15.0 m	18.0 m	18.59 m (62.0ft)
Lot Depth (min)	27.4 m	30.5 m	40.26 m (132.3ft)
Lot Area (min)	464.0 m ² (4,994.5ft ²)	742.0 m ² (7,986.8ft ²)	748.06 m ²
Lot Coverage (max)	40%	45%	39.6%
Floor Area	0.5 times the lot area	0.5 times the lot area	0.5 times the lot area
Height (max)	7.7 m	7.7 m	6.97 m
Setbacks (min)			
Front	7.5 m	7.5 m	7.83 m
Rear	7.5 m	7.5 m	7.81 m
Exterior sideyard	3.8 m	3.8 m	3.94 m
Interior side	1.5 m	1.5 m	1.91 m

Public Realm and Streetscape Improvements

Improvements to the City boulevard would be completed by the applicant at the time of redevelopment (e.g., sidewalks, street tree planting, etc.).

Mature Neighbourhood DPA Guidelines

The applicant has submitted a response to the Mature Neighbourhood Development Permit Area Guidelines, which apply to the proposal under OCP Policy 22.1. The response to the guidelines is attached as Attachment C. Staff consider the submitted response to be in conformance with the Development Permit Guidelines. Figure 2.0 below is a rendering of the proposed duplex development on the subject property.



Figure 2: Rendering of proposed duplex

The applicant has adequately identified how the proposed development (see meets the development permit guidelines by providing the following key aspects:

- a) The individuality of each unit has been achieved through variations in the floor plans, setbacks, window sizes, front door locations, and by using different cladding accent materials.
- b) The site is to be landscaped with plant materials using a variety of evergreen and flowering trees, shrubs, grasses and perennials. The overall result will be the creation of an enhanced streetscape that maintains a strong separation between private and public space in the front yard and exterior side yard.

Advisory Design Panel Review

During the Advisory Design Panel (ADP) meeting on March 15, 2022, the panel recommended that the application for the development proposal at 1091 Stayte Road proceed to Council, subject to consideration of comments pertaining to the following items (see Table 2.0 below; see Attachment D for related ADP meeting minutes):

Table 2: ADP comments and Applicant's responses

ADP Comments	Applicant's response
Consider using a different variety of tree and plant species along the property line to reduce the need for a large fence	<ul style="list-style-type: none"> The plantings have been revised. The proposed fence does not exceed the zoning bylaw's maximum fence height requirement. It was advised that coordination with the Arborist is required to avoid damaging the tree roots. Notes have been included in the updated Landscape Plan; the posts are to be hand dug under Arborist supervision.
To use colours and elements from the front elevation on the rear elevation.	<ul style="list-style-type: none"> The colours and elements on the rear elevation have been revised to match that on the front elevation.
Revise the design to replace the horizontal windows with larger vertical windows.	<ul style="list-style-type: none"> The horizontal window has been replaced by a larger window.
To include roughed-in electric vehicle charging infrastructure.	<ul style="list-style-type: none"> Plans updated to include a rough-in outlet for EV charging.
Ensuring that minimum setbacks for the RT-1 zone are maintained and no building and/or structure falls within these setbacks.	<ul style="list-style-type: none"> The garbage enclosures have been removed from the Site Plan to meet the RT-1 zoning setback requirement.

Staff believe the applicant has provided a satisfactory response to the comments noted above.

Tree Management and Protection

As per the OCP, development projects should be designed to preserve and protect mature, healthy trees. The applicant has submitted an arborist report which identifies a total of seventeen (17) "protected trees" which are subject to the provisions of the city's Tree Protection Bylaw, No. 2407 (see Attachment E) There are four on-site trees, seven off-site trees plus six City trees. Table 3.0 below identifies the protected trees, their size, and whether they are proposed for removal or retention. The Table also identifies the value of securities for tree retention and the number and value of replacement trees where removals are proposed.

Table 3: Summary of Protected Trees tied to the Development

Tree Ref.	Species	DBH (cm)	Retain / Remove	Security for Retention / Replacement Value	# of Replacements
665 (City)	English Oak	42	Retain	3000	NA
666 (City)	Western Red Cedar	57	Retain	4500	NA
667 (City)	Western Red Cedar	33	Retain	3000	NA
668 (City)	Western Red Cedar	74	Retain	10000	NA
669 (OS)	Douglas Fir	59	Retain	4500	NA
670 (OS)	Western Red Cedar	71	Retain	10000	NA

671 (OS)	Western Red Cedar	93	Retain	10000	NA
672 (OS)	Western Red Cedar	90	Retain	10000	NA
673 (OS)	Western Red Cedar	54	Retain	4500	NA
674	Mountain Ash	56	Remove	4500	3
675 (OS)	Western Red Cedar	80	Retain	10000	NA
676 (OS)	Western Red Cedar	37	Retain	3000	NA
677 *	Western Red Cedar*	94	Retain	10000	NA
678	Pacific Dogwood	92	Retain	10000	NA
679 (City)	Paperbark Maple	21	Retain	3000	NA
680 (City)	Paperbark Maple	13	Retain	3000	NA
681	Spruce	54	Remove	4500	3
Total				107500	6

* This tree is shared with the City

City staff have reviewed the recommendations of the Project Arborist and are comfortable with the proposed tree protection measures and removals subject to the following requirements, noted by the city’s Arboricultural Technician, being fulfilled prior to final adoption:

- The emerald cedar hedging shrubs planted on Cliff Avenue will require removal under the Engineering Department’s lot servicing permit.
- Trees 677 and 678 will not require pruning for overhead service drop. Hydro will be undergrounded and trenched and will need to be supplied from the power pole on Cliff Avenue siding 1115 Stayte Road.
- The Architect and Engineer will need to approve and sign off that all prescriptions made by the project arborist are feasible.
- Walkways and encroachments on city boulevard must be approved through Engineering. The east pedestrian walkway proposed within the critical root zone of the Dogwood will negatively impact the Pacific Dogwood tree. Additionally, it cannot be supported as there is a city bench and bus stop 56190 on city sidewalk where the proposed pathway is.
- Posting \$107,500 in securities for trees as required by the Tree Protection Bylaw.

Six new trees are proposed as part of the development. All the trees identified on the Tree Retention/Removal Plan in the Arborist report (see Attachment E) have been given their retention/removal recommendation on a preliminary basis. This will be further reviewed upon receipt of an application for a Tree Management Permit (TMP), likely to accompany a future request for demolition of the existing building. Final recommendations will be based upon design/construction and grading details.

FINANCIAL IMPLICATIONS

The following fees would be collected if approved for rezoning and subdivision (Table 4). Note these fees are subject to change:

Table 4: Applicable Development Costs

	Fee (per Unit)	Units Subject to Fee	Sub-Total
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City of White Rock Development Cost Charges (DCCs)	\$19,294.76	1	\$19,294.76
TransLink DCCs	\$2,993.00	1	\$2,993.00
Metro Vancouver (Regional) DCCs	\$6,254.00	1	\$6,254.00
Surrey School District School Site Acquisition Charges (SSAC)	\$1,000.00	1	\$1,000.00
Total			\$29,541.76

COMMUNICATION AND COMMUNITY ENGAGEMENT IMPLICATIONS

A Public Information Meeting (PIM) for this proposal was held on October 8, 2020. One person attended the PIM. A copy of the Applicant’s PIM Summary is included in Attachment F. Comments received during the PIM are summarized in Table 5.

Table 5: Comment and Response from PIM Summary

Comment / Question	Applicant’s Response
Concern about offsite tree removal and potential damage to the health of the trees with the duplex development.	<ul style="list-style-type: none"> • An effort to save as many healthy trees as possible, based on the arborist’s professional experience and recommendations has been made. • The arborist will be present onsite during excavation and construction near TPZ to ensure no damage is done to the trees to be retained. • The developer reached out to the neighbours after PIM to obtain permission for off-site tree removal. Since the neighbours declined to provide their permission, the design was revised to retain all offsite trees by incorporating a Screw Pile foundation.

A public hearing will be scheduled if the zoning amendment receives 1st and 2nd reading. This will allow the community to express their thoughts on the proposal to Council.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS

The zoning bylaw amendment application was referred to municipal departments for comments. Comments provided to the applicant have been addressed related to this stage of the rezoning proposal.

Approval of the final detailed (civil) designs and the execution of a “Works and Servicing Agreement” to the satisfaction of the Director of Engineering and Operations would be required as a condition of 3rd reading.

The relocation of the east pedestrian walkway would need to be addressed to the satisfaction of the Director of Planning and Development Services. The submission of drawings and final approval of the revised location by city departments would be required as a condition of 3rd reading.

The tree retention requirements would need to be addressed to the satisfaction of the Director of Planning and Development Services. The completion of covenants and the final approval of the applicant’s arborist report by the city’s Arboricultural Technician is also recommended to be required as a condition of 3rd reading.

CLIMATE CHANGE IMPLICATIONS

The application will enable modest infill within the ‘Mature Neighbourhood’ designation, thereby lessening the demand for outward sprawl otherwise necessary to accommodate growth.

IMPLICATIONS FOR TREE PRESERVATION AND TREE CANOPY ENHANCEMENT

Tree retention is recognized as a benefit to the uptake of greenhouse gases and reducing factors that contribute to climate change. The subject property contains mature trees subject to the city’s Tree Protection Bylaw. Several off-site mature trees border the property line of the subject property and neighbouring property south of the subject property that would be impacted by this development. Staff have made efforts to ensure optimal long-term tree preservation occurs.

ALIGNMENT WITH STRATEGIC PRIORITIES

The proposal is generally aligned with the Corporate Vision established as part of Council’s Strategic Priorities, particularly with respect to supporting a community where people can live, work and play in an enjoyable atmosphere.

OPTIONS / RISKS / ALTERNATIVES

The following options are available for the Council’s consideration:

1. Reject “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438,” or
2. Defer consideration of “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438,” and refer the application to staff to address any issues identified by Council.

CONCLUSION

The City has received an application for a zoning bylaw amendment, to allow the construction of a duplex at 1091 Stayte Road. Staff have brought forward a draft Zoning Amendment Bylaw to move the application forward to a Public Hearing. Staff recommend that the Zoning Amendment Bylaw be given first and second reading and that a Public Hearing be scheduled. If Council adopts the zoning amendment bylaw, the subsequent issuance of the Minor Development Permit for the form and character of the duplex would be considered by staff, as the authority is delegated to the City Manager by the Planning Procedures Bylaw. Overall, staff supports the proposal subject to the recommended conditions noted.

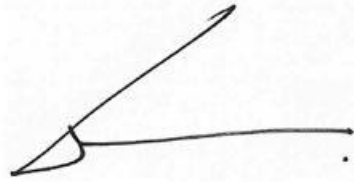
Respectfully submitted,



Anne Berry, MCIP, RPP
Director, Planning and Development Services

Comments from the Chief Administrative Officer

I concur with the recommendations of this corporate report.

A handwritten signature in black ink, consisting of a stylized 'G' followed by a horizontal line and a small flourish at the end.

Guillermo Ferrero
Chief Administrative Officer

Attachment A: Draft Zoning Amendment Bylaw No. 2438

Attachment B: Architectural and Landscape Drawings

Attachment C: Response to Mature Neighbourhood Development Permit Area Guidelines

Attachment D: March 15 2022 ADP Meeting Minutes

Attachment E: Arborist Report

Attachment F: Public Information Meeting (PIM) Summary

**The Corporation of the
CITY OF WHITE ROCK
BYLAW 2438**



A Bylaw to amend the
"White Rock Zoning Bylaw, 2012, No. 2000" as amended

The CITY COUNCIL of the Corporation of the City of White Rock, in open meeting assembled, ENACTS as follows:

- Schedule "C" of the "White Rock Zoning Bylaw, 2012, No. 2000" as amended is further amended by rezoning the following lands:

Lot 1 Section 11 Township 1 New Westminster District Plan 14850
(1091 Stayte Road)
PID: 002-267-144

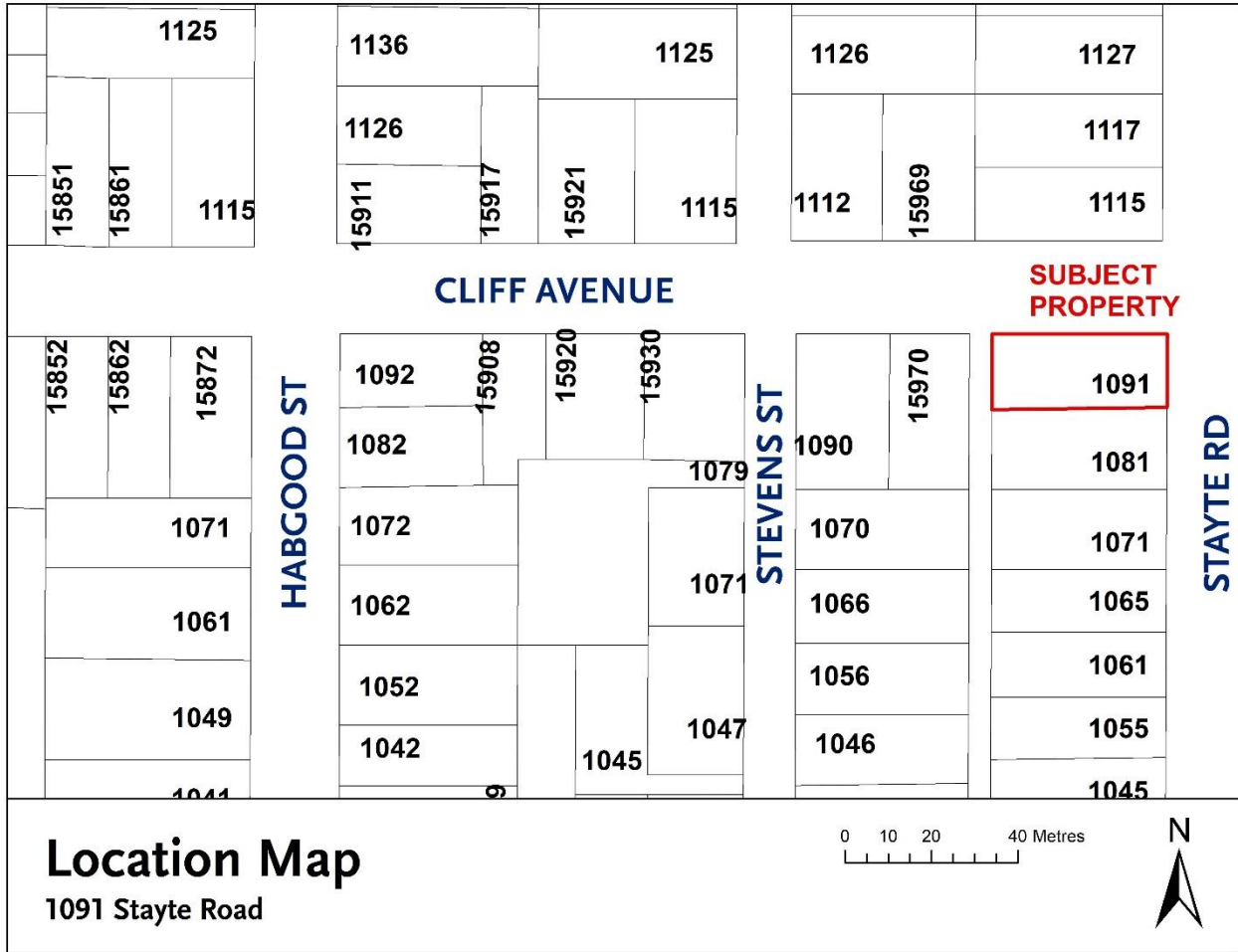
as shown on Schedule "1" attached hereto, from 'RS-1 One Unit Residential Zone' to 'RT-1 Two Unit (Duplex) Residential Zone'.
- This Bylaw may be cited for all purposes as the "White Rock Zoning Bylaw 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2020, No. 2438".

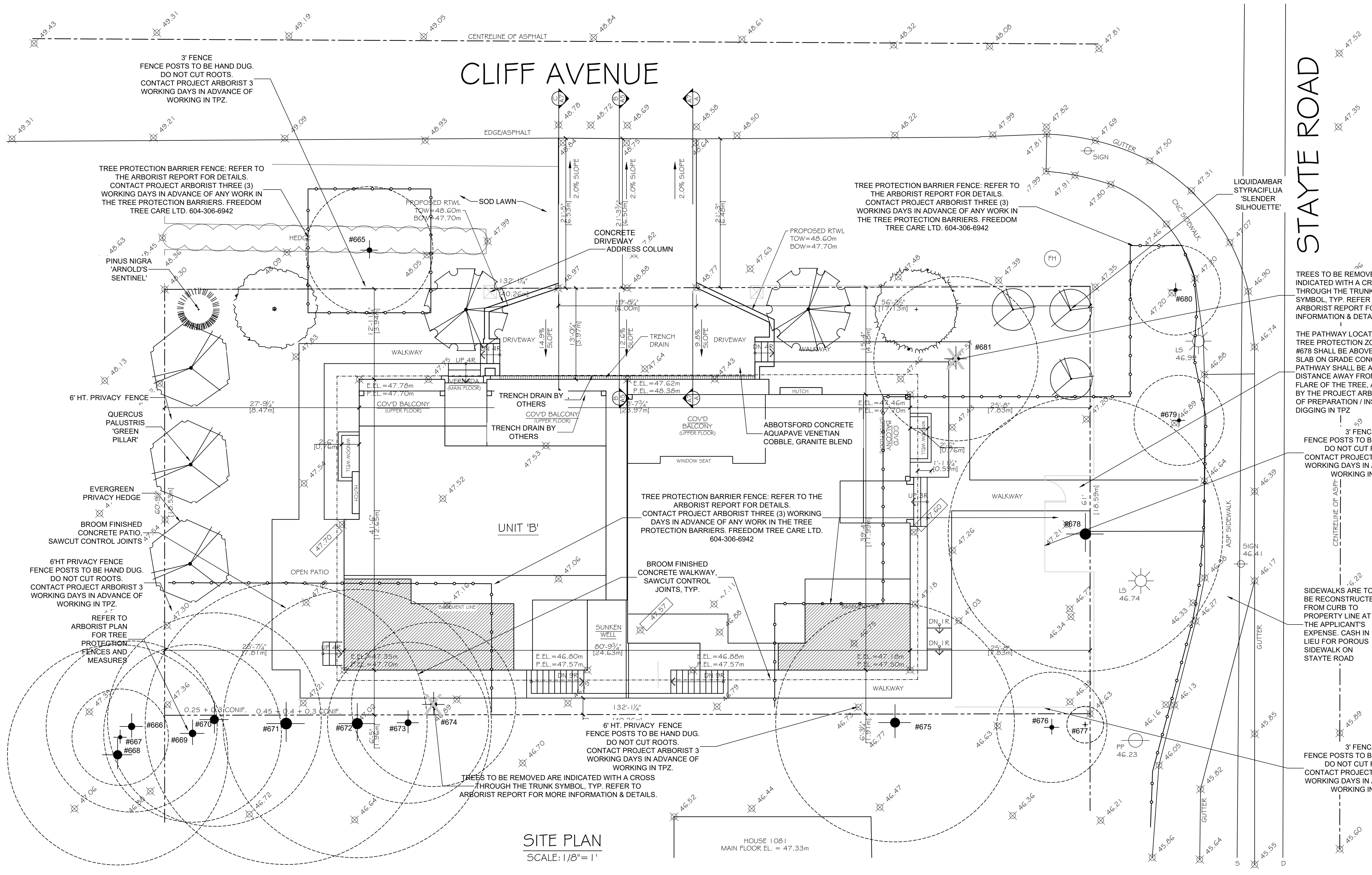
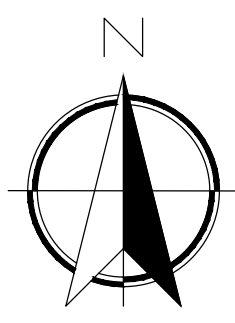
PUBLIC INFORMATION MEETING on the	8 th	day of	October, 2020
RECEIVED FIRST READING on the		day of	
RECEIVED SECOND READING on the		day of	
PUBLIC HEARING held on the		day of	
RECEIVED THIRD READING on the		day of	
RECONSIDERED AND FINALLY ADOPTED on the		day of	

