NOTICE OF PUBLIC HEARING – SEPTEMBER 26, 2022

BYLAW 2438:WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT
(RT-1 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438

CIVIC ADDRESS: 1091 STAYTE ROAD

PURPOSE: Bylaw 2438 proposes to rezone the subject property from the "RS-1 One-Unit Residential Zone" to the "RT-1 Two-Unit (duplex) Residential Zone". If approved, it would allow for the construction of a duplex on the property.



Documents:

Author	Document	Item #
Director of Planning and Development	Regular Council corporate report dated July 25, 2022	R-1
Services		
Corporate Administration Department	Minutes – Various Extracts	R-2

Written Submissions:

Author	Date Received	Resident?	Status	Item #
None to date.				

THE CORPORATION OF THE CITY OF WHITE ROCK

15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

NOTICE OF PUBLIC HEARING MONDAY, SEPTEMBER 26, 2022

NOTICE is hereby given that the Council of the City of White Rock will hold an opportunity for public participation for a Public Hearing on **MONDAY**, **SEPTEMBER 26**, **2022**, at **5:00 P.M.** in accordance with the *Local Government Act* and the *Planning Procedures Bylaw*. All persons who deem their interest in property is affected by the proposed bylaw / application shall be afforded an opportunity to be heard **in person**, **via telephone or by forwarding written submissions** reflecting matters contained in the proposed bylaw / application that is the subject of the Public Hearing. At the Public Hearing, Council will hear and receive submissions from the interested persons in regard to the bylaw / application listed below:

BYLAW 2438: WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT (RT-1 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438

CIVIC ADDRESS: 1091 STAYTE ROAD (See Site Map)

PURPOSE: Bylaw 2438 proposes to rezone the subject property from the "RS-1 One-Unit Residential Zone" to the "RT-1 Two-Unit (duplex) Residential Zone". If approved, it would allow for the construction of a duplex on the property.

The proposed application and associated reports can be viewed online on the agenda and minutes page of the City website, www.whiterockcity.ca, under Council Agendas from September 13, 2022, until September 26, 2022. If you are unable to access the information online, please contact the Corporate Administration department at 604-541-2278, between the hours of 8:30 a.m. and 4:30 p.m., or leave a voicemail and staff will ensure you have the information made available to you.

ADDITIONAL INFORMATION

Further details regarding the subject of the Public Hearing may be found online: whiterockcity.ca/agendas

Contact the Planning and Development Services Department for any questions regarding this application: 604-541-2136 | <u>planning@whiterockcity.ca</u>



www.whiterockcity.ca

Notice of Public Hearing – September 26, 2022 – Bylaw 2438 (1091 Stayte Road) Page 2

VIEW THE PLANNING REPORT, BYLAWS AND RELATED DOCUMENTS

Online at whiterockcity.ca/agendas

SUBMIT YOUR COMMENTS

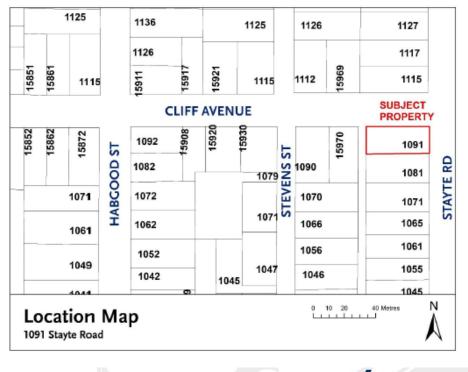
- Email: <u>clerksoffice@whiterockcity.ca</u> with "Bylaw 2438 (1091 Stayte Road)" noted in the subject line
- Mail: City Hall at 15322 Buena Vista Avenue, White Rock, V4B 1Y6

All submitted comments will be distributed to Council and must be received by 12:00 p.m. noon on the day of the public hearing.

- In Person: Attend in person at City Hall Council Chambers.
- **Register to speak at the public hearing by phone:** Refer to the City of White Rock Website at whiterockcity.ca/publichearings and follow the instructions regarding the sign-up process or call 604-541-2127.

WATCH THE PUBLIC HEARING

Live online or view the video the following day at whiterockcity.ca/agendas



<u>SITE MAP:</u> 1091 Stayte Road

September 13, 2022 Tracey Arthur, Director of Corporate Administration



www.whiterockcity.ca

THE CORPORATION OF THE CITY OF WHITE ROCK CORPORATE REPORT



- DATE: July 25, 2022
- TO: Mayor and Council

FROM: Anne Berry, Director, Planning and Development Services

SUBJECT: Consideration of 1st and 2nd Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438

RECOMMENDATIONS

THAT Council:

- Give first and second readings to "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438;"
- **2.** Direct staff to schedule the public hearing for "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 1091 Stayte Road) Bylaw, 2022, No. 2438;" and
- **3.** Direct staff to address the following conditions prior to bringing "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 1091 Stayte Road) Bylaw, 2022, No. 2438" back for consideration of final adoption:
 - a) Ensure that all engineering requirements and issues, including road dedication and the execution of a Works and Servicing Agreement, are addressed to the satisfaction of the Director of Engineering and Municipal Operations;
 - b) Ensure that the east pedestrian walkway is revised, and updated drawings are submitted and approved by the Director of Planning and Development Services;
 - c) Registration of a Section No. 219 Covenant to restrict basement suites;
 - d) Ensure that all matters pertaining to tree protection and retention are addressed to the satisfaction of the Director of Planning and Development Services.
 - e) Confirm and ensure the recommendations of the final arborist report, approved by the Director of Planning and Development Services and, more specifically the city's Arboricultural Technician, are implemented and maintained through future demolition and construction activities; and
 - f) Complete the demolition of the existing dwelling to the satisfaction of the Director of Planning and Development Services.

EXECUTIVE SUMMARY

This application proposes to rezone the property from the "RS-1 One-Unit Residential Zone" to the "RT-1 Two-Unit (duplex) Residential Zone" at 1091 Stayte Road. If approved, it would allow for the construction of a duplex on the property. A minor development permit for form and character is also required. The subject property meets the lot area and dimension requirements of Page 356 of 541

the RT-1 zone and the siting and massing of the proposed two-storey duplex is similar to a single-unit residential building that could be constructed under the existing zoning. The duplex would provide a more 'affordable' ownership option in the city, as compared to one large single-family home. Overall, staff supports the proposal subject to the recommended conditions.

A copy of draft Zoning Amendment Bylaw No. 2438 is included in this corporate report as Attachment A, and the proposed architectural and landscape drawings are included as Attachment B.

Motion & Meeting Date	Motion Details
2020-LU/P-040 October 26, 2020	THAT Land Use and Planning Committee recommend that Council resolve that the zoning amendment application at 1091 Stayte Road proceed to the next stage in the application review process.
2020-542 November 9, 2020	THAT Council resolve that the zoning amendment application at 1091 Stayte Road proceed to the next stage in the application review process.

PREVIOUS COUNCIL DIRECTION

INTRODUCTION/BACKGROUND

If approved, the zoning would be amended from RS-1 to RT-1, which enables the construction of a duplex. Figure 1.0 illustrates the Subject Property and the context of the site. The properties immediately west and south are zoned RS-1. The properties to the east of the subject property fall within the City of Surrey.



Figure 1: Site Context and Subject Property

Official Community Plan

The property is within the City's "Mature Neighbourhood" designation as outlined in the Official Community Plan (OCP). This OCP designation goal is to create low-scale housing forms (for example, housing that includes single-family homes with secondary suites, duplexes, and triplexes). The OCP policies are intended to maintain residential character within established neighbourhoods by encouraging gentle infill while supporting a variety of housing choices and different levels of affordability. Under OCP Section 7: Growth Management, Policy 7.4.2, duplexes are encouraged to be spread throughout the City by limiting the number of duplexes along a single block frontage to 20% of the total number of properties. This would be the first duplex on the west side of Stayte Road and is therefore supported by OCP Policy 7.4.2.

ANALYSIS

The proposal has undergone a series of revisions to ensure alignment with the City's Development Permit Area and Duplex Design Guidelines. The project is consistent with the OCP's Mature Neighbourhood DPA policies. The following sections describe details of the proposal and key land use planning considerations made in preparing the staff recommendation outlined in this report.

Zoning

The subject property is approximately 18.59 m (62.0 ft) wide, 40.26 m (132.3 ft) deep, and has a lot area of 748.06 sq.m (8,052 ft²), exceeding the minimum requirements of both the existing RS-1 zone and the proposed RT-1 zone. The zoning requirements that relate to the siting and massing of buildings are largely identical for the RS-1 and RT-1 zones. The only variation is to lot coverage with a maximum of 40% required in the RS-1 zone as compared to 45% in the RT-1 zone. The proposal at 1091 Stayte Road is in conformance with all RT-1 standards. Table 1.0 below summarizes the current and proposed zoning and configuration for the proposed duplex. The proposed use of the property is permitted within the RT-1 zone. Secondary suites are not permitted in the RT-1 zone.

Zone Standard	RS-1 (Current zone)	RT-1 (Standard) zone	RT-1 (Proposed)
Lot Width (min)	15.0 m	18.0 m	18.59 m (62.0ft)
Lot Depth (min)	27.4 m	30.5 m	40.26 m (132.3ft)
Lot Area (min)	464.0 m ² (4,994.5ft ²)	742.0 m ² (7,986.8ft ²)	748.06 m ²
Lot Coverage (max)	40%	45%	39.6%
Floor Area	0.5 times the lot area	0.5 times the lot area	0.5 times the lot area
Height (max)	7.7 m	7.7 m	6.97 m
Setbacks (min)			
Front	7.5 m	7.5 m	7.83 m
Rear	7.5 m	7.5 m	7.81 m
Exterior sideyard	3.8 m	3.8 m	3.94 m
Interior side	1.5 m	1.5 m	1.91 m

Table 1: Existing and Proposed Zoning Matrix

Public Realm and Streetscape Improvements

Improvements to the City boulevard would be completed by the applicant at the time of redevelopment (e.g., sidewalks, street tree planting, etc.).

Mature Neighbourhood DPA Guidelines

The applicant has submitted a response to the Mature Neighbourhood Development Permit Area Guidelines, which apply to the proposal under OCP Policy 22.1. The response to the guidelines is attached as Attachment C. Staff consider the submitted response to be in conformance with the Development Permit Guidelines. Figure 2.0 below is a rendering of the proposed duplex development on the subject property.



Figure 2: Rendering of proposed duplex

The applicant has adequately identified how the proposed development (see meets the development permit guidelines by providing the following key aspects:

- a) The individuality of each unit has been achieved through variations in the floor plans, setbacks, window sizes, front door locations, and by using different cladding accent materials.
- b) The site is to be landscaped with plant materials using a variety of evergreen and flowering trees, shrubs, grasses and perennials. The overall result will be the creation of an enhanced streetscape that maintains a strong separation between private and public space in the front yard and exterior side yard.

Advisory Design Panel Review

During the Advisory Design Panel (ADP) meeting on March 15, 2022, the panel recommended that the application for the development proposal at 1091 Stayte Road proceed to Council, subject to consideration of comments pertaining to the following items (see Table 2.0 below; see Attachment D for related ADP meeting minutes):

Table 2: ADP comments and Applicant's responses ADP Comments	Applicant's response
Consider using a different variety of tree and plant species along the property line to reduce the need for a large fence	 The plantings have been revised. The proposed fence does not exceed the zoning bylaw's maximum fence height requirement. It was advised that coordination with the Arborist is required to avoid damaging the tree roots. Notes have been included in the updated Landscape Plan; the posts are to be hand dug under Arborist supervision.
To use colours and elements from the front elevation on the rear elevation.	• The colours and elements on the rear elevation have been revised to match that on the front elevation.
Revise the design to replace the horizontal windows with larger vertical windows.	• The horizontal window has been replaced by a larger window.
To include roughed-in electric vehicle charging infrastructure.	• Plans updated to include a rough-in outlet for EV charging.
Ensuring that minimum setbacks for the RT-1 zone are maintained and no building and/or structure falls within these setbacks.	• The garbage enclosures have been removed from the Site Plan to meet the RT-1 zoning setback requirement.

 Table 2: ADP comments and Applicant's responses

Staff believe the applicant has provided a satisfactory response to the comments noted above.

Tree Management and Protection

As per the OCP, development projects should be designed to preserve and protect mature, healthy trees. The applicant has submitted an arborist report which identifies a total of seventeen (17) "protected trees" which are subject to the provisions of the city's Tree Protection Bylaw, No. 2407 (see Attachment E) There are four on-site trees, seven off-site trees plus six City trees. Table 3.0 below identifies the protected trees, their size, and whether they are proposed for removal or retention. The Table also identifies the value of securities for tree retention and the number and value of replacement trees where removals are proposed.

Tree Ref.	Species	DBH (cm)	Retain / Remove	Security for Retention / Replacement Value	# of Replacements
665 (City)	English Oak	42	Retain	3000	NA
666 (City)	Western Red Cedar	57	Retain	4500	NA
667 (City)	Western Red Cedar	33	Retain	3000	NA
668 (City)	Western Red Cedar	74	Retain	10000	NA
669 (OS)	Douglas Fir	59	Retain	4500	NA
670 (OS)	Western Red Cedar	71	Retain	10000	NA

 Table 3: Summary of Protected Trees tied to the Development

671 (OS)	Western Red Cedar	93	Retain	10000	NA
672 (OS)	Western Red Cedar	90	Retain	10000	NA
673 (OS)	Western Red Cedar	54	Retain	4500	NA
674	Mountain Ash	56	Remove	4500	3
675 (OS)	Western Red Cedar	80	Retain	10000	NA
676 (OS)	Western Red Cedar	37	Retain	3000	NA
677 *	Western Red Cedar*	94	Retain	10000	NA
678	Pacific Dogwood	92	Retain	10000	NA
679 (City)	Paperbark Maple	21	Retain	3000	NA
680 (City)	Paperbark Maple	13	Retain	3000	NA
681	Spruce	54	Remove	4500	3
	Total			107500	6

* This tree is shared with the City

City staff have reviewed the recommendations of the Project Arborist and are comfortable with the proposed tree protection measures and removals subject to the following requirements, noted by the city's Arboricultural Technician, being fulfilled prior to final adoption:

- The emerald cedar hedging shrubs planted on Cliff Avenue will require removal under the Engineering Department's lot servicing permit.
- Trees 677 and 678 will not require pruning for overhead service drop. Hydro will be undergrounded and trenched and will need to be supplied from the power pole on Cliff Avenue siding 1115 Stayte Road.
- The Architect and Engineer will need to approve and sign off that all prescriptions made by the project arborist are feasible.
- Walkways and encroachments on city boulevard must be approved through Engineering. The east pedestrian walkway proposed within the critical root zone of the Dogwood will negatively impact the Pacific Dogwood tree. Additionally, it cannot be supported as there is a city bench and bus stop 56190 on city sidewalk where the proposed pathway is.
- Posting \$107,500 in securities for trees as required by the Tree Protection Bylaw.

Six new trees are proposed as part of the development. All the trees identified on the Tree Retention/Removal Plan in the Arborist report (see Attachment E) have been given their retention/removal recommendation on a preliminary basis. This will be further reviewed upon receipt of an application for a Tree Management Permit (TMP), likely to accompany a future request for demolition of the existing building. Final recommendations will be based upon design/construction and grading details.

FINANCIAL IMPLICATIONS

The following fees would be collected if approved for rezoning and subdivision (Table 4). Note these fees are subject to change:

Table 4: Applicable Development Costs

Fee (per Unit)	Units Subject to Fee	Sub-Total
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City of White Rock Development Cost Charges (DCCs)	\$19,294.76	1	\$19,294.76
TransLink DCCs	\$2,993.00	1	\$2,993.00
Metro Vancouver (Regional) DCCs	\$6,254.00	1	\$6,254.00
Surrey School District School Site Acquisition Charges (SSAC)	\$1,000.00	1	\$1,000.00
		Total	\$29,541.76

COMMUNICATION AND COMMUNITY ENGAGEMENT IMPLICATIONS

A Public Information Meeting (PIM) for this proposal was held on October 8, 2020. One person attended the PIM. A copy of the Applicant's PIM Summary is included in Attachment F. Comments received during the PIM are summarized in Table 5.

Table 5: Comment and Response from PIM Summary

Comment / Question	Applicant's Response
Concern about offsite tree removal and potential damage to the health of the trees with the duplex development.	• An effort to save as many healthy trees as possible, based on the arborist's professional experience and recommendations has been made.
	• The arborist will be present onsite during excavation and construction near TPZ to ensure no damage is done to the trees to be retained.
	• The developer reached out to the neighbours after PIM to obtain permission for off-site tree removal. Since the neighbours declined to provide their permission, the design was revised to retain all offsite trees by incorporating a Screw Pile foundation.

A public hearing will be scheduled if the zoning amendment receives 1st and 2nd reading. This will allow the community to express their thoughts on the proposal to Council.

INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS

The zoning bylaw amendment application was referred to municipal departments for comments. Comments provided to the applicant have been addressed related to this stage of the rezoning proposal.

Approval of the final detailed (civil) designs and the execution of a "Works and Servicing Agreement" to the satisfaction of the Director of Engineering and Operations would be required as a condition of 3rd reading.

The relocation of the east pedestrian walkway would need to be addressed to the satisfaction of the Director of Planning and Development Services. The submission of drawings and final approval of the revised location by city departments would be required as a condition of 3rd reading.

The tree retention requirements would need to be addressed to the satisfaction of the Director of Planning and Development Services. The completion of covenants and the final approval of the applicant's arborist report by the city's Arboricultural Technician is also recommended to be required as a condition of 3rd reading.

CLIMATE CHANGE IMPLICATIONS

The application will enable modest infill within the 'Mature Neighbourhood' designation, thereby lessening the demand for outward sprawl otherwise necessary to accommodate growth.

IMPLICATIONS FOR TREE PRESERVATION AND TREE CANOPY ENHANCEMENT

Tree retention is recognized as a benefit to the uptake of greenhouse gases and reducing factors that contribute to climate change. The subject property contains mature trees subject to the city's Tree Protection Bylaw. Several off-site mature trees border the property line of the subject property and neighbouring property south of the subject property that would be impacted by this development. Staff have made efforts to ensure optimal long-term tree preservation occurs.

ALIGNMENT WITH STRATEGIC PRIORITIES

The proposal is generally aligned with the Corporate Vision established as part of Council's Strategic Priorities, particularly with respect to supporting a community where people can live, work and play in an enjoyable atmosphere.

OPTIONS / RISKS / ALTERNATIVES

The following options are available for the Council's consideration:

- 1. Reject "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 1091 Stayte Road) Bylaw, 2022, No. 2438," or
- 2. Defer consideration of "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 1091 Stayte Road) Bylaw, 2022, No. 2438," and refer the application to staff to address any issues identified by Council.

CONCLUSION

The City has received an application for a zoning bylaw amendment, to allow the construction of a duplex at 1091 Stayte Road. Staff have brought forward a draft Zoning Amendment Bylaw to move the application forward to a Public Hearing. Staff recommend that the Zoning Amendment Bylaw be given first and second reading and that a Public Hearing be scheduled. If Council adopts the zoning amendment bylaw, the subsequent issuance of the Minor Development Permit for the form and character of the duplex would be considered by staff, as the authority is delegated to the City Manager by the Planning Procedures Bylaw. Overall, staff supports the proposal subject to the recommended conditions noted.

Respectfully submitted,

and the

Anne Berry, MCIP, RPP Director, Planning and Development Services

Comments from the Chief Administrative Officer

I concur with the recommendations of this corporate report.

Guillermo Ferrero Chief Administrative Officer

Attachment A: Draft Zoning Amendment Bylaw No. 2438 Attachment B: Architectural and Landscape Drawings Attachment C: Response to Mature Neighbourhood Development Permit Area Guidelines Attachment D: March 15 2022 ADP Meeting Minutes Attachment E: Arborist Report Attachment F: Public Information Meeting (PIM) Summary

The Corporation of the CITY OF WHITE ROCK BYLAW 2438



A Bylaw to amend the "White Rock Zoning Bylaw, 2012, No. 2000" as amended

The CITY COUNCIL of the Corporation of the City of White Rock, in open meeting assembled, ENACTS as follows:

1. Schedule "C" of the "White Rock Zoning Bylaw, 2012, No. 2000" as amended is further amended by rezoning the following lands:

Lot 1 Section 11 Township 1 New Westminster District Plan 14850 (1091 Stayte Road)

PID: 002-267-144

as shown on Schedule "1" attached hereto, from 'RS-1 One Unit Residential Zone' to 'RT-1 Two Unit (Duplex) Residential Zone'.

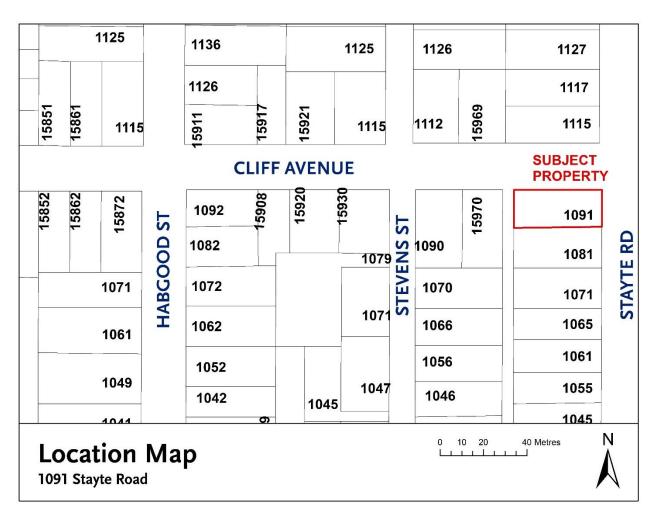
2. This Bylaw may be cited for all purposes as the "White Rock Zoning Bylaw 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2020, No. 2438".