Mayor

City Clerk

Schedule "1"





SITE PLAN
SCALE: 1/8" = 1'

HOUSE 1081
MAIN FLOOR EL. = 47.33m

PROPOSED SINGLE FAMILY DWELLING	
CIVIC ADDRESS	1091 STAYTE ROAD, WHITE ROCK
LEGAL DESCRIPTION	LOT 1 BLK 17 SEC 11 NWD PL NWP 14850 TWP 1
AVERAGE GRADE	48.38m, 47.60m, 47.57, 47.70m
MAX. BUILDING HEIGHT EL.	47.81m
BASEMENT FLOOR SLAB EL.	48.30m
GARAGE SLAB EL.	48.30m
MAIN FLOOR EL.	48.51m
UPPER FLOOR EL.	51.61m
UPSIDE OF TRUSS EL.	54.37m
ROOF PEAK EL.	54.78m

RT-1 ZONING			
LOT AREA	8052 SQ. FT.	748.06 SQ. FT.	
PERMITTED	3623 SQ. FT.	3189 SQ. FT.	
LOT COVERAGE (45%)			
FLOOR AREA RATIO (50%)	4026 SQ. FT.	MF UNIT 'A'	1149 SQ. FT.
		MF UNIT 'B'	1136 SQ. FT.
		VERANDA 'A'	27,000 SQ. FT.
		VERANDA 'B'	24 SQ. FT.
		UF UNIT 'A'	830 SQ. FT.
		UF UNIT 'B'	854 SQ. FT.
		TOTAL	4022 SQ. FT.
GARAGE AREA	NA	UNIT 'A'	423 SQ. FT.
		UNIT 'B'	420 SQ. FT.
		TOTAL	844 SQ. FT.
FRONT YARD SETBACK	7.50m	7.83m	
RIGHT SIDE SETBACK (EXTERIOR)	3.80m	3.94m	
LEFT SIDE SETBACK (INTERIOR)	1.50m	1.91m	
REAR YARD SETBACK	7.50m	7.81m	
COVID DECK AREA	NA	UNIT 'A'	82 SQ. FT.
		UNIT 'B'	194 SQ. FT.
		TOTAL	276.5347 SQ. FT.
HEIGHT	7.7m	6.97m	

TREES TO BE REMOVED ARE INDICATED WITH A CROSS THROUGH THE TRUNK SYMBOL. TYP. REFER TO ARBORIST REPORT FOR MORE INFORMATION & DETAILS.

THE PATHWAY LOCATED INSIDE THE TREE PROTECTION ZONE OF TREE #678 SHALL BE ABOVE GRADE USING SLAB ON GRADE CONCRETE. THE PATHWAY SHALL BE A SUITABLE DISTANCE AWAY FROM THE BASAL FLARE OF THE TREE, AS DETERMINED BY THE PROJECT ARBORIST AT TIME OF PREPARATION / INSTALLATION. NO DIGGING IN TPZ.

6' HT. PRIVACY FENCE. FENCE POSTS TO BE HAND DUG. DO NOT CUT ROOTS. CONTACT PROJECT ARBORIST 3 WORKING DAYS IN ADVANCE OF WORKING IN TPZ.

3' FENCE. FENCE POSTS TO BE HAND DUG. DO NOT CUT ROOTS. CONTACT PROJECT ARBORIST 3 WORKING DAYS IN ADVANCE OF WORKING IN TPZ.

SIDEWALKS ARE TO BE RECONSTRUCTED FROM CURB TO PROPERTY LINE AT THE APPLICANT'S EXPENSE. CASH IN LIEU FOR POROUS SIDEWALK ON STAYTE ROAD.

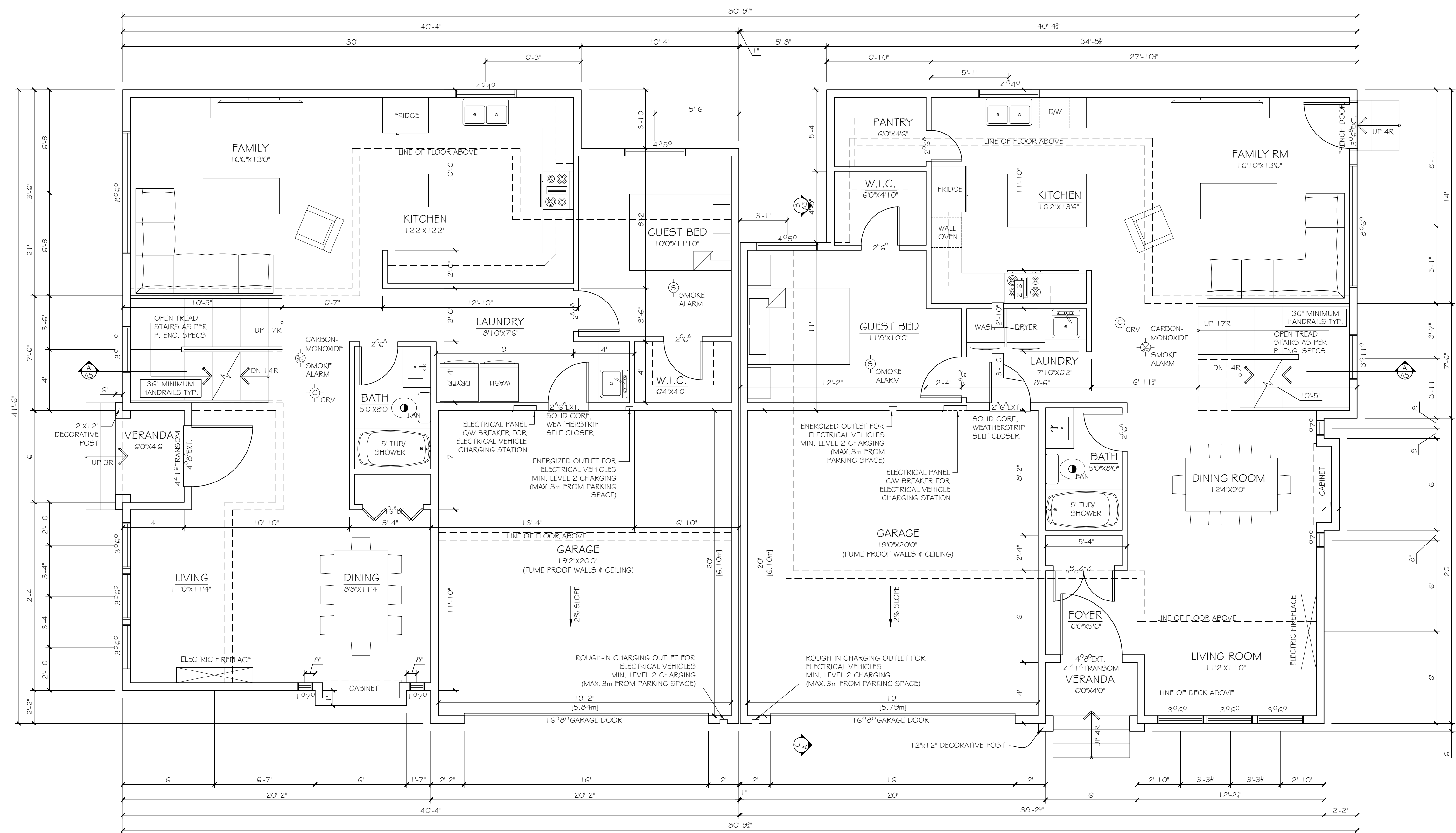
- NOTES**
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 - CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE; 2018 EDITION
 - ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF CSA 3.A231 LATEST EDITION.
 - CONCRETE STRENGTH AT 28 DAYS, MIN. 15 MPa, AND 20 MPa FOR FLOORS, AND 32 MPa FOR GARAGE SLABS
 - ALL FRAMING AND NAILING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION.
 - ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
 - WOOD TRUSSES SHALL BE DESIGNED AND SEALED BY P. ENG. REGISTERED IN B.C.
 - ALL PLYWOOD SHALL BE DOUGLAS FIR AND CONFORM TO CSA 0121 LATEST EDITION.
 - ALL NEW WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW NAFS STANDARDS AND SPECIFICATIONS (9.7.4 B.C.B.C. 2018 EDITION)
 - THE OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
 - ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.
 - PROTECTIVE GRATE ENCLOSURE CONFORMING TO 9.9.10.1.(5) TO BE INSTALLED OVER WINDOW WELLS
 - WINDOW SEATS RAISED A MINIMUM OF 0.5m FROM THE FLOOR

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

TOORA HOME PLANS
 TEL: (604) 951-4343 ADDRESS:
 FAX: (604) 951-4373 12968 - 107th AVE
 EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED DUPLEX FOR
 LOT 1 @ 1091 STAYTE ROAD
 WHITE ROCK, B.C.

TITLE:	SITE PLAN	DESIGNER:	RAJ TOORA	AI
SCALE:	1/8" = 1'	DRAWN BY:	JAQUELINE CRUZ	
DATE:	FEB/2022			



MAIN FLOOR UNIT A

SCALE: 1/4" = 1'

NET FLOOR AREA =	1149 SQ. FT.
GROSS FLOOR AREA =	1573 SQ. FT.
GARAGE FLOOR AREA =	423 SQ. FT.
VERANDA AREA (PARTLY ENCLOSED) =	27 SQ. FT.

MAIN FLOOR UNIT B

SCALE: 1/4" = 1'

NET FLOOR AREA =	1138 SQ. FT.
GROSS FLOOR AREA =	1558 SQ. FT.
GARAGE FLOOR AREA =	420 SQ. FT.
VERANDA AREA (PARTLY ENCLOSED) =	24 SQ. FT.

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

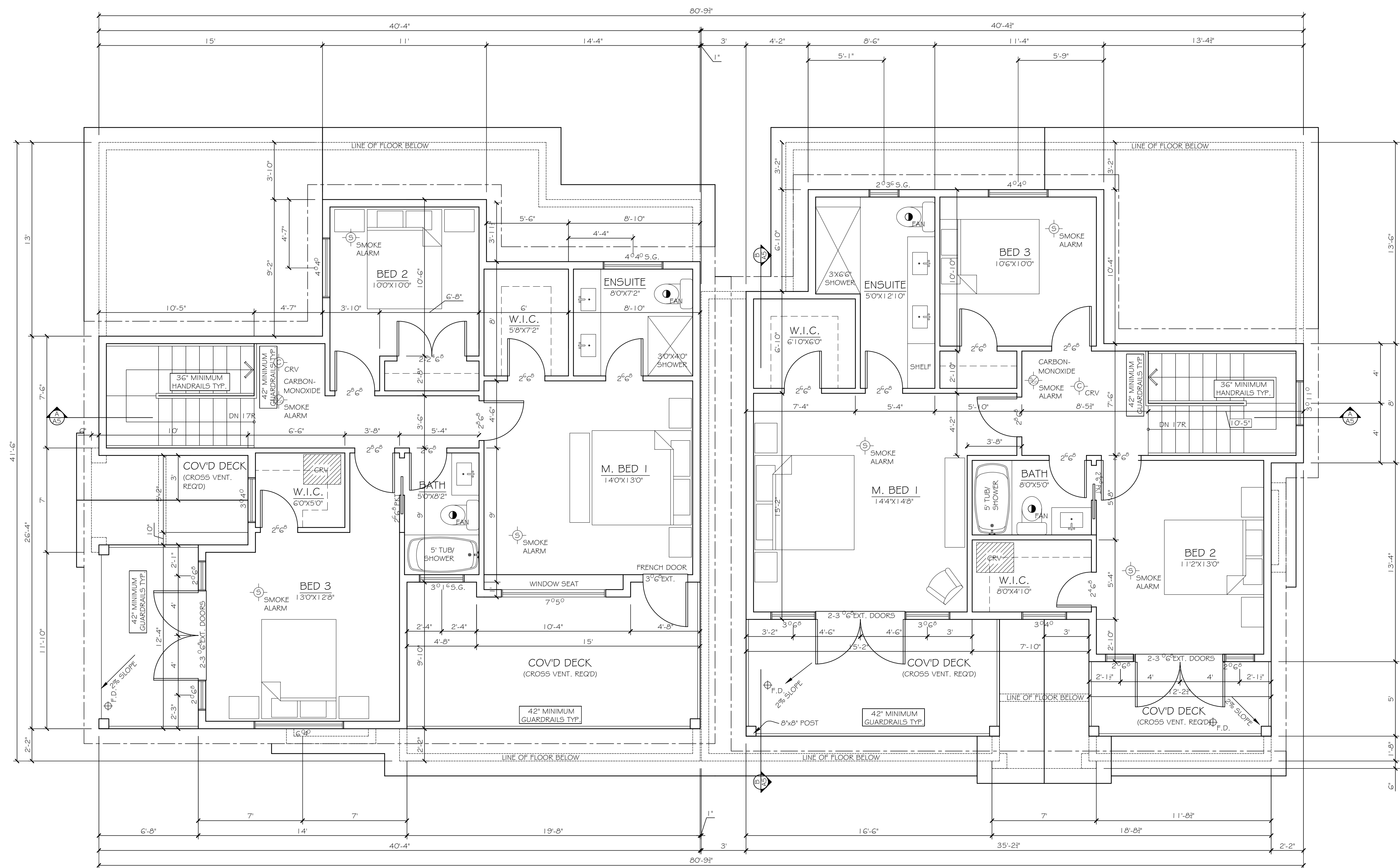
TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
 FAX: (604) 951-4373 EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED DUPLEX FOR
 LOT 1 @ 1091 STAYE ROAD
 WHITE ROCK, B.C.

TITLE:	MAIN FLOOR PLAN
SCALE:	1/4" = 1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ

A2



UPPER FLOOR - UNIT A
SCALE: 1/4" = 1'

NET FLOOR AREA =	830 SQ. FT.
LESS OPEN AREA =	69 SQ. FT.
GROSS FLOOR AREA =	899 SQ. FT.
COV'D DECK AREA =	82 SQ. FT.

UPPER FLOOR - UNIT B
SCALE: 1/4" = 1'

NET FLOOR AREA =	854 SQ. FT.
LESS OPEN AREA =	69 SQ. FT.
GROSS FLOOR AREA =	923 SQ. FT.
COV'D DECK AREA =	194 SQ. FT.

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

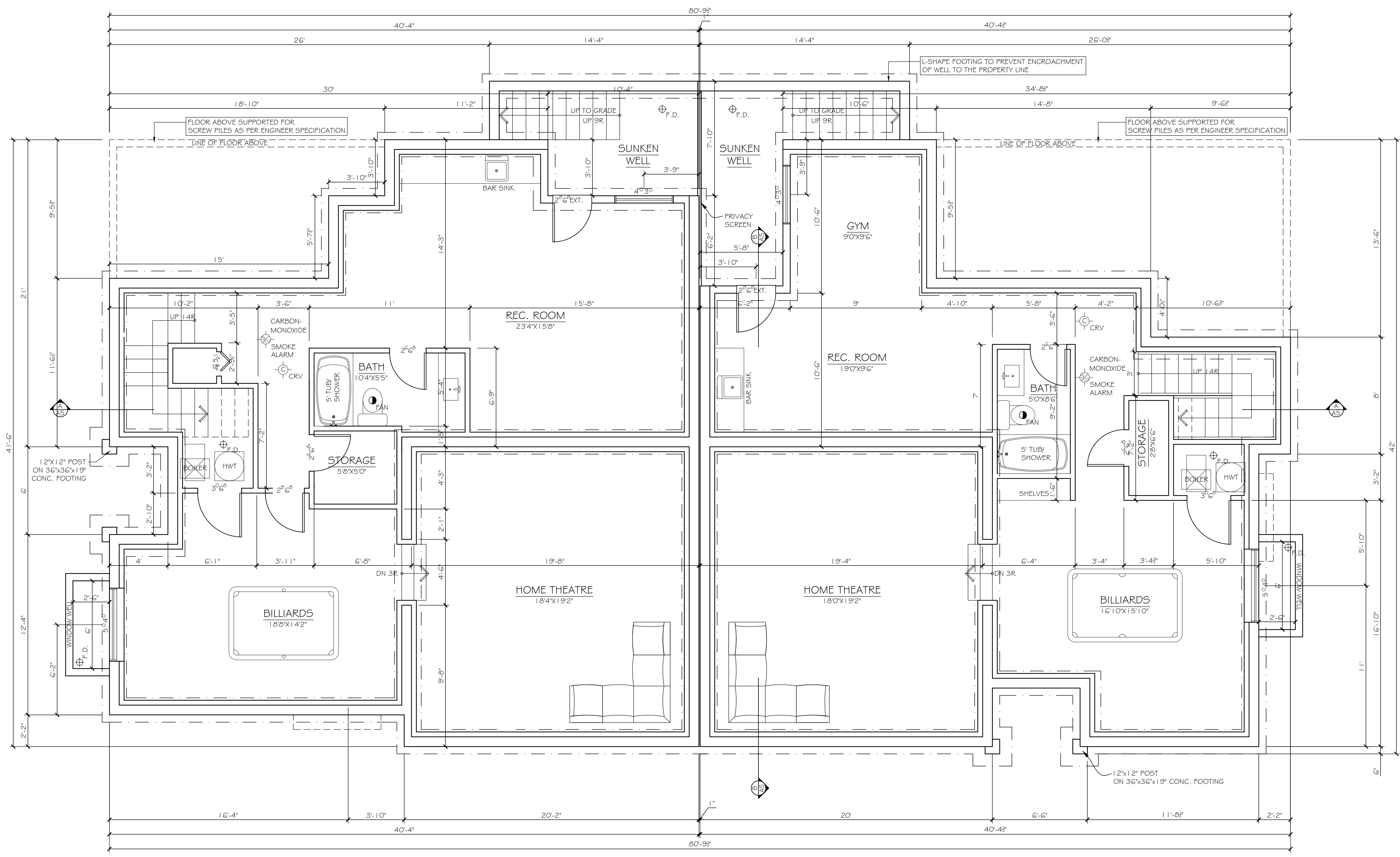
TOORA HOME PLANS

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EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	UPPER FLOOR PLAN
SCALE:	1/4" = 1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ

A3



BASEMENT FLOOR UNIT A
SCALE: 1/4"=1'

GROSS FLOOR AREA =	1410 SQ. FT.
SUNKEN WELL AREA =	96 SQ. FT.

BASEMENT FLOOR UNIT B
SCALE: 1/4"=1'

GROSS FLOOR AREA =	1289 SQ. FT.
SUNKEN WELL AREA =	113 SQ. FT.