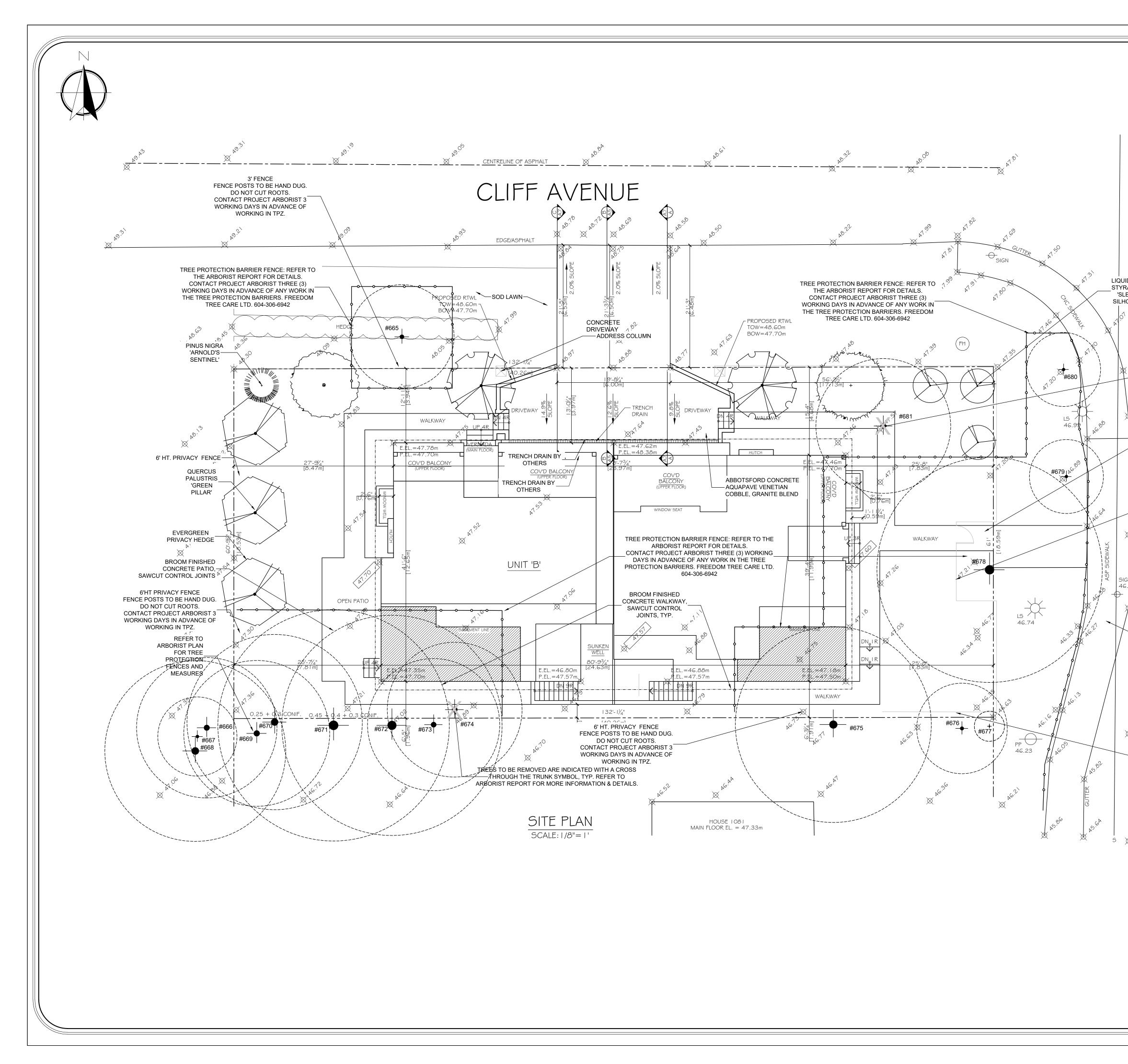
PUBLIC INFORMATION MEETING on the	8^{th}	day of	October, 2020
RECEIVED FIRST READING on the		day of	
RECEIVED SECOND READING on the		day of	
PUBLIC HEARING held on the		day of	
RECEIVED THIRD READING on the		day of	
RECONSIDERED AND FINALLY ADOPTED on the		day of	

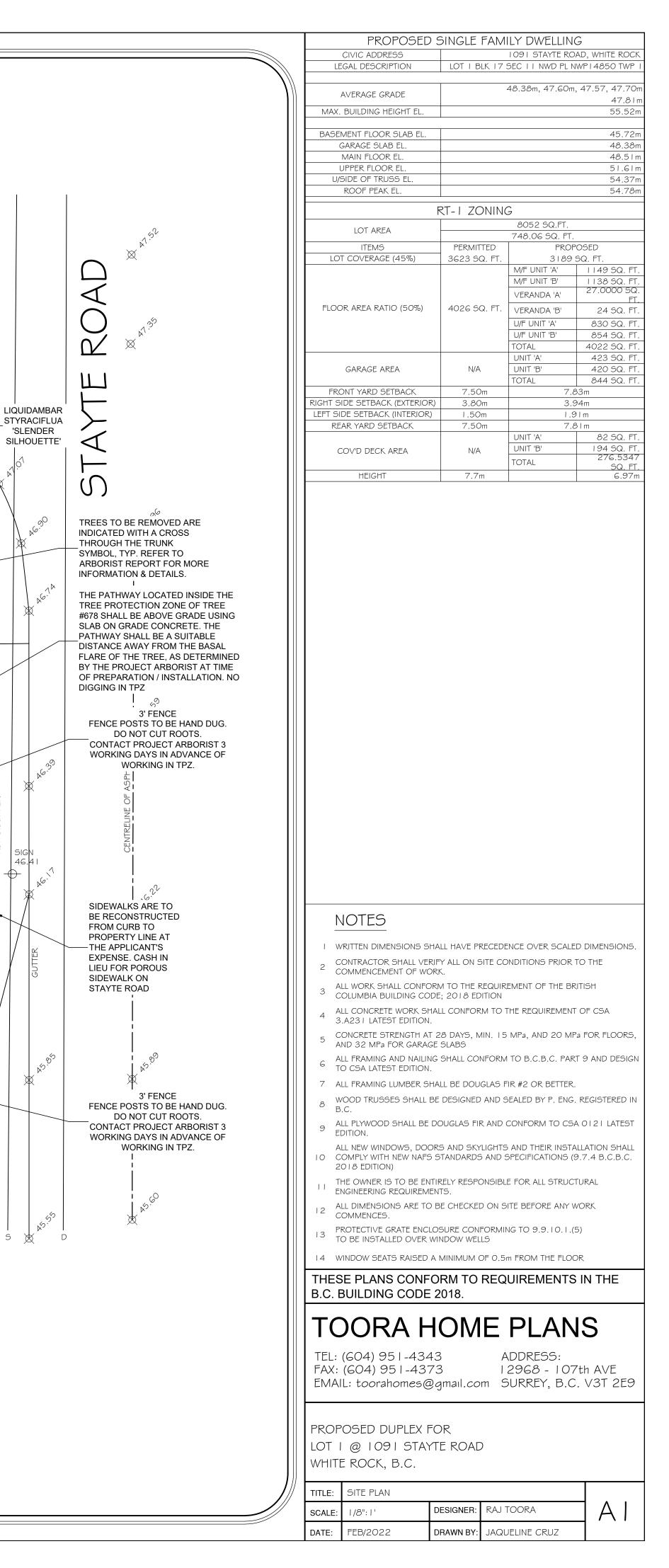
Mayor

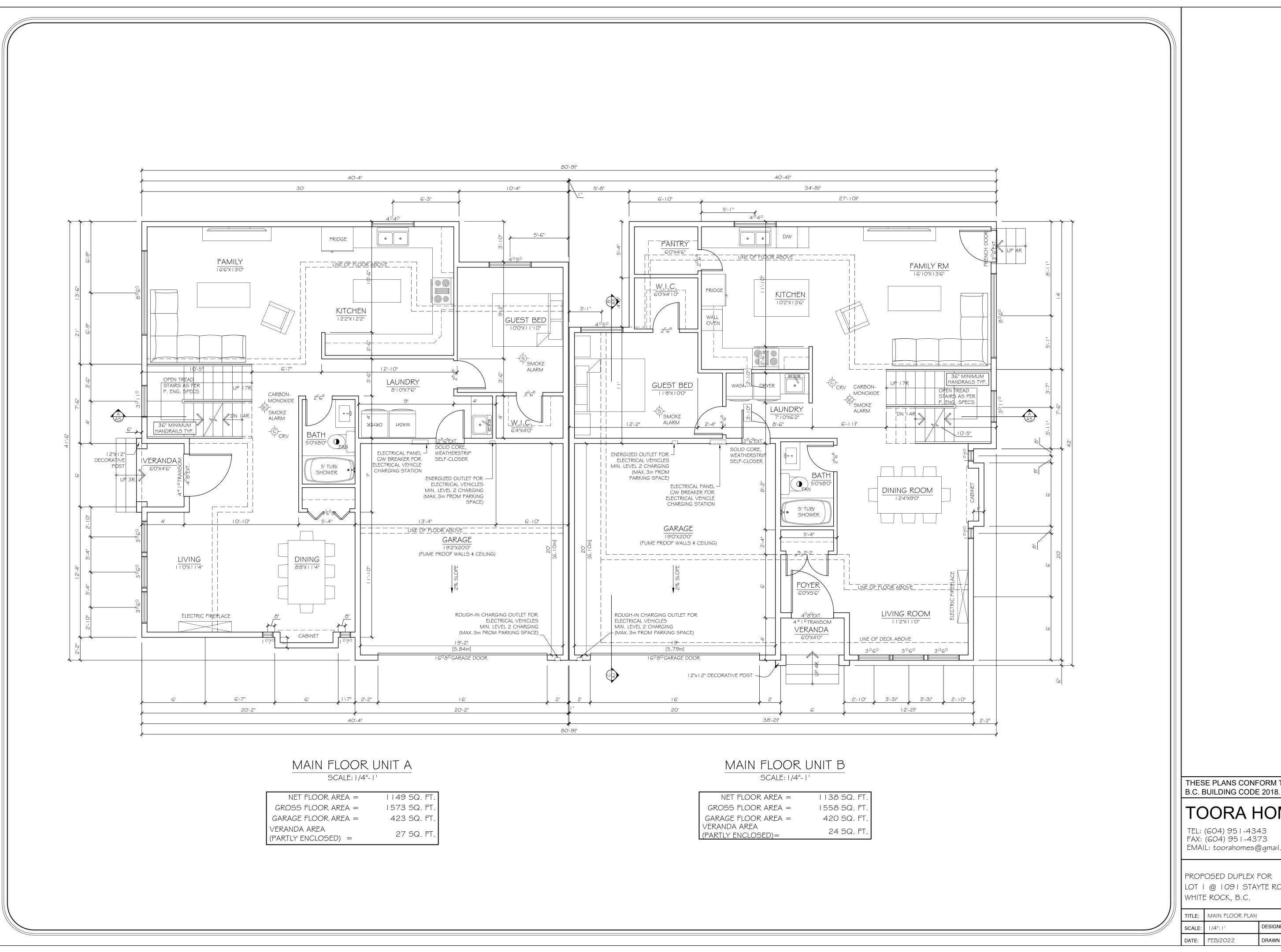
City Clerk

Schedule "1"