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

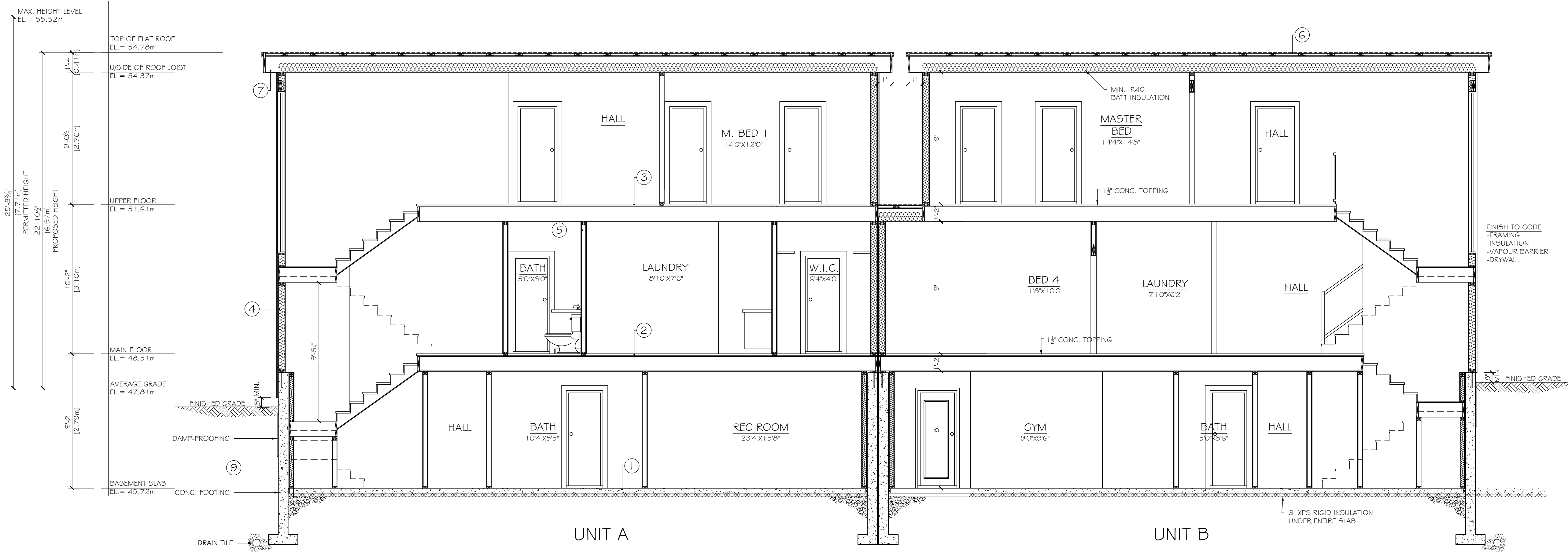
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EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

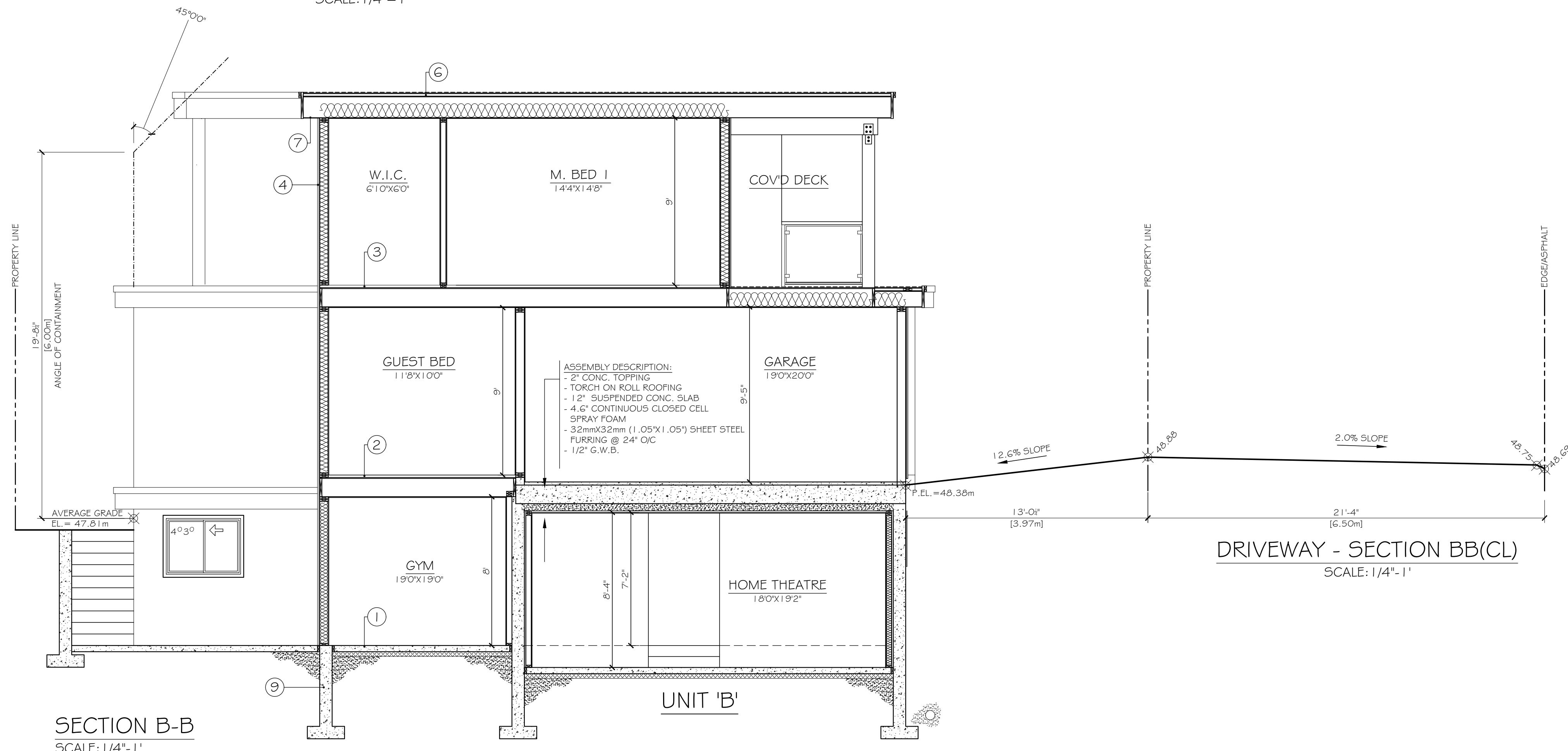
PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	BASEMENT FLOOR PLAN
SCALE:	1/4"=1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ

A4



SECTION A-A
SCALE: 1/4" = 1'



DRIVEWAY - SECTION BB(CL)
SCALE: 1/4" = 1'

SECTION B-B
SCALE: 1/4" = 1'

CONSTRUCTION SPECIFICATIONS

- 1 SLAB
 - 4" CONC. SLAB
 - 6X6 WELDED WIRE MESH
 - 6 MIL. POLY VAPOR BARRIER
 - 6" MIN. COMPACTED SAND (TYPICAL)
- 2 MAIN FLOOR
 - 3/4" TAG PLYWOOD SUBFLOOR GLUED & SCREWED
 - 1 1/2" TJI FL. JST. @ 16" O/C (U.N.O.)
 - CROSS-BRIDGING/ BLOCKING AS PER MFG SPECS
 - 1/2" G.W.B.
- 3 UPPER FLOOR
 - 3/4" TAG PLYWOOD SUBFLOOR GLUED & SCREWED
 - 1 1/2" TJI FL. JST. @ 16" O/C (U.N.O.)
 - CROSS-BRIDGING/ BLOCKING AS PER MFG SPECS
 - 1/2" G.W.B.
- 4 EXTERIOR WALLS (PRINCIPAL BUILDING)
 - STONE, FIBER CEMENT PANELS & HARDIE SIDING
 - 5/8" CAPILLARY AIR SPACE
 - AIR BARRIER/ SHEATHING MEMBRANE
 - PRE-PAINTED METAL FLASHING
 - 1/2" EXT. GRADE PLYWOOD SHEATHING
 - 2X6 STUDS @ 16" o/c (U.N.O.)
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOR BARRIER
 - 1/2" G.W.B.
- 5 INTERIOR PARTITIONS
 - 1/2" G.W.B. BOTH SIDES (U.N.O.)
 - 2x4 STUDS @ 16" O/C (U.N.O.)
 - (* REFER TO DETAILS FOR FIRE-RATED WALLS)
- 6 FLAT ROOF
 - TORCH ON ROOF
 - BUILDING PAPER
 - 5/8" TAG PLYWOOD SHEATHING
 - TJI JOISTS AS PER STRUCTURAL ENGINEER DRAWINGS
 - R40 BATT INSULATION
 - 6 MIL. POLY VAPOR BARRIER
 - 5/8" G.W.B.
- 7 EAVES
 - INTEGRAL GUTTER SYSTEM
 - 2x10 FASCIA BOARD
 - 2x4 BACK NAILER
 - METAL SOFFIT WITH 2" CONT. SCREEN VENT
 - UNVENTED ALUMINUM SOFFIT @ O/H WITHIN 1.2m OF FL.
- 8 ATTIC VENTILATION
 - 2" BAFFLE CLEARANCE WITH INSULATION STOPS
- 9 FOUNDATION
 - SEE FOUNDATION DETAIL ON STRUCTURAL DRAWINGS
- 10 GARAGE SLAB
 - 2" CONC. TOPPING
 - TORCH ON ROLL ROOFING
 - 1 1/2" SUSPENDED CONC. SLAB
 - 4.6" CONTINUOUS CLOSED CELL SPRAY FOAM
 - 32mmX32mm (1.05"X1.05") SHEET STEEL FURRING @ 24" O/C
 - 1/2" G.W.B.

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

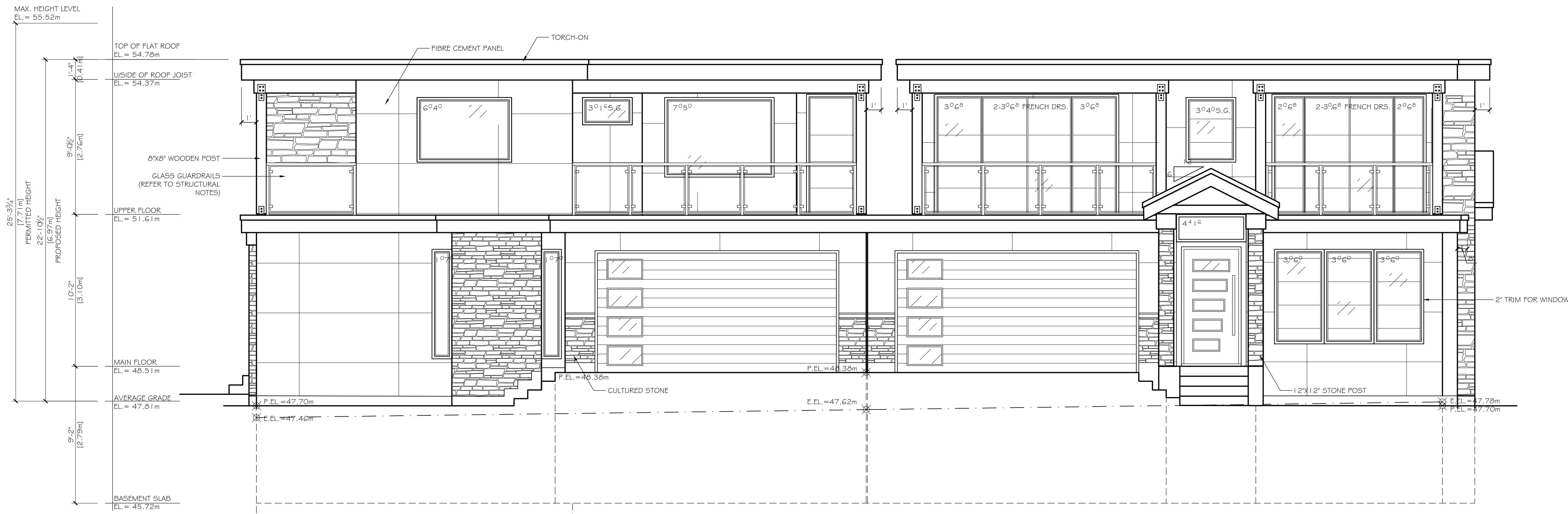
TOORA HOME PLANS

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 FAX: (604) 951-4373 12968 - 107th AVE
 EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

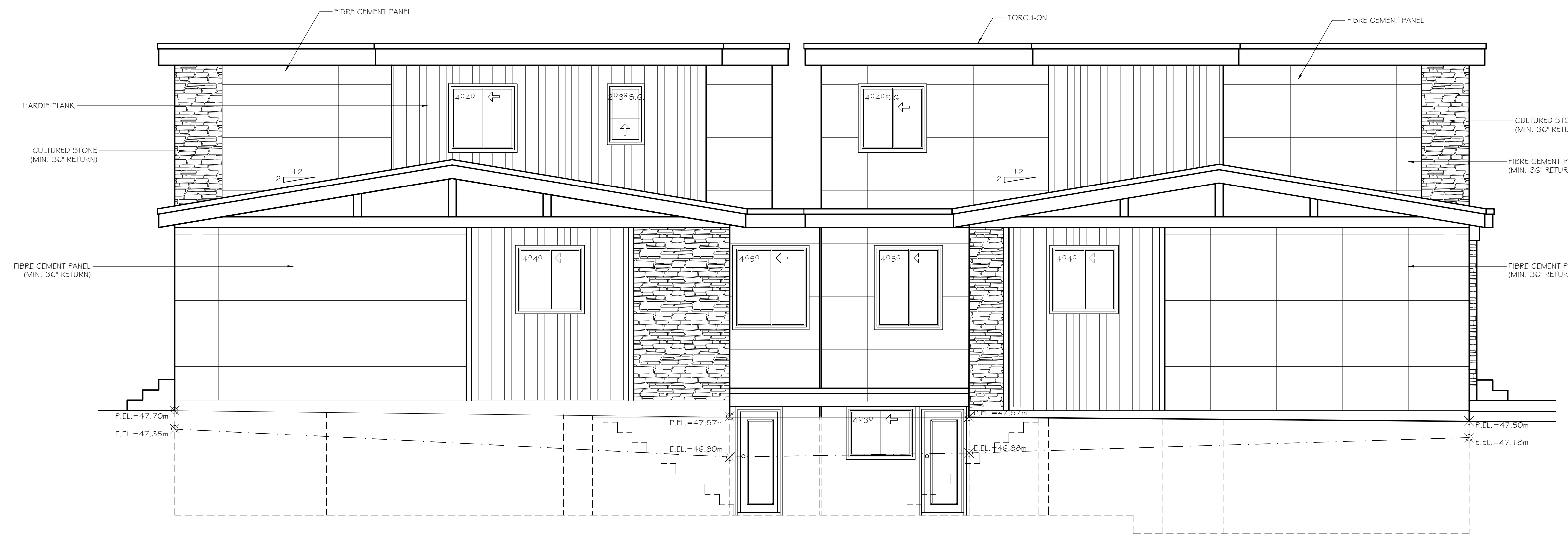
PROPOSED DUPLEX FOR
 LOT 1 @ 1091 STAYTE ROAD
 WHITE ROCK, B.C.

TITLE:	SECTIONS
SCALE:	1/4" = 1'
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ

A5



UNIT 'A' FRONT ELEVATION (NORTH) UNIT 'B'
SCALE: 1/4" = 1'



UNIT 'B' REAR ELEVATION (SOUTH) UNIT 'A'
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.96 m
TOTAL EXPOSED WALL AREA	732 SQ. FT.
PERMITTED OPENING (9.51%)	70 SQ. FT.
PROPOSED OPENING	44.0 SQ. FT.

LIMITING DISTANCE	1.91 m
TOTAL EXPOSED WALL AREA	806 SQ. FT.
PERMITTED OPENING (9.23%)	74 SQ. FT.
PROPOSED OPENING	52.0 SQ. FT.

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

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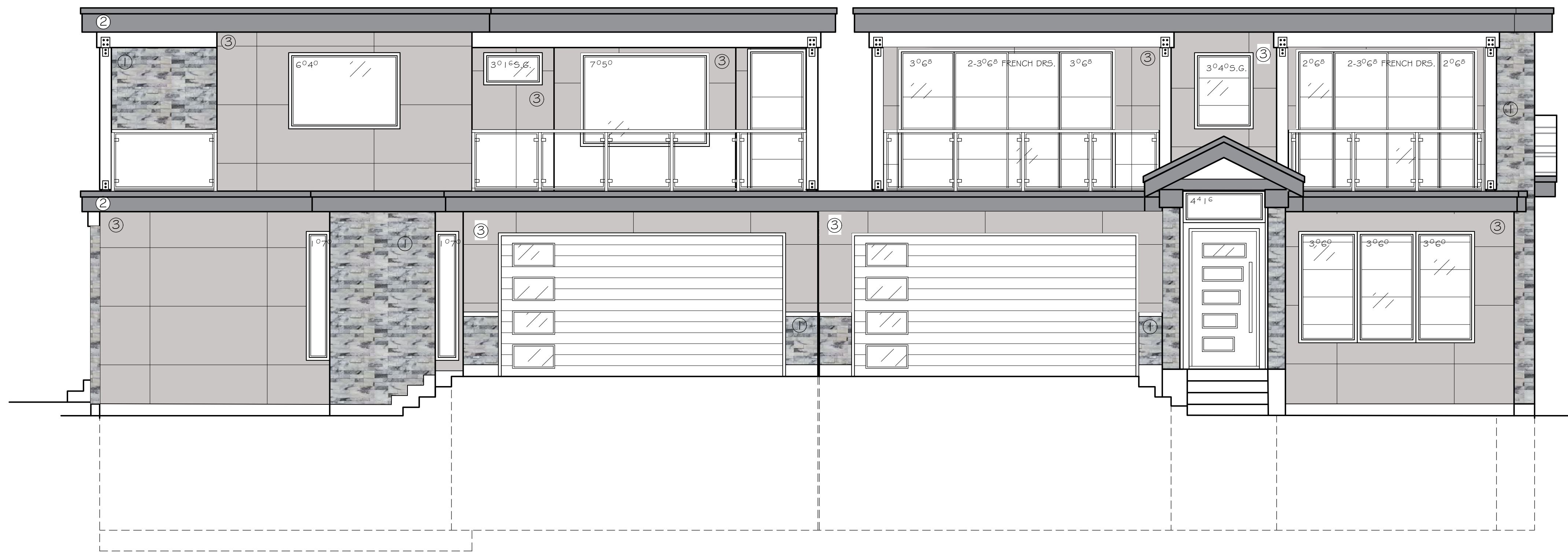
PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	ELEVATIONS	DESIGNER:	RAJ TOORA
SCALE:	1/4" = 1'	DRAWN BY:	JAQUELINE CRUZ
DATE:	FEB/2022		