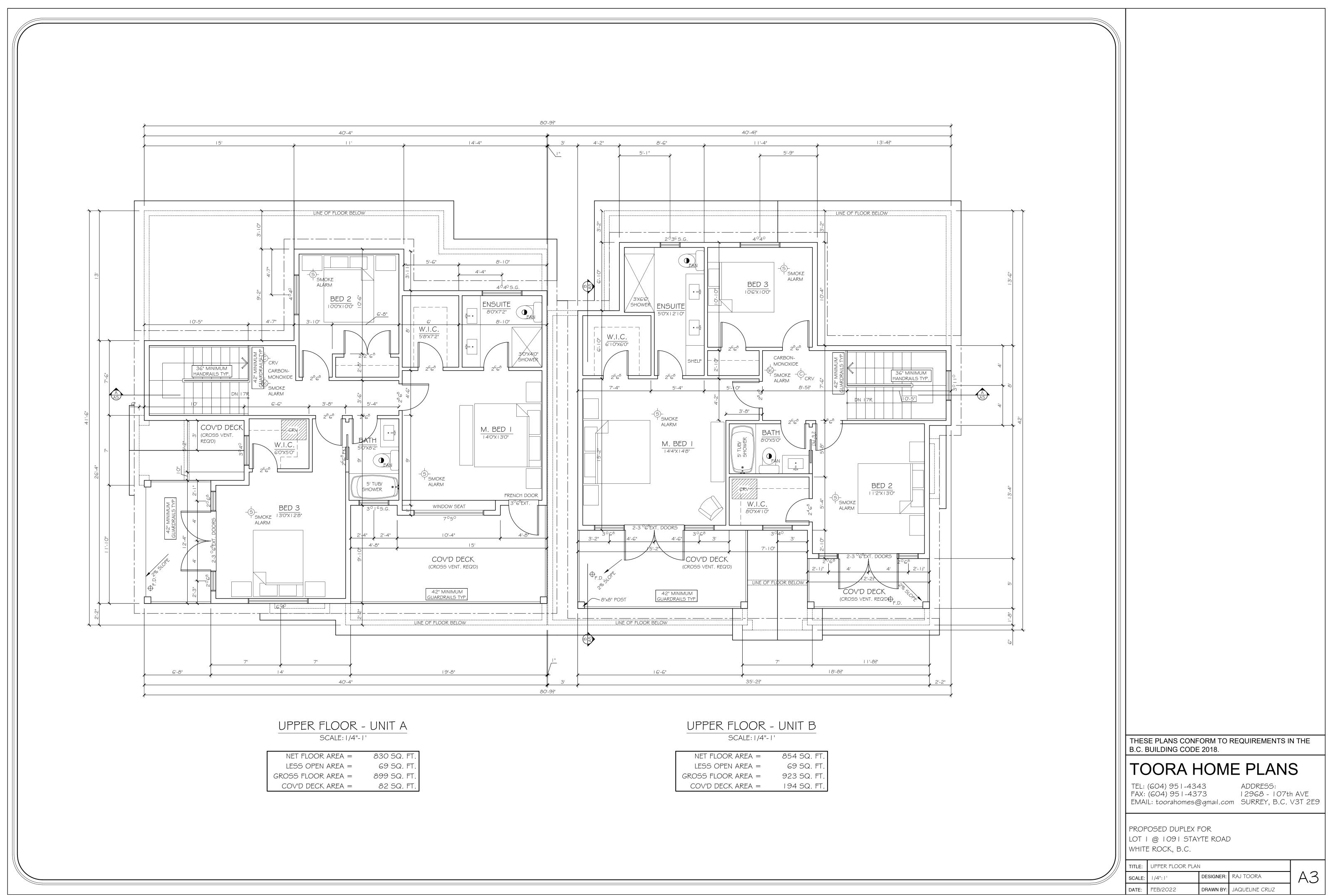


NET FLOOR AREA =	1138 SQ. FT.
GROSS FLOOR AREA =	1558 SQ. FT.
GARAGE FLOOR AREA =	420 SQ. FT.
VERANDA AREA	24 SQ. FT.

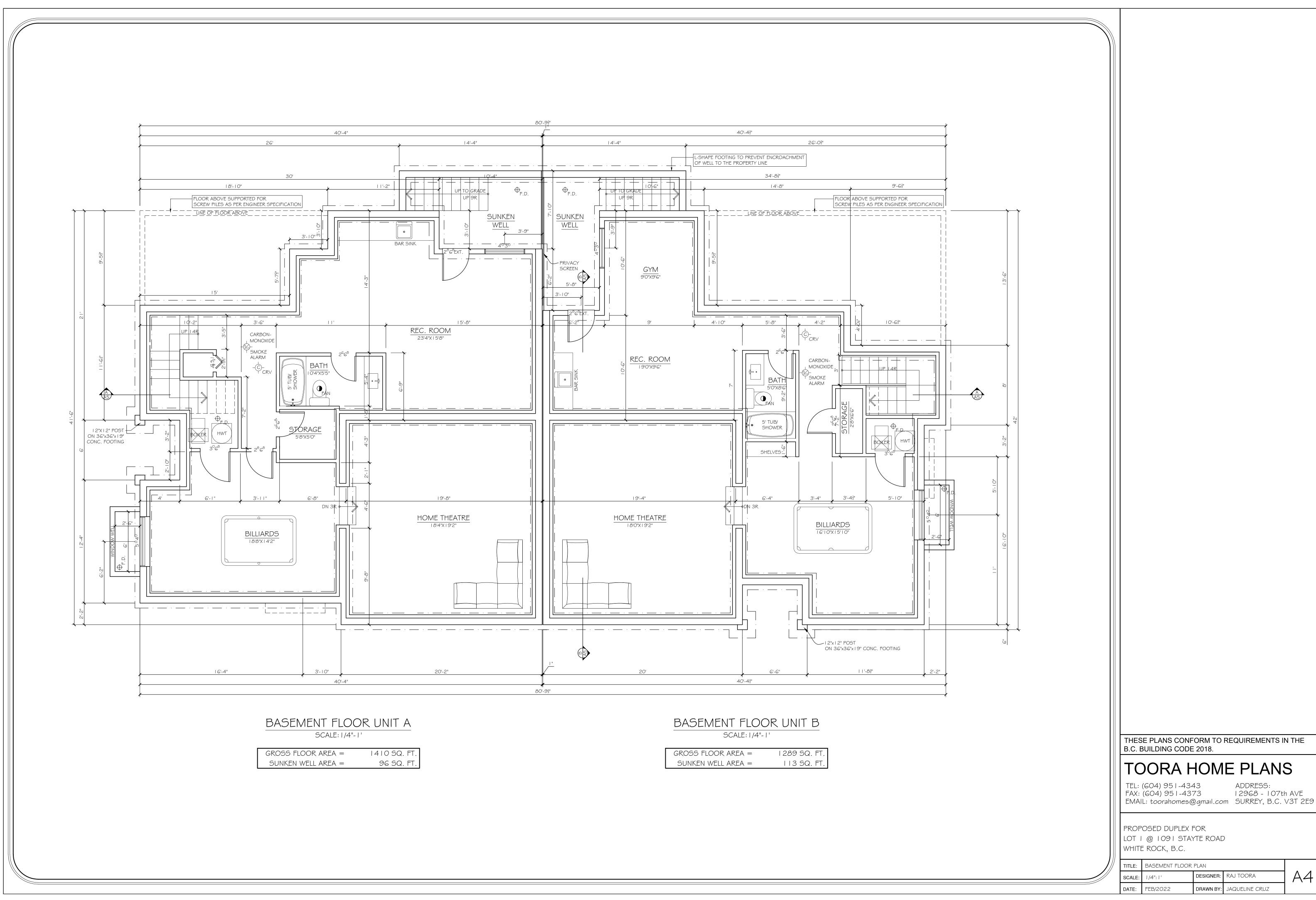
THESE PLANS CONFORM TO REQUIREMENTS IN THE TOORA HOME PLANS ADDRESS: 12968 - 107th AVE EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

LOT I @ 1091 STAYTE ROAD

TLE:	MAIN FLOOR PLAN			
CALE:	/4": '	DESIGNER:	RAJ TOORA	A2
ATE:	FEB/2022	DRAWN BY:	JAQUELINE CRUZ	

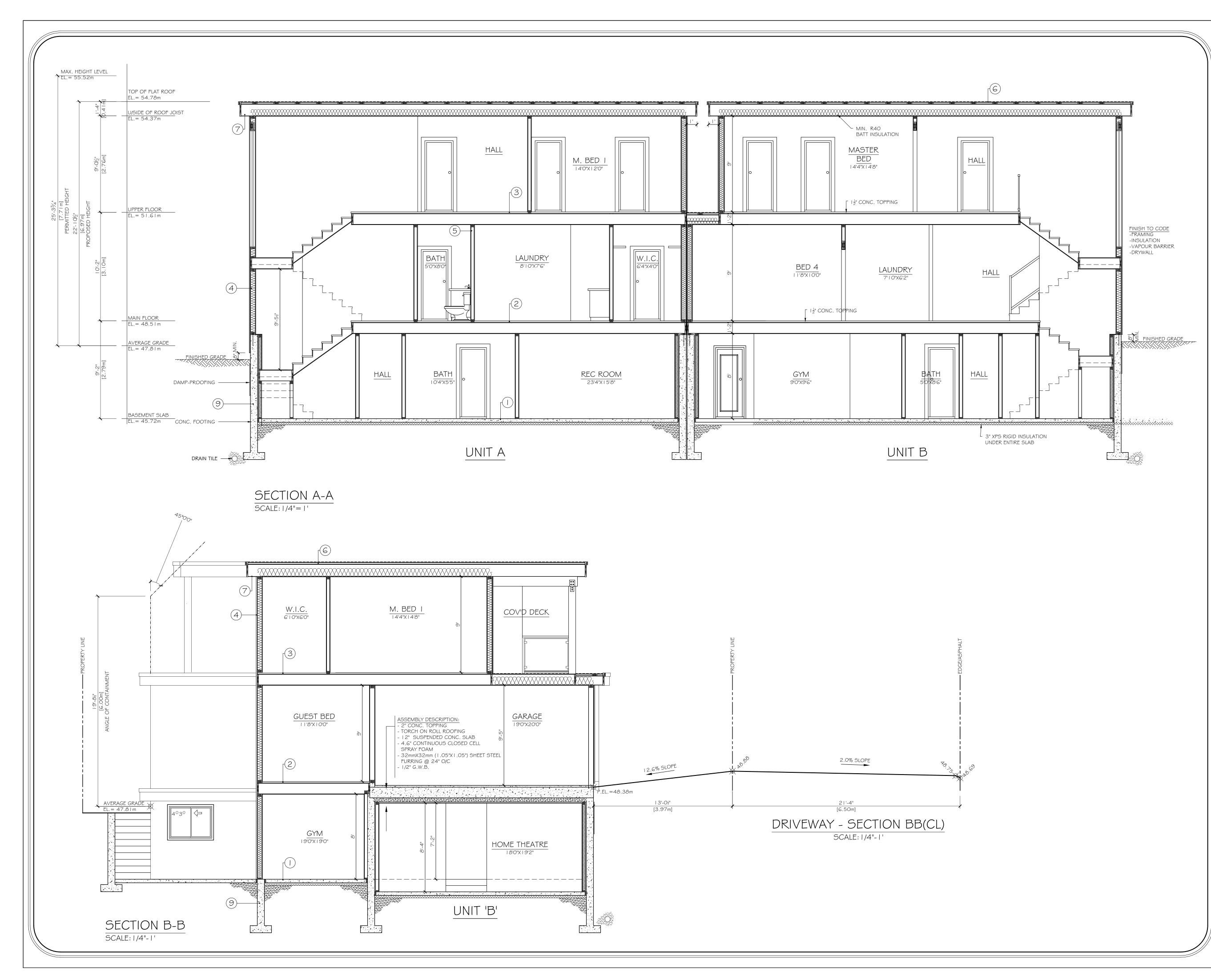


NET FLOOR AREA =	854 SQ. FT.
LESS OPEN AREA =	69 SQ. FT.
GROSS FLOOR AREA =	923 SQ. FT.
COV'D DECK AREA =	194 SQ. FT.

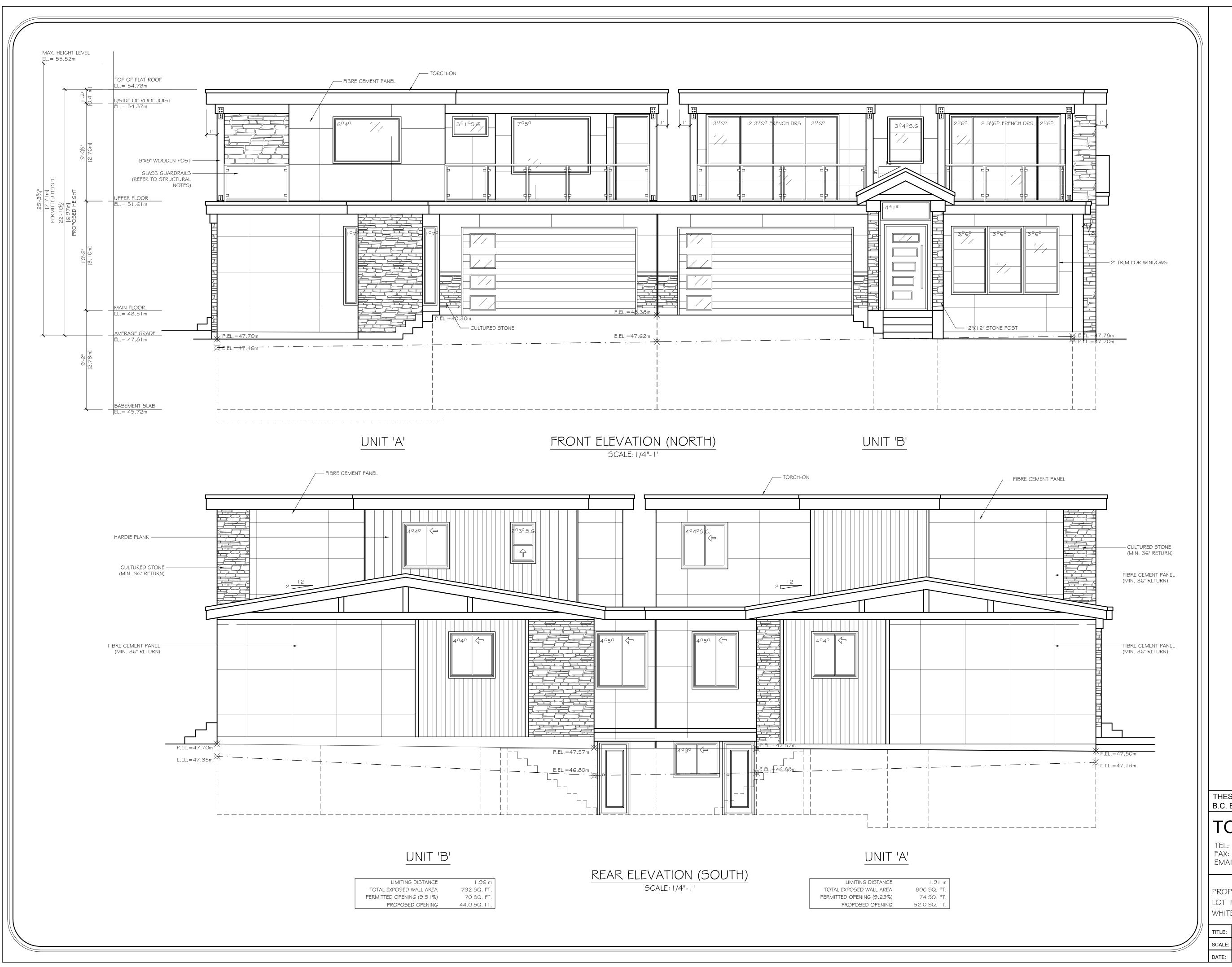


GROSS FLOOR AREA =	1289 SQ. FT.
SUNKEN WELL AREA =	113 SQ. FT.

A4



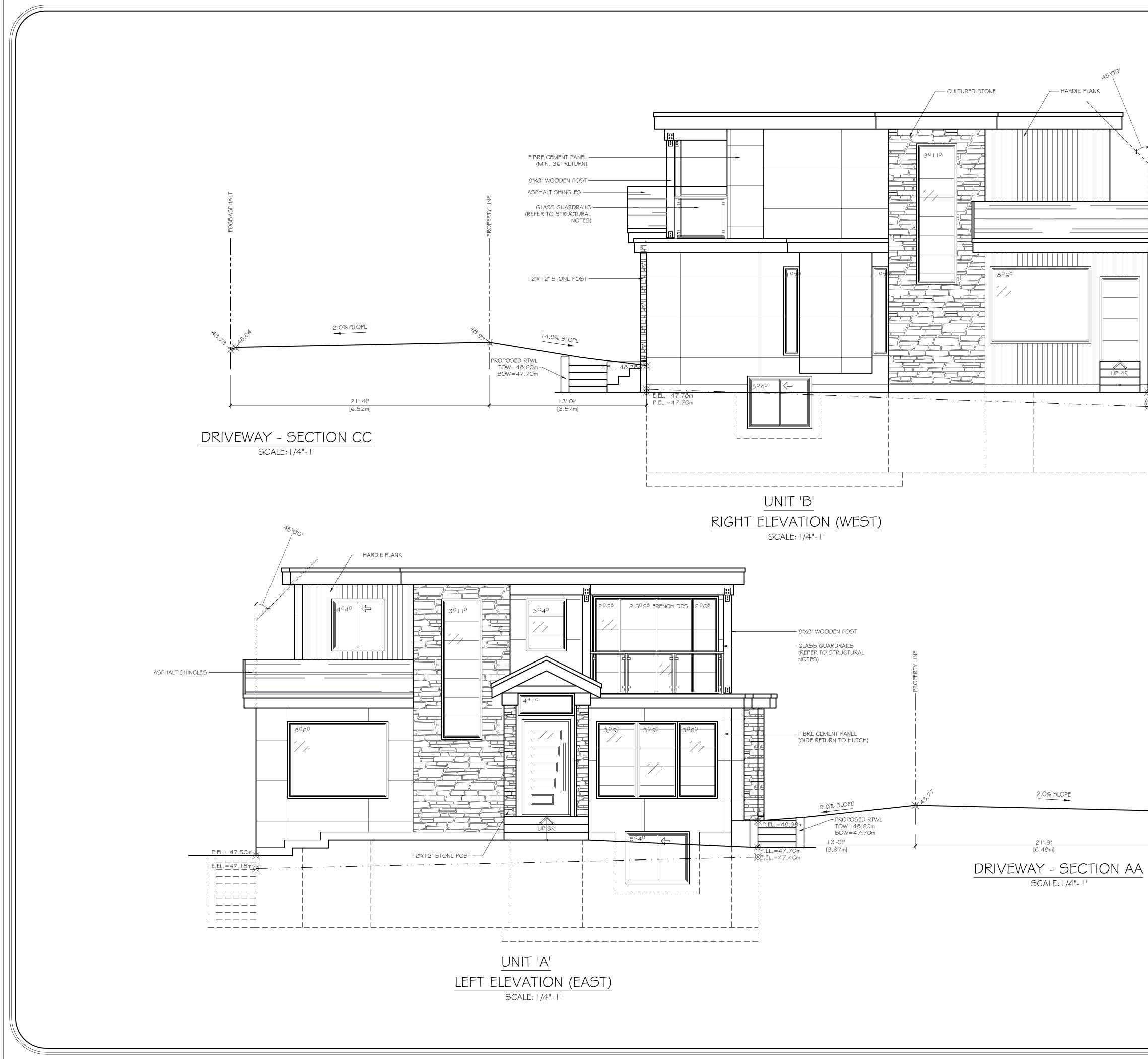
	CONSTRUCTION SPECIFICATIONS				
	1	SLAB - 4" CONC. SLAB			
		- GXG WELDED WIRE N - G MIL. POLY VAPOR	BARRIER		
	2	- 6" MIN. COMPACTED MAIN FLOOR) SAND (TYPICA	AL)	
		- 3/4" T¢G PLYWOOD : - 1 1 -7/8" TJI FL. JST.			
		- CROSS-BRIDGING/ E -1/2" G.W.B.	BLOCKING AS F	ER MFG SPECS	
	3	UPPER FLOOR - 3/4" T&G PLYWOOD S	SUBFLOOR GLI	JED & SCREWED	
		- 11-7/8" TJI FL. JST. - CROSS-BRIDGING/ E	@ I 6" O/C (U.	N.O.)	
	4	- 1/2" G.W.B. EXTERIOR WAL	LS (PRINC	IPAL BUILDING)	
		- STONE, FIBER CEME - 5/8" CAPILLARY AIR :		IARDIE SIDING	
		- AIR BARRIER / SHEA - PRE-PAINTED METAL	FLASHING		
		- 1/2" EXT. GRADE PLY - 2X6 STUDS @ 16" (ь/с (U.N.O.)	HING	
		- R20 BATT INSULATIO - 6 MIL. POLY VAPOR - 1/2" G.W.B.			
	5	INTERIOR PART	ITIONS		
		- 1/2" G.W.B. BOTH S - 2X4 STUDS @ 16" (D/C (U.N.O.)		
	6	(* REFER TO DETAILS	FUR FIRE-RATE	D WALLS)	
		- TORCH-ON ROOF - BUILDING PAPER			
		- 5/8" T¢G PLYWOOD : - TJI JOISTS AS PER S	TRUCTURAL EN	NGINEER DRAWINGS	
		- R40 BATT INSULATIO			
	7	- 5/8" G.W.B. EAVES			
		- INTEGRAL GUTTER S - 2x10 FASCIA BOAR			
		- 2x4 BACK NAILER - METAL SOFFIT WITH			
	8	ATTIC VENTILA		D/H WITHIN 1.2m OF PL	
		- 2' BAFFLE CLEARANG	CE WITH INSUL	ATION STOPS	
	9	FOUNDATION - SEE FOUNDATION D	FTAIL ON STRU	ICTURAL DRAWINGS	
	10	GARAGE SLAB			
		- 2" CONC. TOPPING - TORCH ON ROLL RO			
		 - I 2" SUSPENDED CO - 4.6" CONTINUOUS O SPRAY FOAM 			
		- 32mmX32mm (1.05" FURRING @ 24" O/C		STEEL	
		- 1/2" G.W.B.			
		SE PLANS CONI BUILDING CODI		REQUIREMENTS I	N THE
	T (JORA H	HOM	E PLAN	S
		(604) 95 -43		ADDRESS:	
	FAX: (604) 951-4373 12968 - 107th AVE EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9				
	PROPOSED DUPLEX FOR				
		1 @ 1091 STA)	
		E ROCK, B.C.			
/	TITLE:	SECTIONS			
	SCALE:	/4": '	DESIGNER:	RAJ TOORA	A5
		FEB/2022			-
	DATE:	TLD/2022	DRAWN BY:	JAQUELINE CRUZ	