A6



OTHER MATERIALS:
ALUMINUM & GLASS GUARDRAIL SYSTEM - BLACK
GABLE ROOF - GREY ASPHALT SHINGLES
4" HARDIE TRIM, PAINTED - BLACK ONYX 2133-10 BENJAMIN MOORE
EXT. STEEL DOOR WITH VIEW LITE, PAINTED - BLACK ONYX BENJAMIN MOORE
METAL FASCIA, PAINTED - BLACK ONYX BENJAMIN MOORE
WOOD POST, PAINTED - WHITE DOWN CC50 BENJAMIN MOORE
WINDOWS FRAME - BLACK
STEPS - EXPOSED CONCRETE



UNIT 'A'

FRONT ELEVATION (NORTH)
SCALE: 1/4" = 1'

UNIT 'B'



UNIT 'B'

REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'

UNIT 'A'

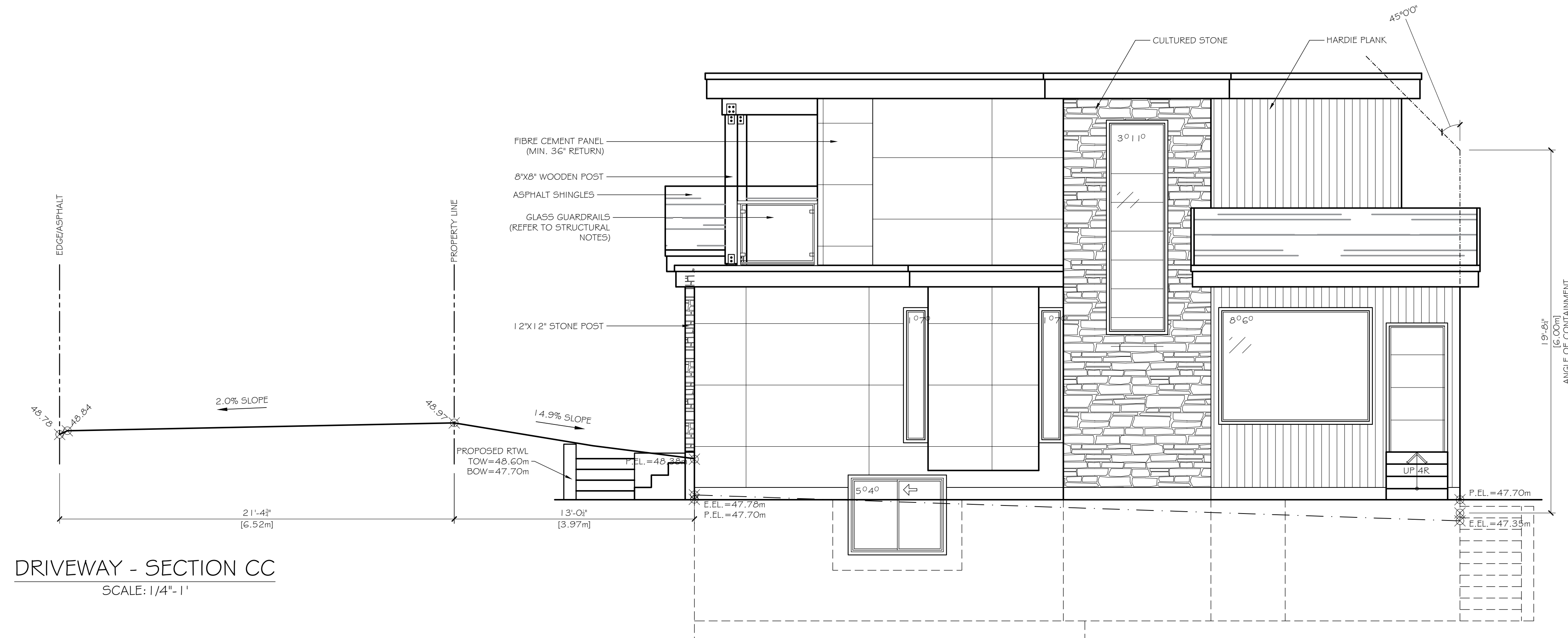
THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2018.

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FAX: (604) 951-4373 12968 - 107th AVE
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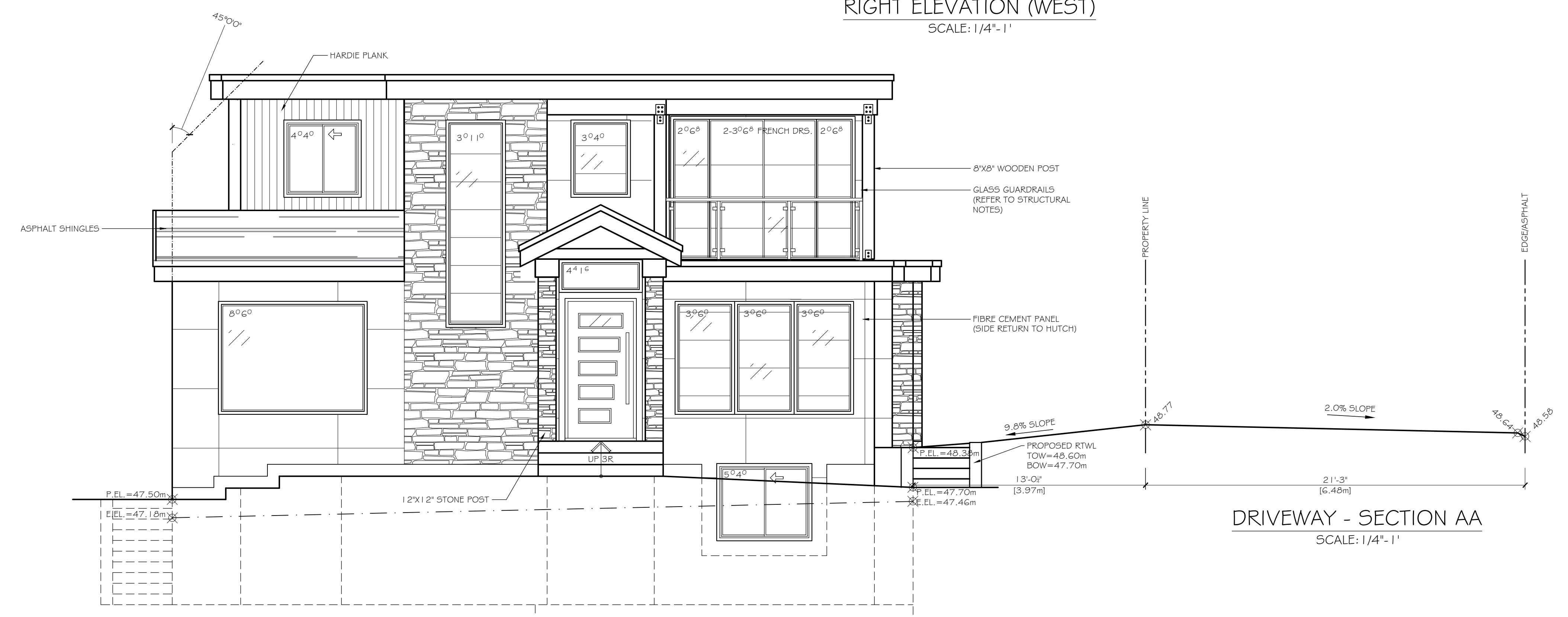
PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	COLOURED ELEVATIONS	A6.1
SCALE:	1/4" = 1'	
DATE:	FEB/2022	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JAQUELINE CRUZ	



DRIVEWAY - SECTION CC
SCALE: 1/4" = 1'

UNIT 'B'
RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'



UNIT 'A'
LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'

DRIVEWAY - SECTION AA
SCALE: 1/4" = 1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.

TOORA HOME PLANS

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EMAIL: toorahomes@gmail.com

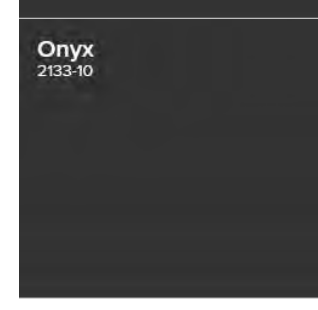
PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	ELEVATIONS & DETAILS
SCALE:	AS NOTED
DATE:	FEB/2022
DESIGNER:	RAJ TOORA
DRAWN BY:	JAQUELINE CRUZ

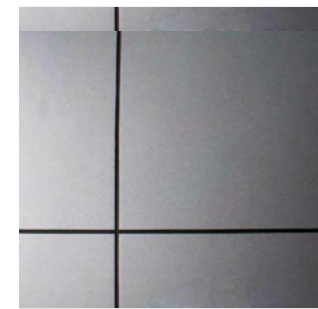
A7



① STONE
ARCTIC PACIFIC ART STONE (OR SIMILAR)



② METAL FASCIA / TRIMS
BLACK ONYX 2133-10 BENJAMIN MOORE



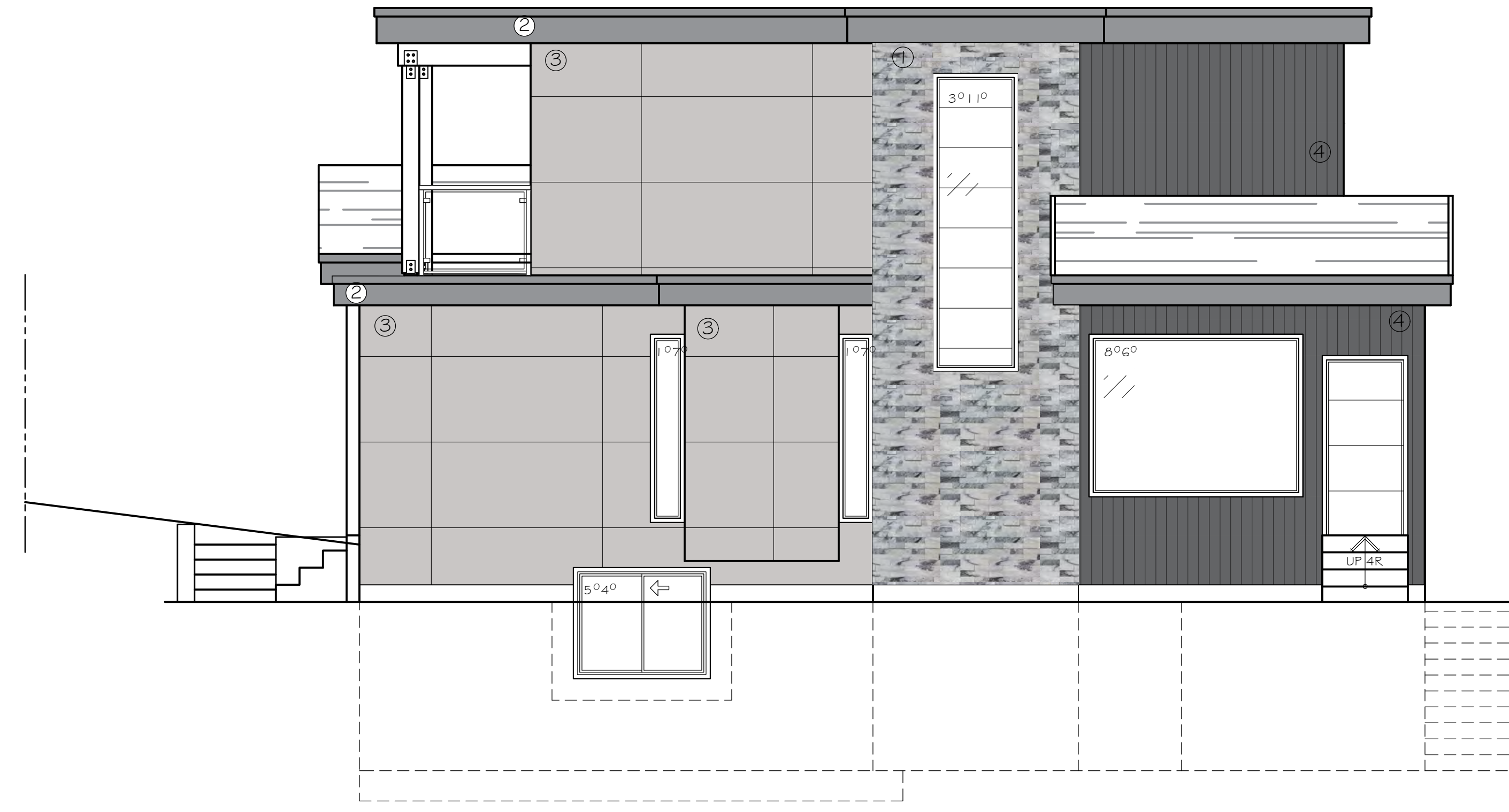
③ FIBER CEMENT PANELS
WHITE DOWN CC50 - BENJAMIN MOORE



④ HARDIE PANEL VERTICAL SIDING
NIGHT GRAY JAMES HARDIE

OTHER MATERIALS:

- ALUMINUM 4 GLASS GUARDRAIL SYSTEM - BLACK
- 4" HARDIE TRIM, PAINTED - BLACK ONYX 2133-10 BENJAMIN MOORE
- EXT. STEEL DOOR WITH VIEW LITE, PAINTED - BLACK ONYX BENJAMIN MOORE
- METAL FASCIA, PAINTED - BLACK ONYX BENJAMIN MOORE
- WOOD POST, PAINTED - WHITE DOWN CC50 BENJAMIN MOORE
- WINDOWS FRAME - BLACK
- STEPS - EXPOSED CONCRETE



UNIT 'B'
RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'



UNIT 'A'
LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2018.

TOORA HOME PLANS

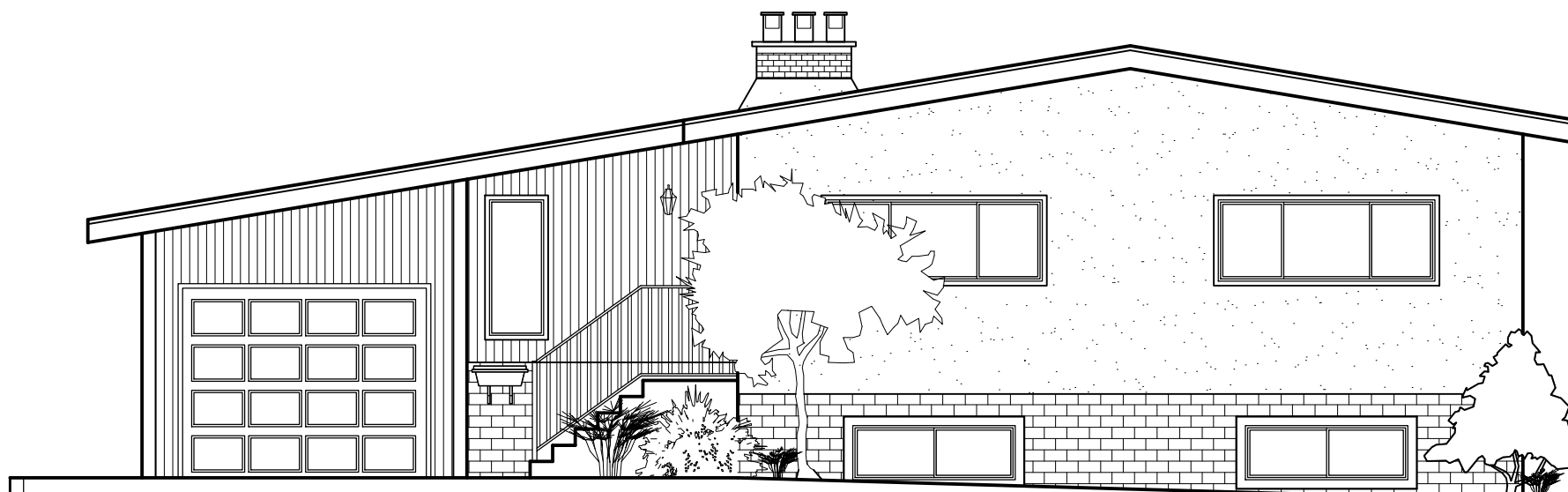
TEL: (604) 951-4343 ADDRESS:
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EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

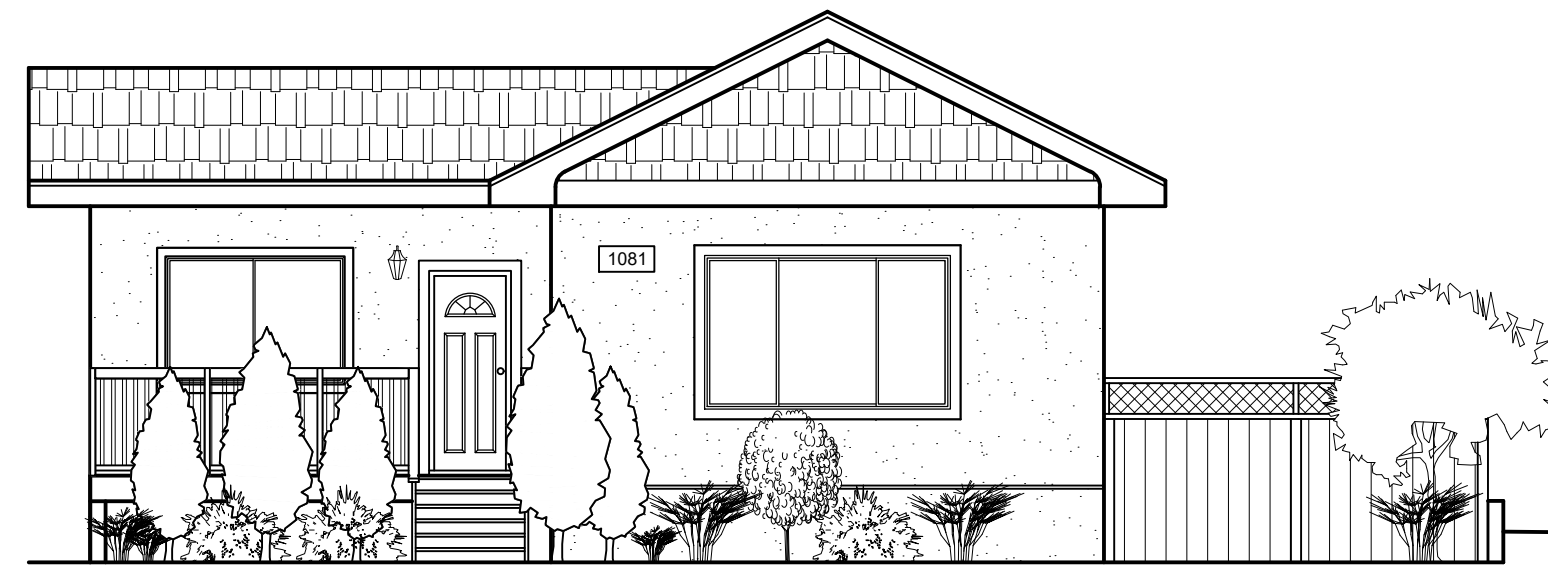
TITLE:	COLOURED ELEVATIONS	A7.1
SCALE:	AS NOTED	
DATE:	FEB/2022	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JAQUELINE CRUZ	



1091
NORTH ELEVATION
(CLIFF AVENUE)



15970



1081
EAST ELEVATION
(STAYTE ROAD)



1091

THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2018.

TOORA HOME PLANS

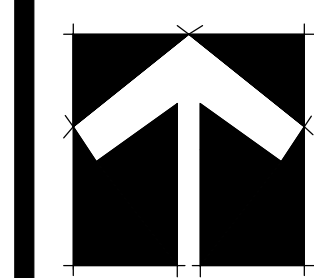
TEL: (604) 951-4343 ADDRESS:
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EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK, B.C.