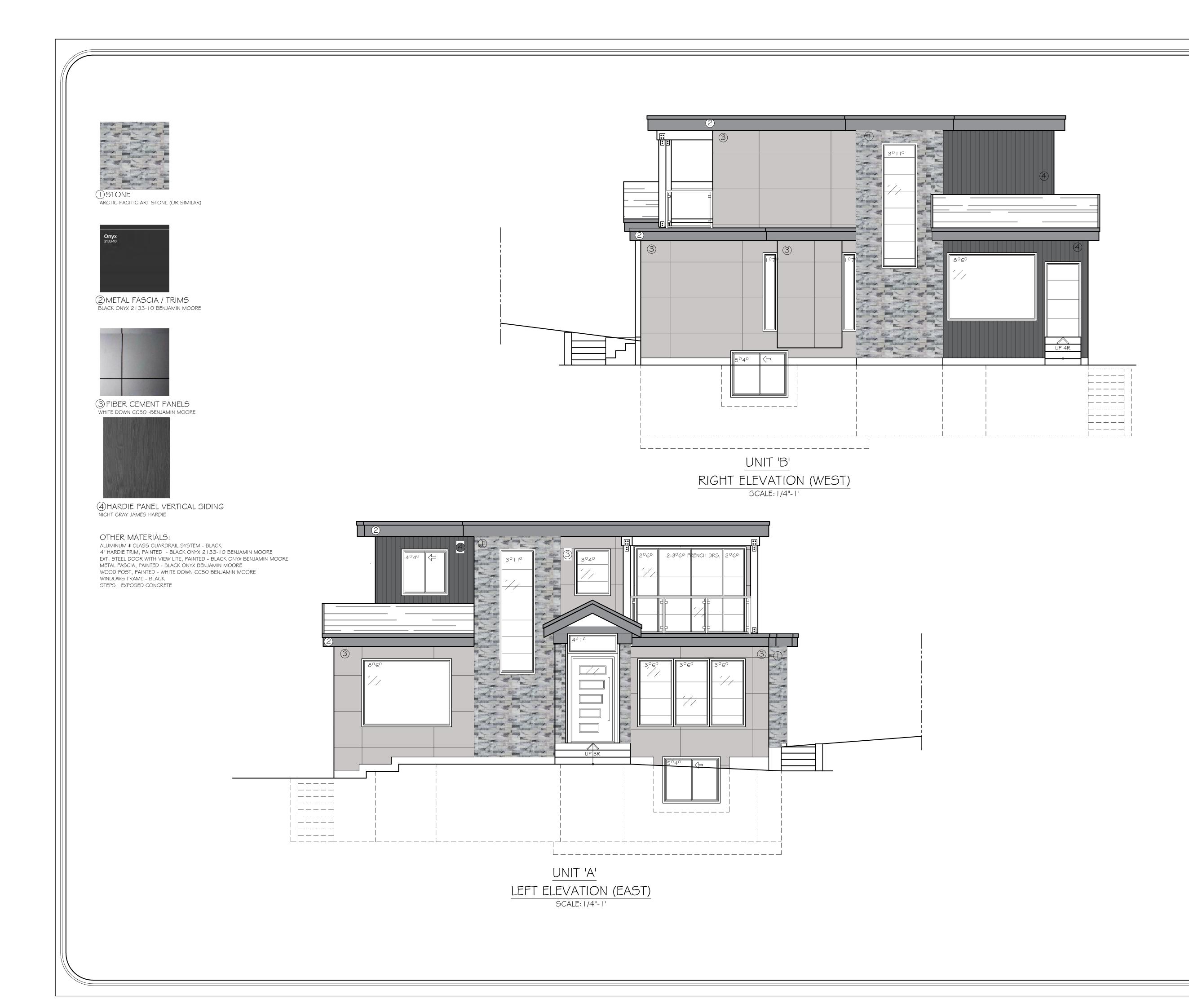
THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2018.
TEL: (604) 951-4343 ADDRESS: FAX: (604) 951-4373 12968 - 107th AVE EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9
PROPOSED DUPLEX FOR LOT I @ 1091 STAYTE ROAD WHITE ROCK, B.C.
TITLE: ELEVATIONS SCALE: 1/4": 1' DESIGNER: RAJ TOORA DATE: FEB/2022 DRAWN BY: JAQUELINE CRUZ
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WHITE ROCK, B.C. TITLE: COLOURED ELEVATIONS SCALE: 1/4": 1' DATE: FEB/2022 DRAWN BY: JAQUELINE CRUZ



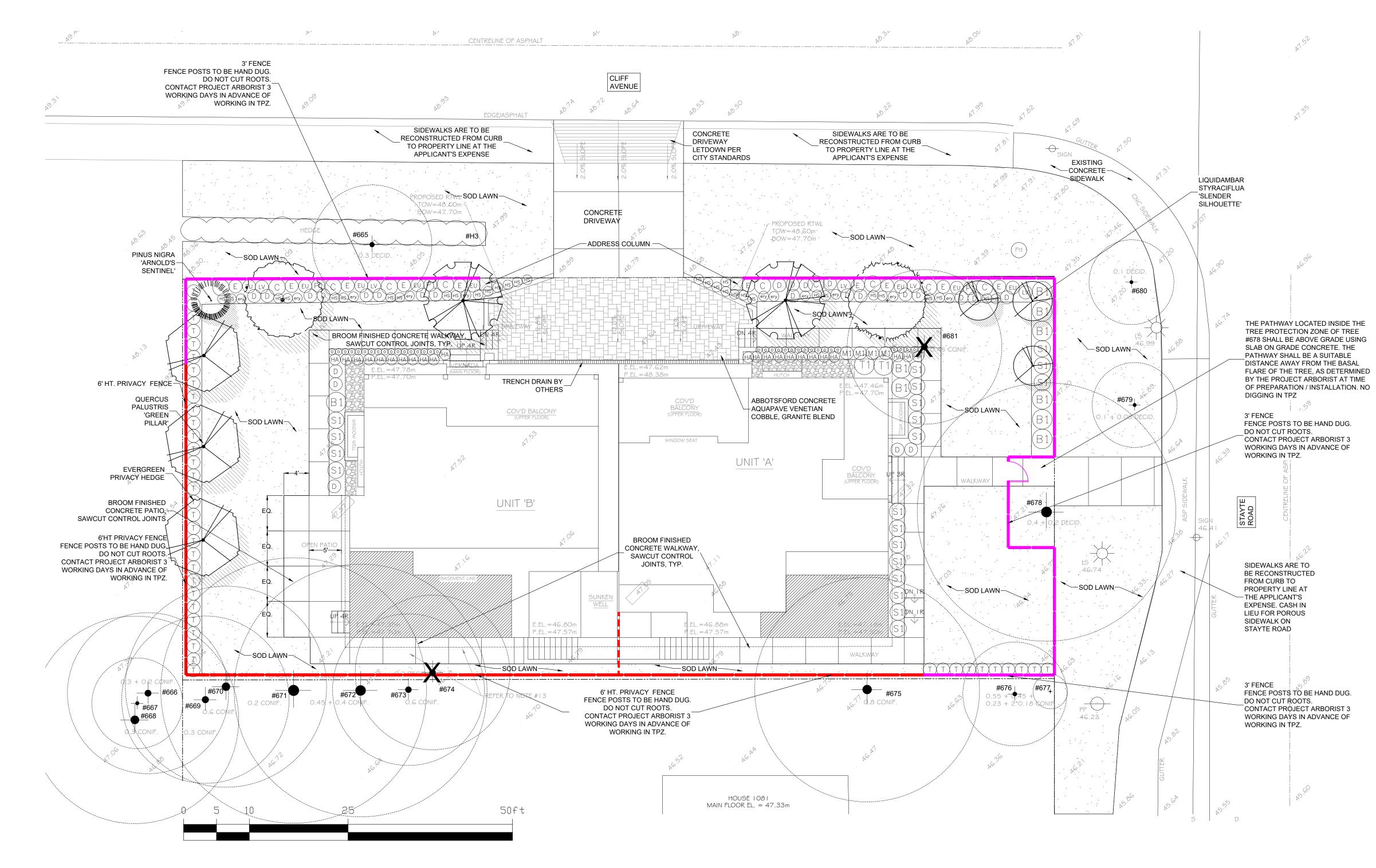
P.EL.=47.70m	
	THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018. TOOORA HOME PLANS TEL: (604) 951-4343 FAX: (604) 951-4343 FAX: (604) 951-4373 EMAIL: toorahomes@gmail.com PROPOSED DUPLEX FOR LOT I @ 1091 STAYTE ROAD WHITE ROCK, B.C. TITLE: ELEVATIONS 4 DETAILS SCALE: AS NOTED DESIGNER: RAJ TOORA DATE: PEJ/2022 DRAWN BY: JAQUELINE CRUZ



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	ТС	ORA	HOM	E PLA	NS
	FAX:	(604) 95 -4 (604) 95 -4	373	ADDRESS: 12968 - 10	
		L: LOORAHOME	b@gmail.co	m SURREY, B	.C. VOI 289
		OSED DUPLEX @ 1091 ST)	
		E ROCK, B.C.			
//	TITLE: SCALE:	COLOURED ELEV	ATIONS	RAJ TOORA	A7.1
	DATE:	FEB/2022	DRAWN BY:	JAQUELINE CRUZ	<u> </u>
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	TEL:	(604) 951-434	43		-
				5URREY, B.C.	
		OSED DUPLEX @ 1091 STA)	
	WHITE	E ROCK, B.C.			
//	TITLE: SCALE:	STREET PROFILE ∉ NTS	RENDERINGS		A8
	DATE:	FEB/2022	DRAWN BY:	JAQUELINE CRUZ	





GINGKO BILOBA 'PRINCETON SENTRY'



QUERCUS PALUSTRIS 'GREEN PILLAR' STYRAX JAPONICUS 'SNOWCONE'



CORNUS KOUSA 'SATOMI'

PINUS NIGRA 'ARNOLDS SENTINEL'



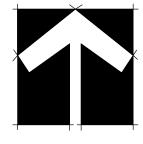
MAGNOLIA GRANDIFLORA 'EDITH BOGUE'