TITLE:	STREET PROFILE & RENDERINGS		
SCALE:	N/TS	DESIGNER:	RAJ TOORA
DATE:	FEB/2022	DRAWN BY:	JAQUELINE CRUZ

A8

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
7	22.JUN.27	UPDATE PER CITY COMMENTS	CLG
6	22.APR.21	COMMENTS FROM CLIENT	WZ
5	22.APR.11	UPDATE PER COMMENTS	WZ
4	21.OCT.25	UPDATE PER ARBORIST PLAN	CLG
3	21.JUL.13	UPDATE PER NEW SITE PLAN	CLG
2	21.JAN.13	UPDATE PER NEW SITE PLAN	CLG
1	20.FEB.04	ISSUED FOR SUBMISSION	CLG

CLIENT:

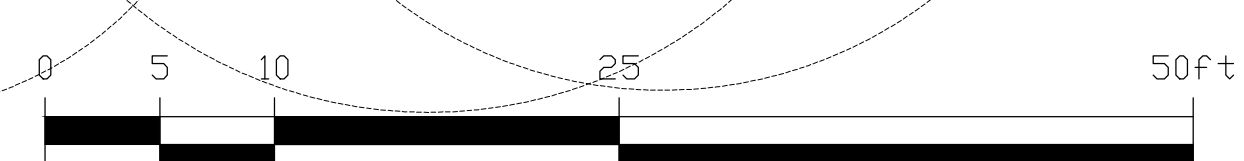
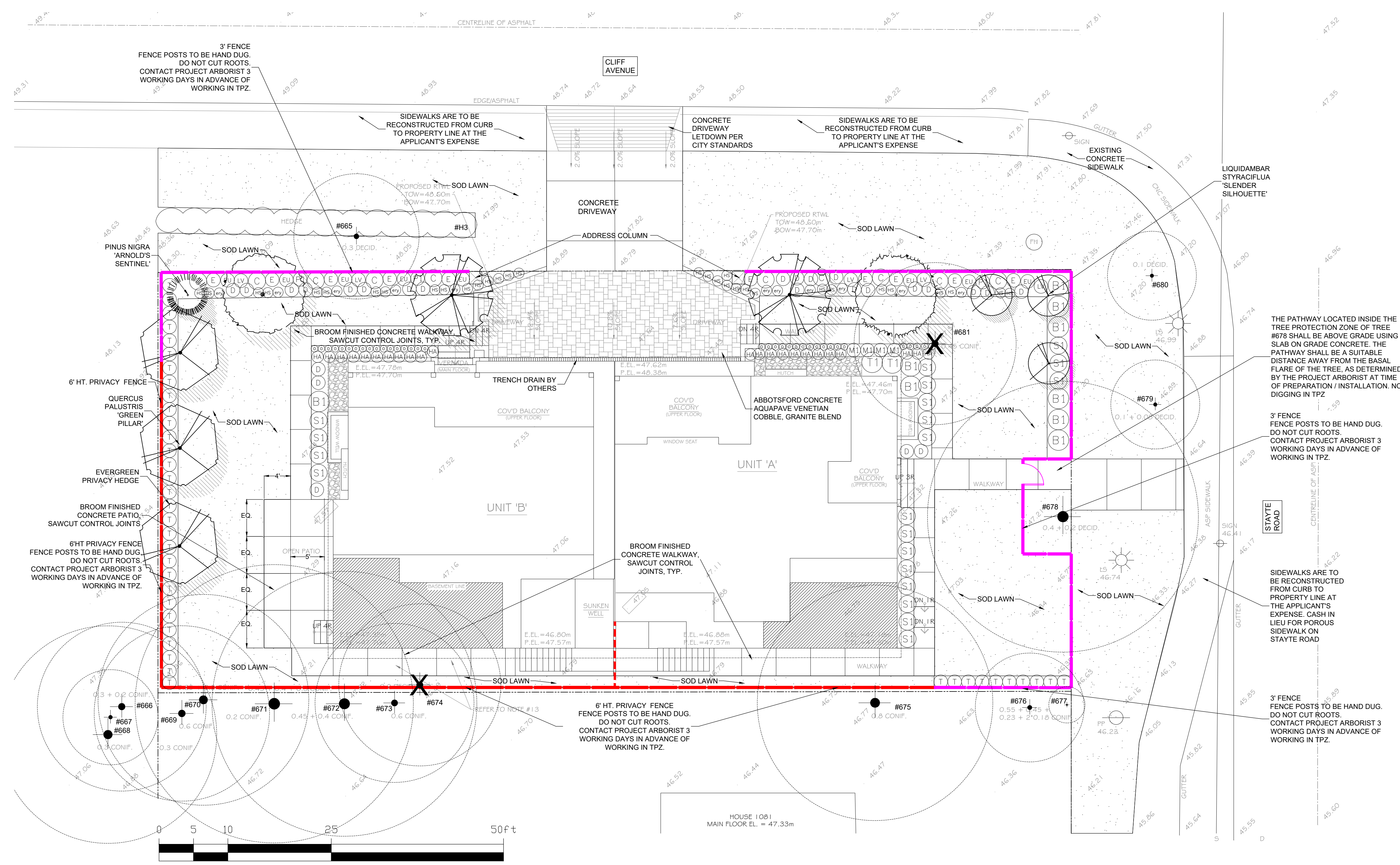
PROJECT:

**PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK**

DRAWING TITLE:
**LANDSCAPE
PLAN**

DATE: 20.JAN.17 DRAWING NUMBER:
SCALE: 1:100
DRAWN: CLG
DESIGN: CLG
CHK'D: PC OF 3

PMG PROJECT NUMBER: 20-008



GINKGO BILOBA 'PRINCETON SENTRY'



QUERCUS PALUSTRIS 'GREEN PILLAR'



STYRAX JAPONICUS 'SNOWCONE'



CORNUS KOUSA 'SATOMI'



PINUS NIGRA 'ARNOLDS SENTINEL'



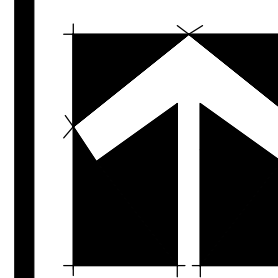
MAGNOLIA GRANDIFLORA 'EDITH BOGUE'

PLANT SCHEDULE				PMG PROJECT NUMBER: 20-008
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
(A)	1	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	6.0CM CAL; B&B
(B)	1	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	6.0CM CAL; 2M STD; B&B
(C)	1	MAGNOLIA GRANDIFLORA 'EDITH BOGUE'	'EDITH BOGUE' SOUTHERN MAGNOLIA	6.0CM CAL; B&B
(D)	1	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT; B&B
(E)	1	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	6.0CM CAL; 1.8M STD; B&B
(F)	1	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	6.0CM CAL; 1.5M STD; B&B
SHRUB				
(G)	9	BERBERIS THUNBERGII 'ROSE GLOW'	ROSE PURPLE FOLIAGE BARBERY	#3 POT; 40CM
(H)	8	EUONYMUS JAPONICUS 'GREEN SPIRE'	GREEN SPIRE EUONYMUS	#3 POT; 50CM
(I)	4	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#3 POT; 50CM
(J)	20	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#3 POT; 60CM
(K)	2	TAXUS BACCATA 'FASTIGIATA'	COLUMNAR IRISH YEW	1.0M B&B
(L)	40	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.5M HT; B&B
GRASS				
(M)	10	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(N)	25	DESCHAMPSIA CESPITOSA 'GOLDFAU'	GOLD DEW TUFTED HAIR GRASS	#1 POT
(O)	23	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
(P)	32	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
(Q)	35	OPHIPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
(R)	10	ECHINACEA PURPUREA 'WHITE SWAN'	WHITE CONEFLOWER	15CM POT
(S)	11	ERYNGIUM 'SAPPHIRE BLUE'	SAPPHIRE BLUE SEA HOLLY	#1 POT
(T)	5	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER PURPLE	#1 POT
(U)	3	PEROVSKIA ATRIPICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	15CM POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CITY STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFECT FREE CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR MATERIAL TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

REQUIRED REPLACEMENT TREES: 26 (PER ARBORIST REPORT)
PROPOSED REPLACEMENT TREES: 12

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
7	22.JUN.27	UPDATE PER CITY COMMENTS	CLG
6	22.APR.21	COMMENTS FROM CLIENT	WZ
5	22.APR.11	UPDATE PER COMMENTS	WZ
4	21.OCT.25	UPDATE PER ARBORIST PLAN	CLG
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1	20.FEB.04	ISSUED FOR SUBMISSION	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

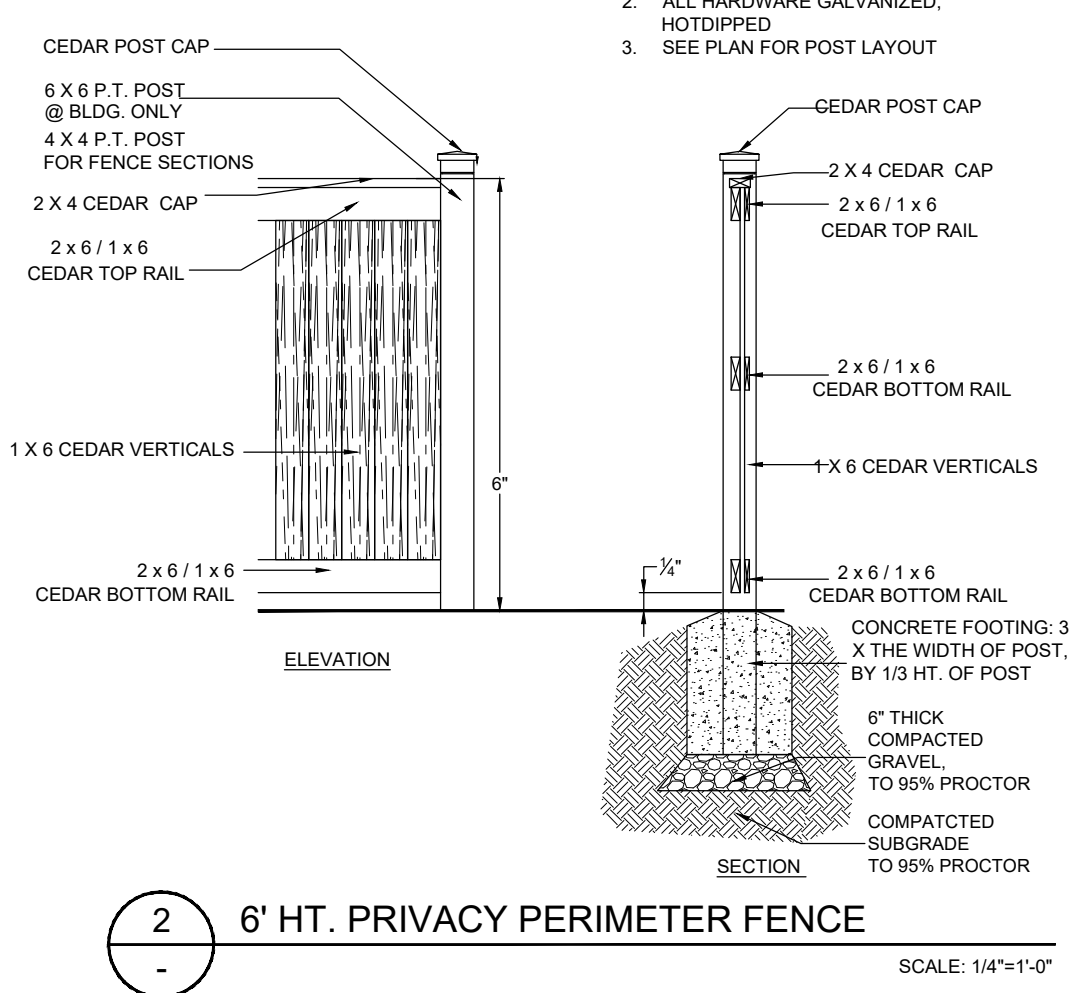
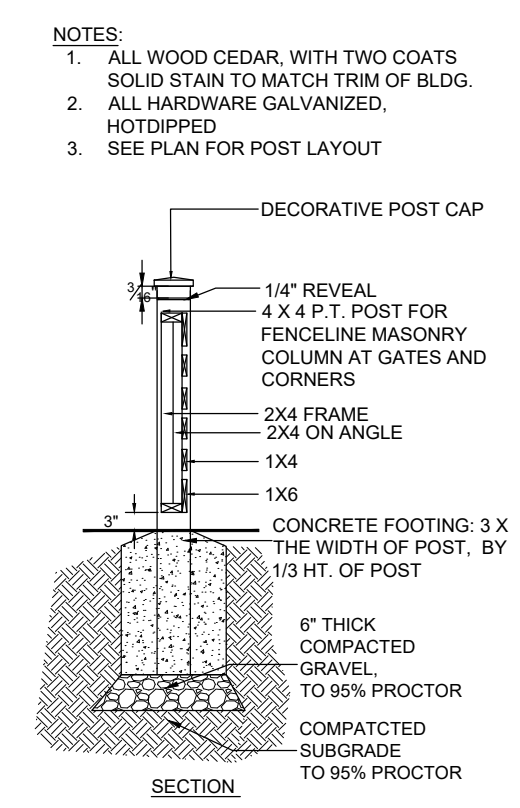
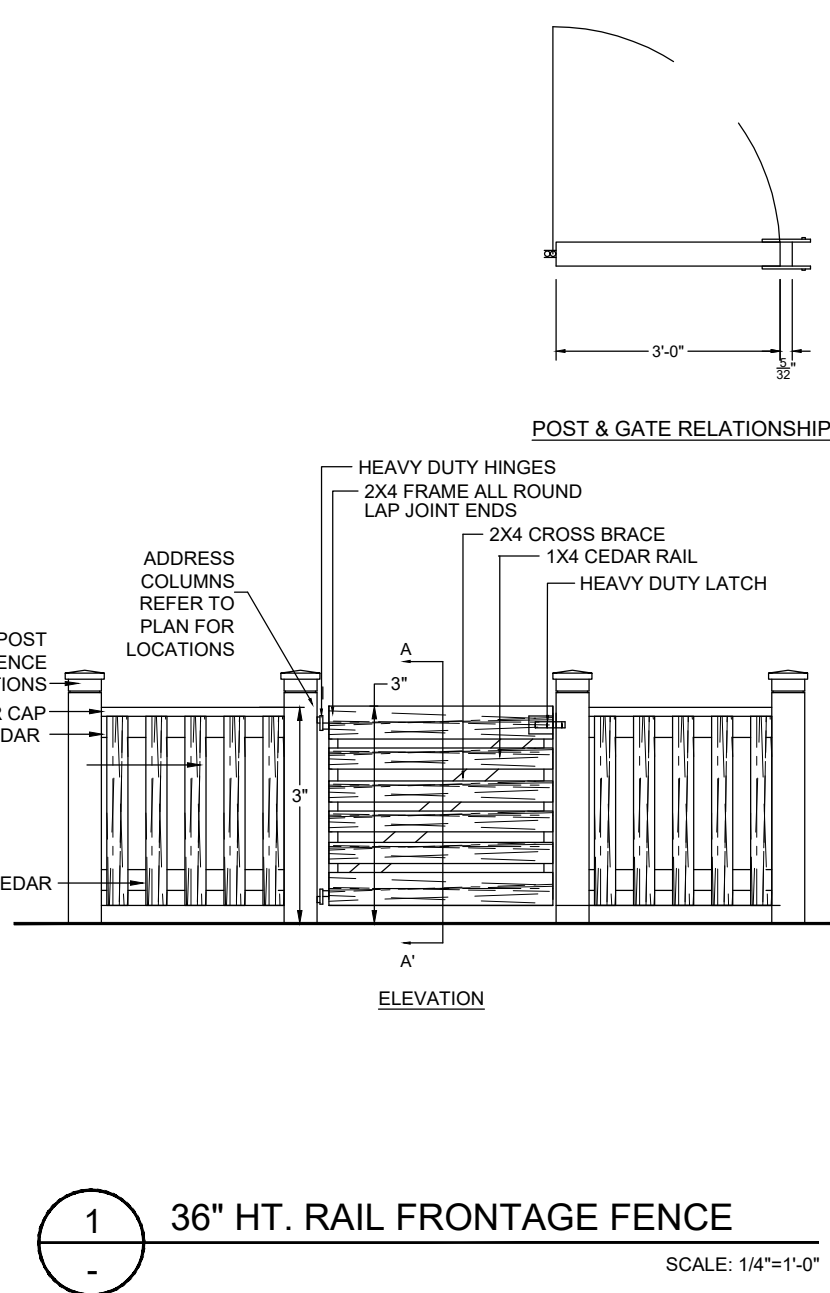
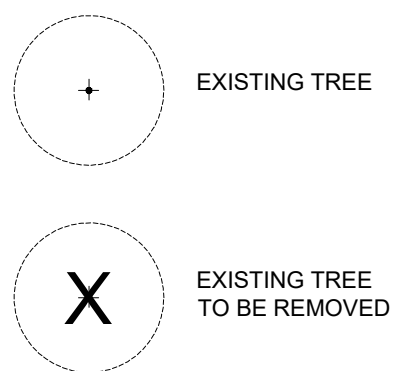
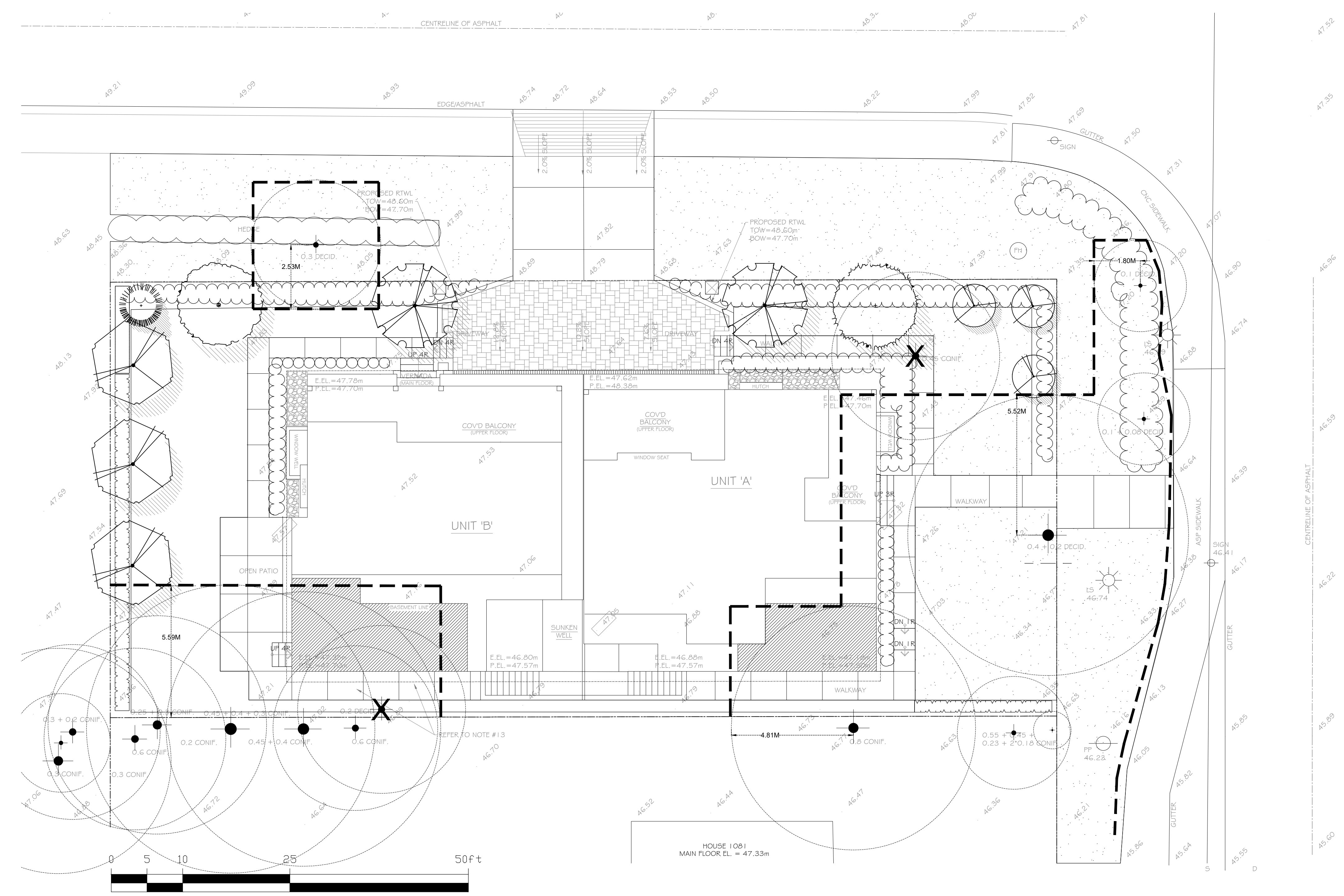
**PROPOSED DUPLEX FOR
LOT 1 @ 1091 STAYTE ROAD
WHITE ROCK**

DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

DATE: 20.JAN.17 DRAWING NUMBER:
SCALE: 1:100
DRAWN: CLG
DESIGN: CLG
CHK'D: PC

L2

OF 3



- NOTES:
1. ALL WOOD CEDAR, WITH TWO COATS SOLID STAIN TO MATCH TRIM OF BLDG.
 2. ALL HARDWARE GALVANIZED, HOTDIPPED
 3. SEE PLAN FOR POST LAYOUT

Mature Neighbourhood Infill Development Permit Area Guidelines

The objectives of the **Mature Neighbourhood Infill Development Permit Area** are to:

- Establish an attractive, comfortable, well-connected, pedestrian-oriented environment that fosters vibrant public life
- Ensure the compatibility of infill development (i.e: duplexes, triplexes, small-lot single family) within established neighbourhoods.
- Ensure the compatibility of new development with adjacent existing buildings
- Enhance quality of life
- Conserve energy, conserve water, and reduce GHGs
- Enhance the character of the built environment and public realm in the City of White Rock

Please provide a summary of how your proposal achieves the objectives and policies of the Mature Neighbourhood Infill DPA below:

The proposed building is a simple, modern, and elegant addition to the neighborhood. As a duplex, it will be larger than the older buildings but similar in size to the modern buildings in the area. The height and placement of the building on the lot (subject to zoning requirements) will ensure that it will not dominate, but rather fit in with the existing neighborhood. The modern style combined with natural grey colouring will blend in with both the newer and older characteristics of the surrounding area.

Special care has been taken to improve the landscaping, maximizing the area of softscaping. Plenty of trees, shrubs, and bushes will enhance the attractiveness of the exterior and increase quality of life. Tree cover will be increased with the net addition of 5 new trees.

Pedestrian access will be improved by adding a new sidewalk on the North side of the property, increasing the connectedness of the neighborhood and improving pedestrian access.

Appliances and fixtures will be of the highest quality, with attention to conservation features to ensure reduction of energy and water usage.

NOTE 1: All 'Applicant Response' sections must be filled out by the applicant.

NOTE 2: If your proposal cannot adequately address one of the below-listed DPA guidelines, provide a rationale (and alternative resolution) above, and in the applicable response section.

**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Section 22.9.1 - Buildings

Mature Neighbourhood Infill DPA Guideline 22.9.1 (a)

Ensure buildings are compatible with or complementary to adjacent developments in terms of height, density, and design.

Applicant Response	<p>The neighborhood consists of a mix of new developments and older houses. The land slopes southward, resulting in the buildings being stepped as you go down the hillside. Architectural design varies: there are older single or two storey houses with stucco or wood siding and sloped roofs, newer three storey dwellings with vinyl siding, brickwork, stucco, and sloped roofs, and modern three storey developments with modern hardiboard siding, stonework, and flat roofs. There is also a two storey commercial building across the street with stucco siding and a parking lot.</p> <p>The proposed building would fit in with the newer developments, while avoiding overpowering the smaller, older dwellings. The massing of the building is concentrated in the corner of the property, reducing its apparent size. Height is two stories with basement. This is the same as other modern developments and slightly taller than the oldest buildings in the neighborhood. The building would fit in with the slope of the land and continue the stepping of the buildings with the slope of the hill.</p>
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Mature Neighbourhood Infill DPA Guideline 22.9.1 (b)

Consider alternatives to the traditional side- by-side duplexes and triplexes, such as front/ rear and top/bottom layouts. ‘Mirror-image’ designs will not be permitted for single family dwellings, duplexes, or triplexes. Entrances shall be clearly identifiable, and weather protection with overhangs and awnings shall be provided over all entrances.

Applicant Response	<p>The building has avoided a side by side approach, and is not mirrored. Unit A faces East and Unit B faces north. There are differing balconies, window placement, and stonework between the two units in order to provide further differentiation.</p> <p>The two entrances are clearly visible, each with a small veranda. The verandas are fully covered to provide protection from the weather.</p>
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**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Mature Neighbourhood Infill DPA Guideline 22.9.1 (c)

Create visual interest with architectural details that break up the mass of the building and give each dwelling unit in a duplex or triplex its own visual identity. Open verandas and peaked roofs are encouraged for duplexes, triplexes, and small-lot single family development.

Applicant Response	<p>The building has features that create visual interest and break up the mass of the building. Each unit has its own identity.</p> <p>The building is a rectangular shape, and each unit has its own separated top floor. This top floor separation breaks the mass of the building from the point of view from the exterior. There are three covered decks on the top floor which provides further differentiation. Unit A has two decks, and unit B has one larger deck.</p> <p>The arrangement of stonework, windows, and the front verandas provide further differentiation between the two units and makes it clear where one unit ends and the other begins.</p>
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Mature Neighbourhood Infill DPA Guideline 22.9.1 (d)

Use a variety cladding colours and/or materials to avoid large, uniform expanses. Different cladding colours or materials can be used to differentiate between units in a duplex or triplex.

Applicant Response	<p>The proposed dwelling will have a modern exterior, and the colours and materials have been chosen and arranged in part to avoid large or uniform expanses.</p> <p>Cladding materials include hardiboard, stonework, stucco, and wood trim. The placement of these materials, the windows, and the balconies serve to break up any large expanses.</p> <p>A grey colour scheme has been chosen, with modern stainless steel hardware.</p>
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**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Mature Neighbourhood Infill DPA Guideline 22.9.1 (e)

Follow passive solar design principles for the orientation and siting of buildings. Design roofs to maximize opportunities for solar collection in winter and control solar gain on south-facing facades by blocking high- angle sun in summer. Maximize passive ventilation and passive cooling through building orientation.

Applicant Response	<p>The proposed duplex will be a rectangular building oriented east-west on the long side. Front entrances will be facing North and East. Lot size, tree retention, and other constraints limit the placement of the building on the lot.</p> <p>Solar gain is minimized by setting some of the windows back in covered decks and under awnings.</p>
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Mature Neighbourhood Infill DPA Guideline 22.9.1 (f)

Incorporate west coast design elements with the use of natural materials, including brick, stone, concrete, exposed heavy timber, and/or steel. Vinyl siding and stucco will not be considered for cladding. Use rich natural tones which reflect the natural landscape and seascape as the dominant colours, with brighter colours used only as accents.

Applicant Response	<p>The proposed building will have a modern exterior, incorporating some natural materials. Exterior materials include hardiboard, stone, stucco, and wood trim. Stainless steel hardware will be used, and railings will be glass and stainless steel.</p> <p>The colour scheme will be grey, a natural tone.</p>
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Mature Neighbourhood Infill

Development Permit Area Guidelines

Mature Neighbourhood Infill DPA Guideline 22.9.1 (g)	
<p>Ensure that garages do not dominate the front face of a building. If a garage faces a street, it shall be subordinate to the pedestrian entrance in terms of size, prominence on the streetscape, location, and design emphasis. The use of landscaping to screen and soften the appearance of a garage is encouraged.</p>	
Applicant Response	<p>City requirements allow only one driveway onto Cliff Avenue, so garages must be side by side. Several steps have been taking to mitigate the massing of these garage doors. They are placed on the North side, the wide side of the building, so their appearance is minimized. Hedge, shrub, and tree placement is used to soften and screen the massing of the doors.</p>

**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Section 22.9.2 – Public Realm and Landscape

Mature Neighbourhood Infill DPA Guideline 22.9.2 (a)

Improve the public realm with widened sidewalks (minimum 1.8 metres). Plant street trees and design curb let-downs to accommodate wheelchairs and scooters.

Applicant Response
A sidewalk will be added to the North side of the property, where currently there is none. Curb let-downs will be added at driveway and sidewalk entrances.

Mature Neighbourhood Infill DPA Guideline 22.9.2 (b)

Site buildings to create through-block walking connections where appropriate. These will create opportunities for a variety of pedestrian-oriented activities and a finer- grained street grid.

Applicant Response
Not applicable to proposed development.

**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Mature Neighbourhood Infill DPA Guideline 22.9.2 (c)

Use light coloured reflective paving materials such as white asphalt or concrete for paths and driveways to reduce heat absorption and urban heat island effect. Ensure all areas not covered by buildings, structures, and roads are landscaped. Incorporate shared pedestrian accesses where possible to minimize impervious areas.

Applicant Response	<p>White concrete will be used for driveway and sidewalk.</p> <p>All areas not utilized by the building or hardscaping will be landscaped and planted with resilient and native plantings. The plant specifications provided by our landscape architect require less fertilizer and water inputs than more tender plant selections.</p>
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Mature Neighbourhood Infill DPA Guideline 22.9.2 (d)

Ensure all trees are planted with sufficient soil volume, using soil cells where appropriate, and incorporate diverse native shrub layers below trees to intercept stormwater. Projects should be designed to allow for the retention of large, mature, healthy trees, and landscape design should employ CPTED principles.

Applicant Response	<p>Our project arborist has identified trees for retention that are outside of the immediate disturbance zone caused by construction. These retained mature trees and hedgers are maintained b pushing construction-related excavation and planting disturbances outside of the critical root zones. Where possible, under-planting of proposed trees with shrubs will keep stormwater in close proximity and shade sensitive root structures. This work is proposed to be constructed under arborist supervision. CPTED principles are maintained by allowing clear sight lines and low evergreen planting that does not create darkened zones in the proposed yards.</p>
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**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Mature Neighbourhood Infill DPA Guideline 22.9.2 (e)

Select trees that will maximize passive solar gain, natural ventilation, and natural cooling, and increase the entry of natural light into buildings. Maximize the use of drought tolerant species that can withstand the seaside setting and require minimal irrigation. Avoid planting invasive species. The planting of hedges directly adjacent to sidewalks is discouraged, unless they are screening a garbage/recycling area.

Applicant Response	None of the proposed plants are considered invasive by the BC Invasive Species Council. The west and south aspect of the site is shaded by adjacent retained trees or proposed large columnar oak trees. These will provide summertime shade, and are open enough to allow the moderate passage of cooling evening sea breeze. No sidewalk-adjacent hedging is proposed.
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Mature Neighbourhood Infill DPA Guideline 22.9.2 (f)

Use Low Impact Development Techniques for stormwater management, where appropriate, in accordance with the City’s Integrated Storm Water Management Plan (ISWMP). This includes but is not limited to bio-swales, cisterns, and permeable paving. Narrower lanes/access roads and the use of porous asphalt are encouraged.

Applicant Response	Paving is kept to a minimum in the proposed landscape to allow maximum permeability.
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**Mature Neighbourhood Infill
Development Permit Area Guidelines**

Section 22.9.3 – Parking and Functional Elements

Mature Neighbourhood Infill DPA Guideline 22.9.3 (a)

Minimize paved areas with narrow, shared vehicular accesses. Separate accesses are considered for duplexes or triplexes that are located on corner lots or that have street and lane accesses.

Applicant Response	<p>The paved driveway proposed is the minimum sized possible while still being accessible.</p> <p>Separate access is not permitted as per City requirements.</p>
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Mature Neighbourhood Infill DPA Guideline 22.9.3 (b)

Provide sufficient space for garbage, recycling, and composting where appropriate. These areas are to be located so that they are convenient for users and accessible for waste/recycling/ compost collection and removal.

Applicant Response	<p>Room for garbage and recycling is proposed adjacent to the driveways off Cliff Avenue. This will be screened by landscaping, trees, and fencing.</p>
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- PRESENT:** P. Byer, Chairperson
P. Rust
F. Kubacki
J. Vasto
R. Dhall
- ABSENT:** J. Muego
- NON-VOTING MEMBERS:** S. Greysen, BIA Representative
- GUESTS:** S. Gill, Applicant (877 Kent Street)
A. Kulla, Landscape Designer (877 Kent Street)
J. Ogden, Owner (1091 Stayte Road)
J. Kaur, Applicant (1091 Stayte Road)
R. Toora, Designer (1091 Stayte Road)
- STAFF:** J. Calenda, Interim Director, Planning & Development Services
N. Syam, Planner
J. Pelzman, Planning & Development Assistant II
-

1. CALL TO ORDER

The meeting was called to order at 3:32pm.

2. ADOPTION OF AGENDA

It was **MOVED** and **SECONDED**

THAT the Advisory Design Panel adopts the March 15, 2022, agenda as circulated.

CARRIED

3. ADOPTION OF MINUTES

It was **MOVED** and **SECONDED**

THAT the Advisory Design Panel adopts the minutes from the February 15, 2022, meeting as circulated.

CARRIED

4. APPLICATION SUBMISSIONS TO THE ADVISORY DESIGN PANEL

At the beginning of this section of the agenda, J. Calenda (Interim Director, Planning & Development Services) provided an overview of the policy and regulatory framework applicable to the applications under review by the ADP. The following subsection outlines the minutes of the meeting as they relate to the applications.

4.1. Application: 877 Kent Street – Proposed Intensive Residential Development – S. Gill (Applicant)

The Applicant provided an overview of the updates to their proposed intensive residential development since the previous ADP review on October 19, 2021.

- A member of the Panel requested clarification on the garage door for the southern house and asked if it was clear glass. The Applicant responded by saying that it was glass but reflective with privacy panels. The Panel recommended using a different material.
- A member of the Panel commented about the landscaping plan only showing small shrubs and columnar trees at the front of the properties and recommended planting some larger shrubs and tree varieties instead.
- A member of the Panel recommended dropping the ceiling height of the front entrances to match the first storey roof line along the sides of the houses.
- A member of the Panel appreciated the change to two single-family homes, which fits in with the character of the street and is less massing for the neighbourhood.
- A member of the Panel noted that the design of the north house could be improved. They recommended implementing larger windows and using some shared colours and elements between the two houses.
- A member of the Panel noted that there are some inconsistencies in the drawings because the landscaping plan appears to show gravel between the houses and along the outer edges of the properties which is not consistent with the site plans. The Applicant acknowledged the inconsistencies and confirmed that they will work with City staff to make sure the landscaping plan is consistent with other plans.

Following the receipt of final comments, the Chairperson asked for a motion.

It was **MOVED** by R. Dhall and **SECONDED** by P. Rust

THAT the Advisory Design Panel supports the application for the development proposal at 877 Kent Street proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Revise the design of the garage door on the south house to a different material.
- Recommendation to use larger shrubs and tree varieties at the front of the properties.
- Recommendation to lower the ceiling height of the front entrances to match the first storey roof line along the sides of the houses.
- Revise the design of the north house to have larger windows and some shared colours and elements between the two houses.
- Request for more consistency between the landscaping plan and the other site plans.

CARRIED

4.2. Application: 1091 Stayte Road – Proposed Duplex – J. Ogden (Owner)

The Owner provided an overview of their proposed duplex development.

- A member of the Panel asked the Owner why there was a gap between the units on the second level. The Owner responded that it was an attempt to reduce the mirroring effect of the two units. The Panel noted that there may be some heat loss from having two exterior walls in the design.
- A member of the Panel recommended using a different variety of tree and plant species along the property line. It was suggested that utilizing different tree and plant species may also reduce the need for a large fence.
- A member of the Panel noted that there was a lack of windows on the rear elevation. They recommended using some colours and elements from the front elevation on the rear. They also recommended using vertical windows instead of horizontal windows.
- A member of the Panel had concerns with some mature off-site trees from the adjacent property impacting the building on the first and second floors. The Owner said that there may need to be some trimming done to prevent this. The Panel asked if the Arborist and the neighbour came to an agreement to allow the trees to be trimmed. The Owner responded by saying he will have to discuss this with the Arborist.
- A member of the Panel noted that one of the large off-site trees may not survive the construction that occurs in the root zone area. The Panel also noted that the City's new Tree Protection Bylaw may require revisions to the Arborist Report that was submitted with the application.
- A member of the Panel asked about the location of the garbage/recycling bins. City Staff responded by saying that the Applicant proposed an enclosed structure for the bins, but this may impact the setback requirements and is still under discussion.
- A member of the Panel recommended that the proposal include roughed-in electric vehicle charging infrastructure.

Following the receipt of final comments, the Chairperson asked for a motion.

It was **MOVED** by R. Dhall and **SECONDED** by F. Kubacki.

THAT the Advisory Design Panel supports the application for the development proposal at 1091 Stayte Road proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Recommendation to use a different variety of tree and plant species along the property line to reduce the need for a large fence.
- Recommendation to use colours and elements from the front elevation on the rear elevation.
- Revise the design to replace the horizontal windows with larger vertical windows.
- Recommendation to include roughed-in electric vehicle charging infrastructure in the design.

CARRIED

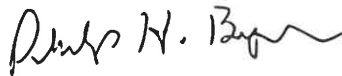
A member of the Panel requested an additional motion to update the unit addresses to align with the streets they are facing.

It was **MOVED** by P. Byer and **SECONDED** by P. Rust.

CARRIED

5. CONCLUSION OF THE MEETING

There being no further business, the Chairperson declared the meeting concluded at 5:29 pm.



P. Byer
Chairperson, Advisory Design Panel



J. Calenda
Interim Director, Planning & Development
Services, City of White Rock



**Arborist Report for Development
1091 Stayte Road
White Rock, BC V4B 4Y8**

April 28, 2022 Updated

Submitted to:
**City of White Rock
Planning & Development Services Department**

Submitted by:
**Freedom Sukenick
ISA Certified Arborist PN 7712A
White Rock Business License #23377**

Client:
**Mirus Enterprises Inc.
Jamie Walgren
Jamie.walgren@gmail.com**

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If there are any questions or concerns with the contents of this report, please do not hesitate to contact us.