PLA	PLANT SCHEDULE PMG PROJECT NUMBER: 20-008				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	$\begin{array}{c}1\\3\\2\\1\\3\\1\\1\\3\\1\end{array}$	CORNUS KOUSA 'SATOMI' LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETT MAGNOLIA GRANDIFLORA 'EDITH BOGUE' PINUS NIGRA 'ARNOLD SENTINEL' QUERCUS PALUSTRIS 'GREEN PILLAR' STYRAX JAPONICUS 'SNOWCONE'	PINK KOUSA DOGWOOD 'ESLENDER SILHOUETTE SWEETGUM 'EDITH BOGUE' SOUTHERN MAGNOLIA ARNOLD SENTINEL AUSTRIAN BLACK PINE GREEN PILLAR PIN AK SNOWCONE JAPANESE SNOWBELL	6.0CM CAL; B&B 6CM CAL; 2M STD; B&B 6.0CM CAL; B&B 3.0M HT; B&B 6CM CAL; 1.8M STD; B&B 6.0CM CAL; 1.5M STD; B&B	
	9 8 4 20 2 40	BERBERIS THUNBERGII 'ROSE GLOW' EUONYMUS JAPONICUS 'GREEN SPIRE' MAHONIA AQUIFOLIUM SPIRAEA JAPONICA 'GOLDMOUND' TAXUS BACCATA 'FASTIGIATA' THUJA OCCIDENTALIS 'SMARAGD'	ROSE PURPLE FOLIAGE BARBERRY GREEN SPIRE EUONYMUS OREGON GRAPE HOLLY DWARF GOLDMOUND SPIREA COLUMNAR IRISH YEW EMERALD GREEN CEDAR	#3 POT; 40CM #3 POT; 50CM #3 POT; 50CM #3 POT 40CM 1.0M B&B 1.5M HT; B&B	
GRASS COLE & ORE UEZA	10 25 23 32 35	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' DESCHAMPSIA CESPITOSA 'GOLDTAU' HAKONECHLOA MACRA 'ALL GOLD' HELICTOTRICHON SEMPERVIRENS OPHIOPOGON PLANISCAPUS 'NIGRESCENS' ECHINACEA PURPUREA 'WHITE SWAN' ERYNGIUM 'SAPPHIRE BLUE' LAVANDULA STOECHAS 'OTTO QUAST' PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	FEATHER REED GRASS GOLD DEW TUFTED HAIR GRASS GOLDEN JAPANESE FOREST GRASS BLUE OAT GRASS BLACK MONDO GRASS WHITE CONEFLOWER SAPPHIRE BLUE SEA HOLLY SPANISH LAVENDER; PURPLE DWARF RUSSIAN SAGE	#1 POT #1 POT #1 POT #1 POT #1 POT 15CM POT #1 POT 15CM POT	
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.					
REQUIRED REPLACEMENT TREES: 26 (PER ARBORIST REPORT) PROPOSED REPLACEMENT TREES: 12					

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SEAL:



7	22.JUN.27	UPDATE PER CITY COMMENTS	CLG
6	22.APR.21	COMMENTS FROM CLIENT	WZ
5	22.APR.11	UPDATE PER COMMENTS	WZ
4	21.0CT.25	UPDATE PER ARBORIST PLAN	CLG

UPDATE PER NEW SITE PLAN

UPDATE PER NEW SITE PLAN

ISSUED FOR SUBMISSION

REVISION DESCRIPTION

CLG

CLG

CLG

DR.

CLIENT:

21.JUL.13

21.JAN.13

20.FEB.04

NO. DATE

PROJECT:

PROPOSED DUPLEX FOR

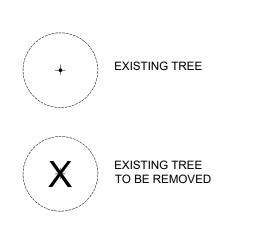
LOT 1 @ 1091 STAYTE ROAD WHITE ROCK

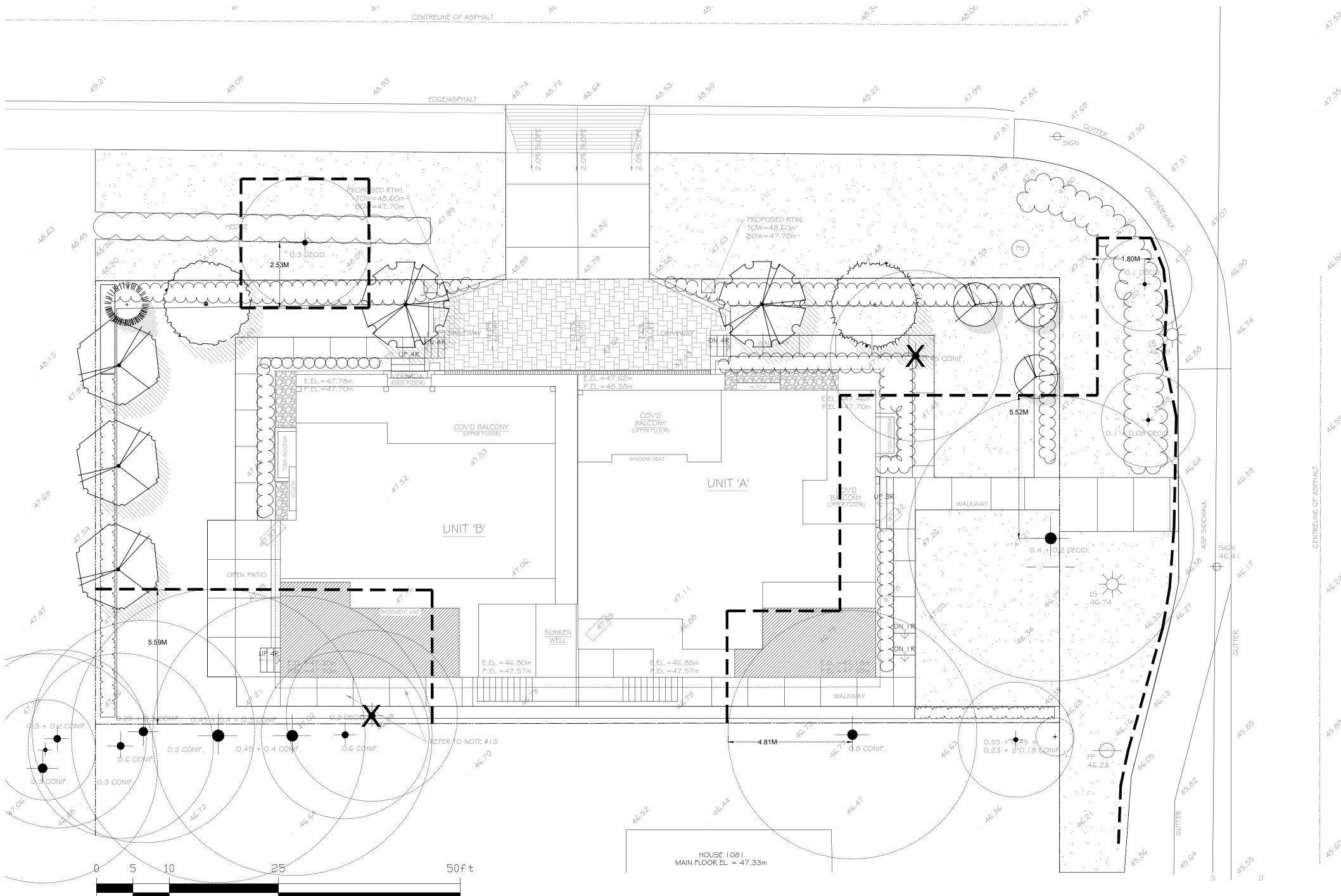
DRAWING TITLE:

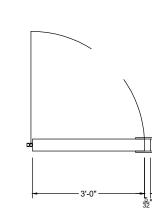
LANDSCAPE PLAN

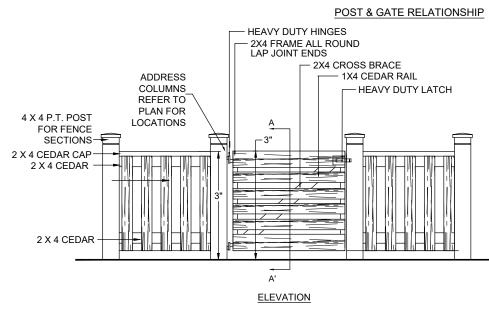
DATE:	20.JAN.17	
SCALE:	1:100	
DRAWN:	CLG	
DESIGN:	CLG	
CHK'D:	РС	

DRAWING NUMBER









36" HT. RAIL FRONTAGE FENCE 1

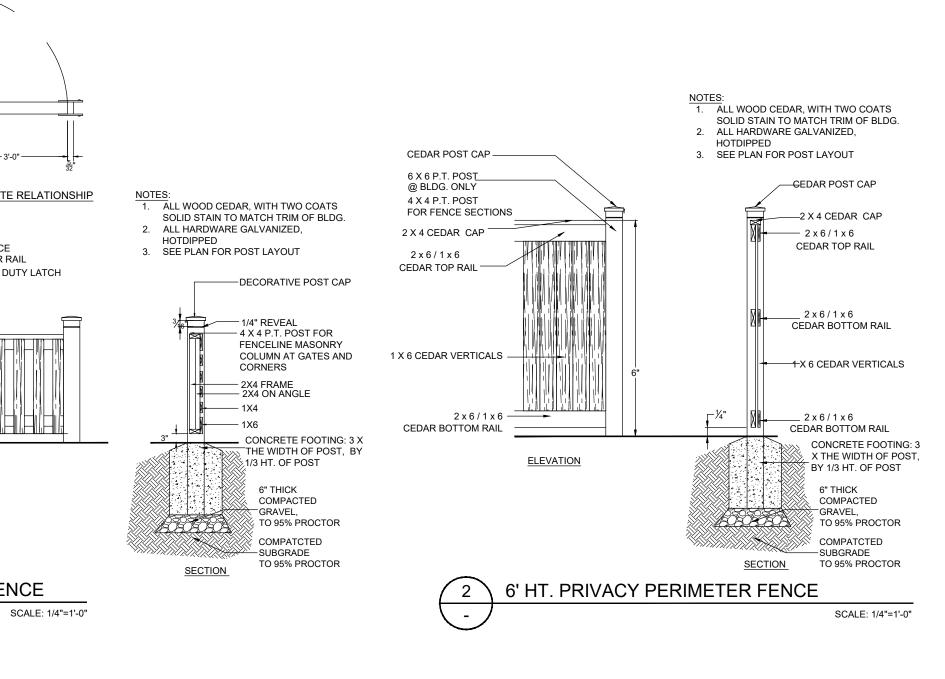










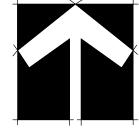


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SEAL:



7	22.JUN.27	UPDATE PER CITY COMMENTS	CLG
6	22.APR.21	COMMENTS FROM CLIENT	WZ
5	22.APR.11	UPDATE PER COMMENTS	WZ
4	21.0CT.25	UPDATE PER ARBORIST PLAN	CLG
3	21.JUL.13	UPDATE PER NEW SITE PLAN	CLG
2	21.JAN.13	UPDATE PER NEW SITE PLAN	CLG
1	20.FEB.04	ISSUED FOR SUBMISSION	CLG
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