Contact information

Phone: 604-306-6942

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Website: www.freedomtreecaretrimmingservice.com

ASSIGNMENT / INTRODUCTION

I was asked to assess all trees located onsite, and all City & offsite trees within 4 meters of the property line. The purpose of my consultation is to determine the viability of the trees and the potential impact in relation to the construction of a new house and upgrading of all services.

I conducted my assessment on September 19, 2019.

March 27, 2022 - I was asked to update the Report to provide recommendations on how to care for the retained trees including a maintenance and watering program. The site plan has also been updated showing new walkway and screw pile locations and a reduced excavation zone on the south side of the proposed building.

NEW April 26, 2022 - Pathway near tree #678 has been modified. Additional comments provided in the Summary and Recommendations on page 8.

METHODOLOGY

- **A level 2 Qualitative approach** with a mallet and probe were used on accessible items without dissection, excavation, climbing or coring.
- All trees were inspected using a ground based visual examination.
- Photos have been included to help with tree identification.
- Tree Survey drawing #1 shows all trees.
- Tree Survey drawing #2 shows trees to be retained, Tree Protection Barriers and Replacement Tree locations.
- Trees were evaluated for their preservation potential based on health, structure, location, biotic, abiotic, pathogenic, decay and species factors. Topping cuts and codominant stems are considered structural defects and under most circumstances are considered structurally poor.
- Trees found to be unsafe, conflicting with the proposed building plans, of poor health, of little long term retentive value or having been requested by the owner are recommended for removal in Table #1 and shown on Tree Survey Drawing #1 with an X.
- The maximum amount of encroachment from excavation is generally around 30%. Further encroachment may de-stabilize the tree and is not recommended.
- A 1.5 meter excavation zone is calculated and used around the new house structure to show any potential conflicts with proposed construction.

OBSERVATIONS

Tree Resource

The tree resource in this report is made up of 17 trees. 10 Western red cedar (*Thuja plicata*), 2 Paper bark maple (*Acer griseum*), and one each of the following; English oak (*Quercus robur*), Douglas fir (*Pseudotsuga menziesii*), Pacific dogwood (*Cornus nuttallii*), Mountain-ash (*Sorbus aucuparia*), and Spruce (*Picea engelmannii*). Three hedges have been found which are on city property. They are labeled H1, H2 and H3 on the tree survey drawings.

All trees have been tagged and located on the tree survey drawing.

Tree Inventory and Assessment - Table 1

The following Inventory Table provides individual tree data for all protected trees. Specific information includes:

- tree/tag number, offsite (OS), shared or City Tree (City, C), species
- diameter at breast height (DBH), approximate height, live crown ratio (LCR) %, deadwood %
- structural integrity - a qualitative rating of a tree's shape and structure when compared to ideal trees of the same species and age class (good, fair, poor, dead)
- health - the trees overall health and vigour (good, fair, poor, dead)
- **Good:** Trees in this category are in good health and structural stability and have the potential for longevity at this site.
- **Fair:** Trees in this category are in moderate health and/or have structural defects that may be mitigated with treatment. These trees may require more intense management and monitoring, and may have shorter life-spans than those in the "good" category.
- **Poor:** Trees in this category are in poor health or have structural defects that may not be mitigated with treatment. These trees can be expected to decline regardless of management.
- comments and recommendations
- Tree Protection Zones (TPZs)

TABLE 1 - Tree Inventory and Assessment

Tag #	Common Name	Botanical Name	DBH (m)	Height (m)	LCR (%)	Dead wood (%)	Structural Integrity	Health	Comments	Recommendations	TPZ 6X DBH (m)
665 City	English oak	<i>Quercus robur</i>	.42	13	90	5	Good	Good	Multi-stemmed at 2m.	Retain and Monitor	2.52
666 City	Western red cedar	<i>Thuja plicata</i>	.35, .22	13	85	10	Poor	Fair	Multi-stemmed at base & 4.5m Previously topped at 2.5m with dieback at the topping cuts	Retain and Monitor	3.42
667 City	Western red cedar	<i>Thuja plicata</i>	.33	13	85	10	Poor	Fair	Multi-stemmed at 3m 2m long damage to main stem Previously topped at 2.5m with dieback at the topping cuts	Retain and Monitor	1.98
668 City	Western red cedar	<i>Thuja plicata</i>	.2, .54	13	85	10	Poor	Fair	Multi-stemmed at base Previously topped at 2.5m with dieback at the topping cuts	Retain and Monitor	4.44
669 OS	Douglas fir	<i>Pseudotsuga menziesii</i>	.59	20	85	5	Fair	Good		Retain and Monitor	3.54
670 OS	Western red cedar	<i>Thuja plicata</i>	.33, .38	15	90	10	Fair	Good	Multi-stemmed at base & 4m	Retain and Monitor	4.26
671 OS	Western red cedar	<i>Thuja plicata</i>	.37, .56	15	90	10	Poor	Good	Multi-stemmed at base	Retain and Monitor	5.58
672 OS	Western red cedar	<i>Thuja plicata</i>	.44, .46	15	90	10	Poor	Fair	Multi-stemmed at base & 4m Significant lvy in canopy	Retain and Monitor	5.4

TABLE 1 - Tree Inventory and Assessment

Tag #	Common Name	Botanical Name	DBH (m)	Height (m)	LCR (%)	Dead wood (%)	Structural Integrity	Health	Comments	Recommendations	TPZ 6X DBH (m)
673 OS	Western red cedar	<i>Thuja plicata</i>	.54	15	90	5	Poor	Fair	Multi-stemmed at 4m. Significant Ivy in canopy	Retain and Monitor	2.52
674	Mountain ash	<i>Sorbus aucuparia</i>	.24, .32	7	75	10	Fair	Fair	Multi-stemmed at base Significant Ivy in canopy	Remove due to conflicts with construction.	3.42
675 OS	Western red cedar	<i>Thuja plicata</i>	.8	15	90	5	Poor	Good	Multi-stemmed at 3m & 5m	Retain and Monitor	1.98
676 OS	Western red cedar	<i>Thuja plicata</i>	.12, .1, .15	7	70	5	Good	Good	Crown on south side	Retain and Monitor	4.44
677 City Shared	Western red cedar	<i>Thuja plicata</i>	.46, .48	15	90	5	Poor	Good	Pruning for the electrical house drop is required	Retain and Monitor	3.54
678	Pacific dogwood	<i>Cornus nuttallii</i>	.21, .3, .41	13	75	5	Good	Good	Pruning for the electrical house drop is required Multi-stemmed at 1m	Retain and Monitor	4.26
679 City	Paperbark maple	<i>Acer griseum</i>	.1, .11	4.5	60	<5	Good	Good		Retain and Monitor	5.58
680 City	Paperbark maple	<i>Acer griseum</i>	.13	4.5	65	<5	Good	Good		Retain and Monitor	5.4
681	Spruce	<i>Picea engelmannii</i>	.54	15	90	5	Good	Fair	Moderate Sapsucker damage and related resinosis	Remove due to conflicts with construction.	3.24

SUMMARY AND RECOMMENDATIONS

Viability of trees

City trees #666 - #668 are in poor health due to decay found on the main stems.

All 3 hedges on City property are in good condition.

Trees #669 - #674 share canopies.

March 27, 2022 - The Western red cedar (*Thuja plicata*) tree has a poor-moderate relative tolerance to construction impacts and the addition of fill soil (Matheny and Clark, 1998, Trees and Development). Effort must be made to ensure the long term success and retention of all retained trees before, during and after construction is complete.

Development impact on trees

Offsite tree #670 will have encroachment from the new open patio. Arborist supervision is recommended during construction.

Offsite tree #671, 672, 673 and 675 will have 20%, 20%, 3% and 27% encroachment from the new house excavation zones. Arborist supervision is recommended during excavation and construction. A reduction in the excavation zone from 1.5m to 1m has been implemented for this side of the house.

Tree #674 will have 60% encroachment from the new house excavation zone and is therefore recommended for removal due to conflicts with construction.

Offsite/City shared tree #677 will have 32% encroachment from the new house excavation zone. A concrete walkway, gate and fence are proposed in its TPZ. Arborist supervision is recommended during excavation and construction. A reduction in the excavation zone from 1.5m to 1m has been implemented.

Tree #678 will have 3% encroachment from the new house excavation zone. A concrete walkway, gate and fence are proposed in its TPZ. Arborist supervision is recommended during excavation and construction. A reduction in the excavation zone from 1.5m to 1m has been implemented.

Tree #681 will have 100% encroachment from the new house excavation zone and is therefore recommended for removal due to conflicts with construction.

March 27, 2022 - To reduce the construction impacts to trees #671, 672, 673, 675, 677 and 678, the basement has been reduced in size and the excavation zone has been reduced from 1.5m to 1m. To support the unreduced floors above, screw piles shall be used and located near the protected trees. The excavation for the screw piles is approximately 60cm X 60cm and is to be done by hand or Hydro-vacuum machine. The suitability, quantity and locations of the screw piles shall be determined by the Project Architectural and Geotechnical engineers.

SUMMARY AND RECOMMENDATIONS continued

NEW April 26, 2022 – The pathway has been aligned with the east side entry doorway. The pathway located inside the tree protection zone of tree #678 shall be above grade using paving stones, slab-on grade concrete, Grasscrete or gravel. The pathway shall be a suitable distance away from the basal flare of the tree, as determined by the project Arborist at time of preparation/installation. No digging shall be done inside the tree protection zone. Arborist supervision during the preparation and installation of the pathway is recommended.

Potential conflicts with services

Storm comes from Cliff Ave. - No conflict is expected.

Natural gas comes from Cliff Ave. - No conflict is expected.

Sanitation comes from Cliff Ave. - No conflict is expected.

Water comes from Cliff Ave. - No conflict is expected.

Electrical is above ground and comes from Cliff Avenue, through tree #677. Pruning for clearance for the new above ground electrical house drop may be necessary.

GENERAL NOTES

1. Replacement trees must meet the plant condition and structure requirements set out in the latest edition of the BCSLA/BCLNA "B.C. Landscape Standard" and the CNTA "Canadian Standards for nursery stock".
2. Replacement trees must be located, planted and maintained in accordance with the BCSLA/ BCLNA and "White Rock Tree Management Bylaw NO. 1831".
3. Replacement trees must be a minimum size of 3.0m ht. coniferous / 6 cm cal. deciduous
4. Trees must be located a minimum distance of 1m from any property lines and 3m from any other tree or buildings/services.

CONSTRUCTION, WATERING AND MAINTENANCE SPECIFICATIONS

1. Before beginning work, the contractor should meet with the project arborist on site to review all work procedures, access routes, storage areas and tree protection measures.
2. **Any work within two meters of a tree protection zone (TPZ)** shall be monitored and done under the directions of the project arborist.
3. All trees shall be irrigated prior to, during, and after any root pruning or after any excavation and every week after, during the months of June, July, August and September (2022). Each irrigation shall wet the soil to a depth of 150cm.
4. Clearing of vegetation in the TPZ shall be done by hand. Brush shall be chipped and placed in the TPZ to a depth of 6". Wood chips shall not be placed against the trunk(s). Additional wood chips may be required.
5. Tree(s) to be removed that have branches extending into the canopy of tree(s) to remain or are in the TPZ of tree(s) to remain, must be removed by a qualified arborist. The qualified arborist shall remove the tree(s) in a manner that causes no damage to the tree(s) and understory to remain. Trees to be removed that are located in the TPZ of trees to remain, shall be cut near ground level and the stump ground out.
6. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the TPZ.
7. All work required within the TPZ shall be done by hand and under the direct supervision of the project Arborist.
8. All pruning shall be performed by a certified arborist and will be in accordance with ANSI A300 (part 5) pruning standards and ANSI Z133.1 safety standards. Pruning for building clearance will be required and is best achieved at the framing stage, prior to the installation of glazing and building wrap.
9. Trees should be monitored by a certified arborist for a period of 18 months after construction is complete.
10. No swales shall be located in the tree protection zones of retained trees.
11. Trees to be retained will require arborist supervision any time heavy machinery encroaches within 2 meters of the tree protection zones. Excavation pins will need to be located prior to excavation for construction. Roots should be pruned or cut prior to excavation to minimize the damage from ripping. Ripped or damaged roots shall be exposed using the least injurious method and the damaged section cut cleanly. Exposed roots should be covered with moisture retaining material such as burlap or moist fill soil, and a covering such as a tarpaulin, to prevent drying of the soil and roots.

TABLE 2 - Tree Protection Summary

	Onsite	Offsite	City	Total
Number of protected trees identified	3	7	7	17
Number of protected trees to be Removed	2	0	0	2
Number of protected trees to be retained	1	7	7	15
Number of replacement trees required	6	0	0	6
Number of replacement trees proposed	6	0	0	6
Number of replacement trees in deficit	0	0	0	0
Total number of retained trees & replacement trees	21			

TREE PROTECTION PLAN

Tree protection shall be done in accordance with White Rock Tree Management Bylaw No. 1831. Tree protection fencing is to be installed prior to construction with no excavation, grade alterations or materials storage within the Tree Protection Zones (TPZ) unless preapproved by the project Arborist. Tree protection zones are listed on the Tree drawing #1. The project Arborist must be contacted prior to and be on site for any construction within **the recommended TPZ which is 6X the tree diameter**. All parties must be aware that long-term success in tree preservation efforts depends greatly on minimizing the impact caused during and post construction. Mechanical injuries caused to trees above or below ground are difficult to repair and can cause long term damage or death. Best efforts must be made to ensure that soils remain undisturbed within the tree protection zones.

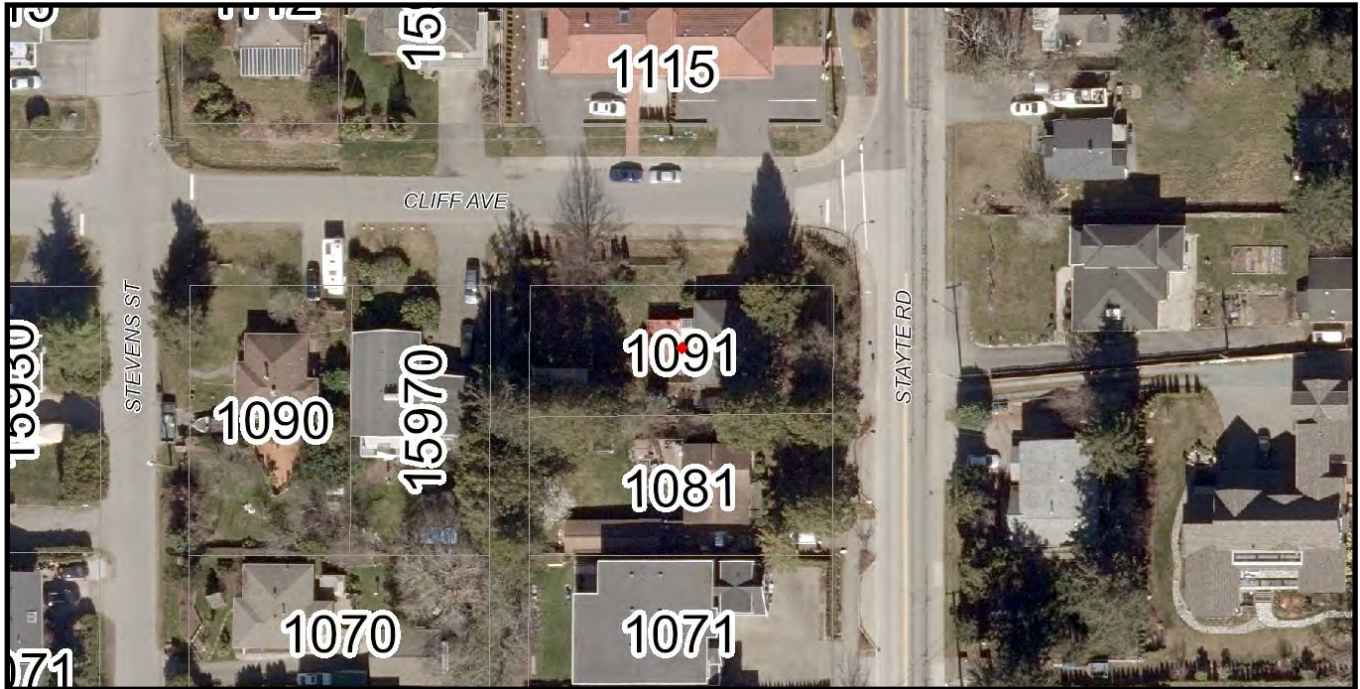


Photo 1

Aerial photo March 2019, White Rock's WROMS.



Photo 2

Street view of property at time of assessment.



Photo 3
Tree #665 and #H3. Facing west.



Photo 4
Tree #665 on left and #H3. Facing east.



Photo 5
Trees #666 - #674, from right to left.
All trees share a crown.



Photo 6
Tree #666, photo showing pruning cut dieback on the main stems. Good reaction growth has developed.



Photo 7

Tree #667, photo showing pruning cut dieback on the main stem. Minimal reaction growth has developed.



Photo 8

Tree #668, photo showing pruning cut dieback on the main stem. Good reaction growth has developed.

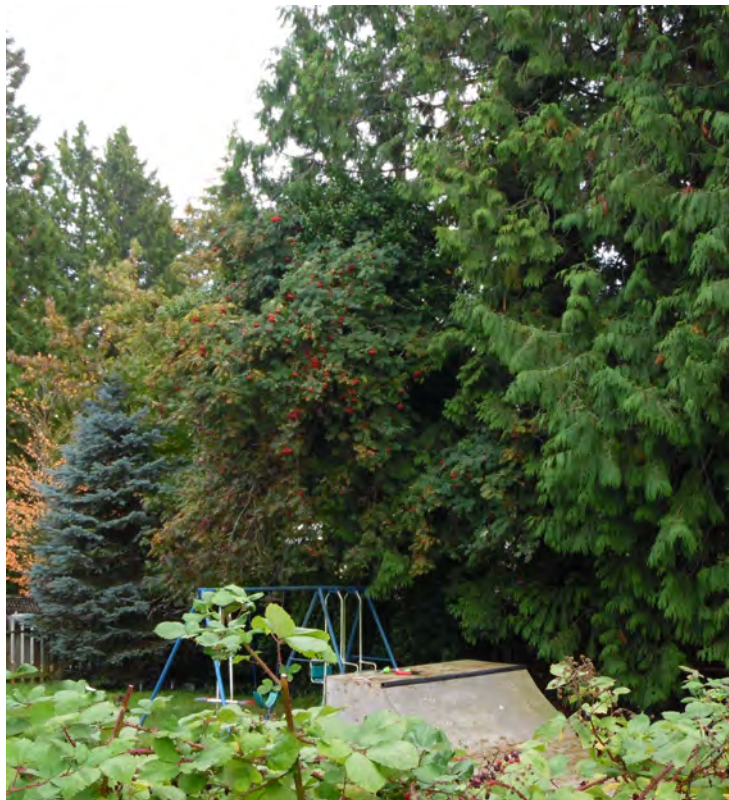


Photo 9

Tree #674 in center with red berries.



Photo 10

Tree #675, photo showing co-dominant stems at 3m and 5m.



Photo 11
Tree #676 (left) and #677 (right).



Photo 12
Photo showing the co-dominant base of tree #677.



Photo 13
Tree #678 and #678 in center, #677 on left, and #681 on right.



Photo 14
Photo showing the base of tree #678.
Tree #681 in background.



Photo 15
Tree #681



Photo 16
Sapsucker damage on tree #681.



Photo 17
Boulevard trees #679, #680 and #H1.

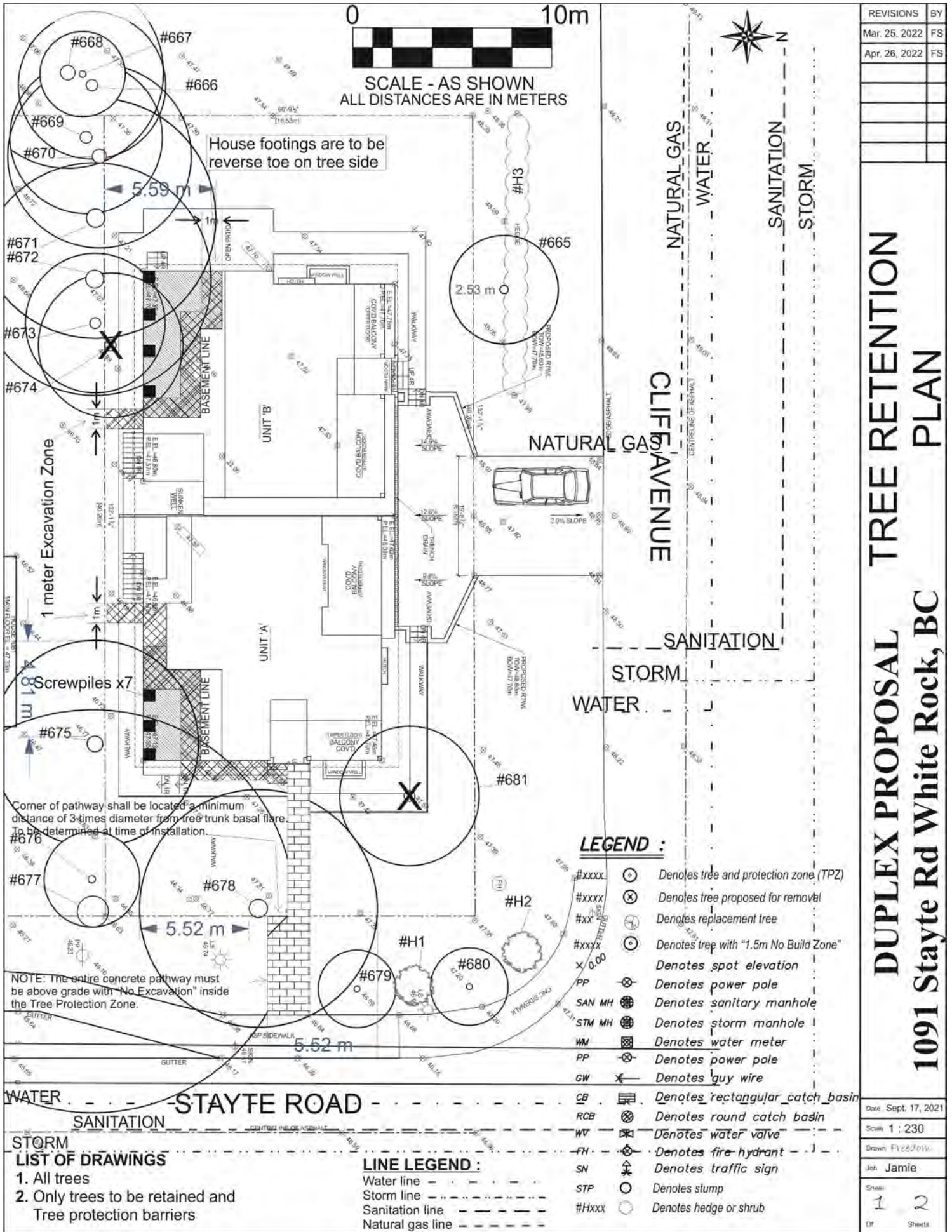


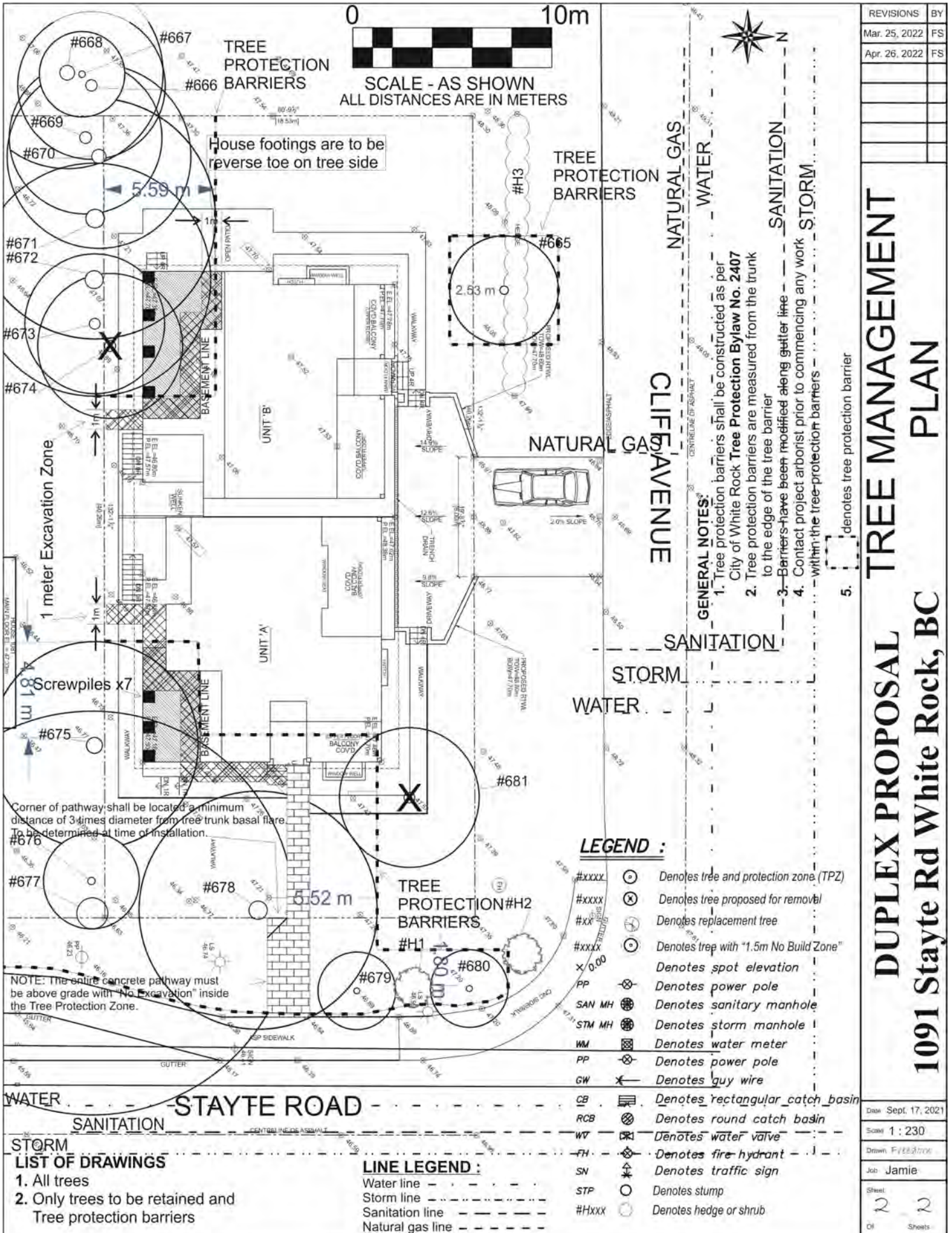
Photo 18
Boulevard trees #679 , #680 and hedge #H1.
All on city property.



Photo 19

Hedge #2 on city property. Volunteer trees have started growing in the hedge.





REVISIONS	BY
Mar. 25, 2022	FS
Apr. 26, 2022	FS

TREE MANAGEMENT PLAN

DUPLIX PROPOSAL

1091 Stayte Rd White Rock, BC

- GENERAL NOTES:**
1. Tree protection barriers shall be constructed as per City of White Rock **Tree Protection Bylaw No. 2407**
 2. Tree protection barriers are measured from the trunk to the edge of the tree barrier
 3. Barriers have been modified along gutter line
 4. Contact project arborist prior to commencing any work within the tree-protection barriers
 5. [Symbol] denotes tree protection barrier

LEGEND :

- #XXXX [Symbol] Denotes tree and protection zone (TPZ)
- #XXXX [Symbol] Denotes tree proposed for removal
- #XX [Symbol] Denotes replacement tree
- #XXXX [Symbol] Denotes tree with "1.5m No Build Zone"
- x 0.00 [Symbol] Denotes spot elevation
- PP [Symbol] Denotes power pole
- SAN MH [Symbol] Denotes sanitary manhole
- STM MH [Symbol] Denotes storm manhole
- WM [Symbol] Denotes water meter
- PP [Symbol] Denotes power pole
- GW [Symbol] Denotes guy wire
- CB [Symbol] Denotes rectangular catch basin
- RCB [Symbol] Denotes round catch basin
- WV [Symbol] Denotes water valve
- FH [Symbol] Denotes fire hydrant
- SN [Symbol] Denotes traffic sign
- STP [Symbol] Denotes stump
- #HXXX [Symbol] Denotes hedge or shrub

LINE LEGEND :

- Water line [Symbol]
- Storm line [Symbol]
- Sanitation line [Symbol]
- Natural gas line [Symbol]

LIST OF DRAWINGS

1. All trees
2. Only trees to be retained and Tree protection barriers

ASSUMPTIONS AND LIMITING CONDITIONS

- Information contained in this report covers only those items that were examined and reflects conditions of those items at the time of assessment. The assessment is limited to visual examination of accessible items without dissection, excavation, climbing or coring.
- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible, however, Freedom Tree Care Ltd can neither guarantee nor be responsible for the accuracy of information.
- Any legal description provided to the consultant is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Freedom Tree Care Ltd shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made .
- Loss or alteration of any part of this report invalidates the entire report.
- This report shall be used for its intended purpose only and by the parties to whom it is addressed. Neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written and verbal consent of Freedom Tree Care Ltd.
- Sketches, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be constructed as engineering or architectural reports or surveys.
- There is no warranty or guarantee expressed or implied, that problems or deficiencies of the tree or other plant or property in question may not arise in the future.

I certify that this report has been prepared in accordance with accepted Arboricultural standards from the information made available to me at the time, and that the facts and opinions expressed within it are true and accurate to the best of my knowledge and belief.

If there are any questions regarding the contents of this report, please contact Freedom Tree Care Ltd.



Freedom Sukenick

ISA Certified Arborist #PN-7712A

Certified Tree Risk Assessor (TRAQ)

Freedom Tree Care Ltd.

October 27, 2021

File: 19-3960

City of White Rock
Planning and Development Services
15322 Buena Vista Avenue
White Rock, BC
V4B 1Y6

Attn: Neethu Syam, Planner

Dear Madam:

**Re: 1091 Stayte Road, White Rock
White Rock File No. 20-005
Summary of Public Information Meeting Held October 8, 2020**

Application Profile

The Proposal is to rezone from the RS-1 one unit residential to the RT-1 two-unit residential Duplex zone (no secondary suites). A minor Development Permit for form and character is required to ensure duplex complies with the mature neighborhood DP area Guidelines in the OCP. Three stories are proposed with no basement suites. The site access will be from Cliff Avenue via shared driveway and not from Stayte Road.

Notification of Public Information Meeting

White Rock's Planning Department sent out PIM Notification letters to the property owners in the area.

Time and Location

The Public Information Meeting was held on Thursday October 8, 2020 virtually through a Microsoft Teams – "Live Event". The meeting was from 5:30p.m to 6:30p.m.

Project Representatives

CitiWest Consulting Ltd.:	Natalie Pullman, Planning Assistant
Owner/Developer:	Mirus Enterprises (Jamie Walgren)
Designer:	Raj Toora, House Designer
City of White Rock:	Athena Van Hausen, Planner

Attendance

There was one attendee of the meeting, the neighbor to the South.

Comment Sheet

We haven't received any comments other than the comment provided at the Public Information Meeting. The comment was related to the offsite tree removal.

Meeting Format

The meeting was held virtually through Microsoft Teams "Live Event". PowerPoint presentation of surrounding zoning, proposed layout, detailed House Plans, site plans, and a neighbourhood aerial photograph were presented by Natalie Pullman and Raj Toora. Questions asked during the meeting were addressed by CitiWest staff, City representative and the developer. This meeting addressed the proposed development application and the layout.

Results

Overview of concerns/comments:

Comments:

- Neighbor responded positively to the house design.
- The neighbor raised concerned about offsite tree removal, and potential damage to the health of the trees with the duplex development.

Developer's Explanation / Action:

- The developer is making every effort to save as many of the healthy trees as possible, based on the arborist's professional experience and recommendations.
- Arborist will be present onsite during excavation and construction near TPZ to ensure no damage is done to the trees to be retained.
- Developer reached out to the neighbors after PIM to obtain permission for off site tree removal. Since the neighbors declined to provide their permission, the design was revised to retain all offsite trees by incorporating Screw Pile foundation.

Conclusion

After reviewing the comment and public feedback, there are no concerns from the surrounding neighbors other than the neighbor to the immediate south. In order to seek support from the neighbor, the developer has amended the design by

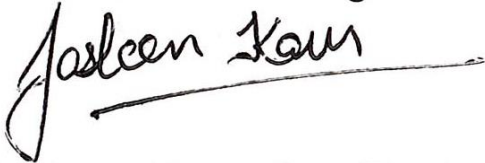
incorporating Screw Piles Foundation, thereby retaining all the offsite trees on the neighboring property.

Through amendments to the design, the developer has demonstrated their willingness to provide a balance that is satisfactory to the neighbours and the City of White Rock, with the current proposal.

We request that you please review the proposed possible option and supporting reasons given by the developer and their representatives. We look forward to working with you and proceeding with the project to ADP and Council in the near future. If you have any questions, please me at 604-591-2213.

Yours truly,

CitiWest Consulting Ltd.



Jasleen Kaur, GradTech
Planning/Engineering Assistant

JK/rj

cc: Mirus Enterprises (Jamie Walgren)

MINUTE EXTRACTS REGARDING BYLAW 2438: WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT (RT-1 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438

Advisory Design Panel – March 15, 2022

4.2. Application: 1091 Stayte Road – Proposed Duplex – J. Ogden (Owner)

The Owner provided an overview of their proposed duplex development.

- A member of the Panel asked the Owner why there was a gap between the units on the second level. The Owner responded that it was an attempt to reduce the mirroring effect of the two units. The Panel noted that there may be some heat loss from having two exterior walls in the design.
- A member of the Panel recommended using a different variety of tree and plant species along the property line. It was suggested that utilizing different tree and plant species may also reduce the need for a large fence.
- A member of the Panel noted that there was a lack of windows on the rear elevation. They recommended using some colours and elements from the front elevation on the rear. They also recommended using vertical windows instead of horizontal windows.
- A member of the Panel had concerns with some mature off-site trees from the adjacent property impacting the building on the first and second floors. The Owner said that there may need to be some trimming done to prevent this. The Panel asked if the Arborist and the neighbour came to an agreement to allow the trees to be trimmed. The Owner responded by saying he will have to discuss this with the Arborist.
- A member of the Panel noted that one of the large off-site trees may not survive the construction that occurs in the root zone area. The Panel also noted that the City's new Tree Protection Bylaw may require revisions to the Arborist Report that was submitted with the application.
- A member of the Panel asked about the location of the garbage/recycling bins. City Staff responded by saying that the Applicant proposed an enclosed structure for the bins, but this may impact the setback requirements and is still under discussion.
- A member of the Panel recommended that the proposal include roughed-in electric vehicle charging infrastructure.

Following the receipt of final comments, the Chairperson asked for a motion.

It was **MOVED** by R. Dhall and **SECONDED** by F. Kubacki.

THAT the Advisory Design Panel supports the application for the development proposal at 1091 Stayte Road proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Recommendation to use a different variety of tree and plant species along the property line to reduce the need for a large fence.
- Recommendation to use colours and elements from the front elevation on the rear elevation.
- Revise the design to replace the horizontal windows with larger vertical windows.
- Recommendation to include roughed-in electric vehicle charging infrastructure in the design.

CARRIED

A member of the Panel requested an additional motion to update the unit addresses to align with the streets they are facing.

It was **MOVED** by P. Byer and **SECONDED** by P. Rust.

CARRIED

Regular Council Meeting – July 25, 2022 (DRAFT/UNAPPROVED)

6.2.1 CONSIDERATION OF FIRST AND SECOND READING OF "WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT (RT-1 - 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438"

Corporate report dated July 25, 2022 from the Director of Planning and Development Services titled "Consideration of First and Second Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (R-T -1 - 1091 Stayte Road) Bylaw, 2022, No. 2438".

Note: This item would usually go the Land Use and Planning Committee then onto the Regular Council meeting agenda. The applicant's revised submission and staff review were completed just short of the advertising deadline to notify that a Land Use and Planning Committee meeting has been scheduled. Due to timing of the Council term, it was requested to place the item on the Regular Council meeting. Council may wish to consider this application directly or you may defer discussion / consideration until the next scheduled meeting date in September.

Note: If Council considers this item at the Regular Meeting, Bylaw 2438 is on the agenda for consideration of first and second reading under Item 8.1.d.

Motion Number: 2022-333 It was MOVED and SECONDED

THAT Council receive for information the corporate report from the Director of Planning and Development Services titled "Consideration of 1st and 2nd Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438".

Motion CARRIED (6 to 0)

8.1.d BYLAW 2438 - WHITE ROCK ZONING BYLAW, 2012, AMENDMENT (R-1- 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438

Bylaw 2438 - A bylaw to amend the "White Rock Zoning Bylaw, 2012, No. 2000" to rezone the property from the "RS-1 One-Unit Residential Zone" to the "RT-1 Two-Unit (duplex) Residential Zone" at 1091 Stayte Road. If approved, it would allow for the construction of a duplex on the property.

Note: This bylaw was the subject of a Corporate Report under Item 6.2.i

Motion Number: 330-343 It was MOVED and SECONDED

THAT Council give first and second readings to "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438".

Motion CARRIED (6 to 0)

Motion Number: 330-344 It was MOVED and SECONDED

THAT Council direct staff to schedule the public hearing for "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438".

Motion CARRIED (6 to 0)

Motion Number: 330-345 It was MOVED and SECONDED

THAT Council direct staff to address the following conditions prior to bringing “White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438” back for consideration of final adoption:

- **Ensure that all engineering requirements and issues, including road dedication and the execution of a Works and Servicing Agreement, are addressed to the satisfaction of the Director of Engineering and Municipal Operations;**
- **Ensure that the east pedestrian walkway is revised, and updated drawings are submitted and approved by the Director of Planning and Development Services;**
- **Registration of a Section No. 219 Covenant to restrict basement suites;**
- **Ensure that all matters pertaining to tree protection and retention are addressed to the satisfaction of the Director of Planning and Development Services;**
- **Confirm and ensure the recommendations of the final arborist report, approved by the Director of Planning and Development Services and, more specifically the city’s Arboricultural Technician, are implemented and maintained through future demolition and construction activities; and**
- **Complete the demolition of the existing dwelling to the satisfaction of the Director of Planning and Development Services.**

Motion CARRIED (6 to 0)