PROPOSED DUPLEX FOR

LOT 1 @ 1091 STAYTE ROAD WHITE ROCK

DRAWING TITLE:

TREE MANAGEMENT PLAN

DATE:
SCALE:
DRAWN
DESIGN
CHK'D:

20.JAN.17 1:100 CLG CLG

PC

DRAWING NUMBER:

OF 3

20008-7.ZIP PMG PROJECT NUMBER:

PART ONE GENERAL	REQUIREMENTS			PART THREE SOFT LANDSCAPE DEVELOPMENT
1.1 REFERENCES .1 CCDC Doc 2 2008				 3.1 RETENTION OF EXISTING TREES .1 Prior to any work on site – protect individual trees or plant groupings indicated as retained on lands .1.1 In some instances the Landscape Architect will tag trees or areas to remain. Discuss tree retentic
	eral Conditions of Contract in conjunction with th latest edition, prepared by the Canadian Society		intract Documents. an Landscape & Nursery Association, jointly. All work	.2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier deta
and materials shall meet standards instruction.	s as set out in the Canadian Landscape Standard	unless superseded by this specification	or as directed by Landscape Architect with written	.3 No machine travel through or within vegetation retention areas or under crowns of trees to be reta
.3 MASTER MUNICIPAL SPECIFICAT Association, and the Municipal Engi	· · · · · · · · · · · · · · · · · · ·	red by the Consulting Engineers of Britisl	h Columbia, Roadbuilders and Heavy Construction	 .4 Do not stockpile soil, construction materials, or excavated materials within vegetation retention are .5 Do not park, fuel or service vehicles within vegetation retention areas.
	RRIGATION SYSTEM, 2008: Prepared by the Irrigat	ion Industry Association of British Colum	bia.	.6 No debris fires, clearing fires or trash burning shall be permitted within vegetation retention areas
.5 MUNICIPAL BYLAWS AND ENGIN	VEERING SPECIFICATIONS WHERE NOTED.			.7 No excavations, drain or service trenches nor any other disruption shall be permitted within vegetar the Landscape Architect.
	nonth) test for all growing medium to be used on rchitect. Deliver growing medium test results to		r testing by an independent testing facility oval prior to placement. Refer to Section 3.4 Growing	.8 Do not cut branches or roots of retained trees without the approval of the Landscape Architect.
Medium Testing for procedure.	est or re-test materials. Contractor responsible	e to nav for testino if materials do not m	eet sperification	 .9 Any damage to existing vegetation intended for preservation will be subject to evaluation by an I.S. 1992. .9.1 Replacement planting of equivalent value to the disturbance will be required. The cost of the eval
.3 SUBMITTALS				General Contractor and or the person(s) responsible for the disturbance.
	ng from that contained in the contract document 		e Architect.	.11 In situations where required construction may disturb existing vegetation intended for preservation
4 SITE REVIEW				3.2 GRADES
construction as is necessary in the	ape Architect's Contract with the Owner and whe eir opinion to confirm conformance to the plans a notice. Observation schedule may include but wil	nd specifications. Contact Owners Repres	nated reviewer, the Landscape Architect will observe sentative to arrange for site observation at the	.1 Ensure subgrade is prepared to conform to depths specified in Section 3.5, Growing Medium Supply, t suitable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free
.1.1 Start Up Site Meeting, Genera and municipal requirements.	al Contract: Prior to any site disturbance, a meet	ing with the general contractor to review	tree preservation issues, general landscape issues	.2 On slopes in excess of 3:1 trench subgrade across slope to 150mm (6") minimum at 1.5m (5 ft.) interva
			rintendent and Landscape Contractor; a meeting is to be Contractor. Provide growing medium test results	.3 Scarify the entire subgrade immediately prior to placing growing medium. Re-cultivate where vehicu Ensure that all planting areas are smoothly contoured after light compaction to finished grades.
any single visit. Such elements may	/ include: Site Layout, Rough Grading, Growing M	edium – quality, depths, finish grading; Dr	different aspects of the work may be dealt with on ainage and Drainage Materials; Lawns or Grass areas; actice and layout, tree support; Mulch; Irrigation	.4 Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and con maximum and minimum gradients defined by the Canadian Landscape Standard.
Systems; Play Equipment; Site Furr Fencing, Non-structural walls and	niture; and other elements of the site developme slabs, Unit Paving.	nt where the Landscape Architect is the	designated reviewer such as: Pedestrian Paving,	.5 Construct swales true to line and grade, smooth and free of sags or high points. Minimum slope 2%
	on the declaration of Substantial Performance, a		deficiency list, and recommendations for completion. Certificate of Completion will be made to the Payment	 .6 Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1. .7 Finished soil/mulch elevation at building to comply with municipal requirements.
.1.6 Deficiency Review: Prior to th .1.7 Warranty Review: Prior to th	ne completion of the holdback period, check for co e completion of the waranty period (+/- 11 month		d, a Schedule 'C' will be issed where required. mpletion), review all waranty material and report	.7 Thissed solvinder elevation at building to comply with municipal regul ellents. .8 Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or
recommendations for waranty repla 5 WORKMANSHIP	acement.			 3.3 LANDSCAPE DRAINAGE .1 Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Pl
.1 Unless otherwise instructed in			he General Contractor. Placement of growing medium d are the responsibility of the Landscape Contractor.	.2 Work Included: Site finish grading and surface drainage. Installation of any drainage systems detai coordination only, confirm scope of work prior to bid.
.2 All work and superintendence current license issued by the appro		ape contracting. In addition, all personne	el applying herbicides and/or pesticides shall hold a	 .2.1 Coordinate all landscape drainage work with rest of site drainage, Refer to engineering drawings a .2.2 Determine exact location of all existing utilities and structures and underground utilities prior to
	opriare authornes. me familiar with site conditions before bidding ar	nd before start of work.		so as to prevent interruption of service or damage to them. Protect existing structures and utility ser .2.3 Planter drains on slab: Refer to Section 3.10, Installing Landscapes on Structures.
.4 Confirm location of all services	s before proceeding with any work.			.3 Execution.3.1 Do trenching and backfilling in accordance with engineering details and specifications.
	any discrepancies. Obtain approval from Landsc			 .3.2 Lay drains on prepared bed, true to line and grade with inverts smooth and free of sags or high pulength. .3.3 Commence laying pipe at outlet and proceed in upstream direction.
.6 Take appropriate measures to guidelines.	avoid environmental damage. Do not dump any w	aste materials into water bodies. Contor	rm with all federal, provincial and local statutes and	.3.4 Lay perforated pipes with perforations at 8pm and 4pm positions..3.5 Make joints tight in accordance with manufacturer's directions.
.7 Collect and dispose of all debr are to be completed prior to final a		ions. Keep paved surfaces clean and rep	air damage resulting from landscape work. Repairs	 .3.6 Do not allow water to flow through the pipes during construction except as approved by Engineer. .3.7 Make watertight connections to existing drains, new or existing manholes or catchbasins where inc. .3.8 Plug upstream ends of pipe with watertight clean out caps.
.8 Where new work connects with	n existing, and where existing work is altered, ma	ke good to match existing undisturbed co	undition.	 .3.9 Surround and cover pipe with drain rock in uniform 150mm layers to various depths as shown in de .3.10 Cover drain rock with non-woven filter cloth lap all edges and seams minimum 150mm. .3.11 Assure positive drainage.
.6 WARRANTIES .1 Guarantee all materials and wo	orkmanship for a minimum period of one full year	from the date of Certificate of Completio	In.	.3.17 Assure positive dramage..3.12 Back fill remainder of trench as indicated..3.13 Protect subdrains from floatation during installation.
.2 Refer to individual sections for	r specific warranties.	·		3.4 GROWING MEDIUM TESTING .1 Submit representative sample of growing medium proposed for use on this project to an independen
PART TWO SCOPE OF	FWORK			placing. Test results to include: .1.1 Physical properties, % content of gravel, sand, silt, clay and organics.
2.1 SCOPE OF WORK				 Acidity PH and quantities of lime or sulphur required to bring within specified range. Nutrient levels of principle and trace elements and recommendations for required soil amendments Carbon/Nitrogen level.
	ay apply. Confirm Scope of Work at time of tend lated items and performing all operations necess		with the drawings and specifications and generally	3.5 GROWING MEDIUM SUPPLY AND PLACEMENT .1 Supply all growing medium required for the performance of the Contract. Do not load, transport or
consists of the following: .2.1 Retention of Existing Trees w	vhore chown on drawings			damaged. .2 Supply all growing medium admixtures as required by the soil test. Amended growing medium must n
.2.2 Finish Grading and Landscape .2.3 Supply and placement of grow	e Drainage. wing medium.			various areas. .2.1 Thoroughly mix required amendments into the full depth of the growing medium.
	medium and/or site topsoil, additives to meet requirements of soil test and 1 , supply of plant material and planting.	Table One.		.2.2 Special mixes may be required for various situations. Refer to drawing notes for instructions..3 Place the amended growing medium in all grass and planting areas. Spread growing medium in unifor
.2.7 Preparation of rough grass a .2.8 Preparation of lawn areas, s	areas, supply of materials and seeding. upply of materials and sodding.			standing water. .4 Minimum depths of growing medium placed and compacted to 80%:
.2.11 SEPARATE PRICE: Establishm	seeded/sodded areas until accepted by Owner. nent Maintenance, Section 3.11.			.4.1 On-grade: .4.1.1 Seeded and sodded lawn
	n this list, not specified by Landscape Architect.			.4.1.2 Mass planted shrubs & groundcovers
2.2 MATERIALS .1 Growing Medium: Conform to Ca	nadian Landscape Standard for definitions of imp	ported and on-site topsoil. Refer to Tabl	e One below.	sides. .4.2 On-Slab: .4.2.1 Irrigated lawn
	DWING MEDIUM FOR LEVEL 2 GROOMED AND LEVEL cation Textural Class: "Loamy Sand" to "Sandy L			.4.2.2 Groundcover areas
Applications	Low Traffic Areas. Trees and Large Shrubs	High Traffic Lawn Areas	Planting Areas and Planters	.4.2.4 Shrub & groundcover areas
Growing Medium Types Texture	2L	2H Percent Of Dry Weight of Total Grow	2P	.4.2.7 Maximum 18" depth growing medium except where mounded for trees over column points.
Coarse Gravel: larger than 25mm	0 - 1%	0 - 1%	0 - 1%	 .5 Manually spread growing medium/planting soil around existing trees, shrubs and obstacles. .6 In perimeter seeded grass areas, feather growing medium out to nothing at edges and blend into ex
All Gravel: larger than 2mm	0 - 5%	0 - 5%	0 - 5%	.7 Finished grades shall conform to the elevations shown on landscape and site plans.
Sand:		ercent Of Dry Weight of Growing Medium (3.6 ROUGH GRASS AREA – SEEDING .1 General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined a
larger than 0.05mm smaller than 2.0mm	50 - 80%	70 - 90%	40 - 80%	boulevards to edge of roads and lanes.
Silt: larger than 0.002mm smaller than 0.05mm	10 - 25%	0 - 15%	10 - 25%	 .2 Preparation of Surfaces: To Canadian Landscape Standard Class 3 Areas (Rough grass) Section 7.1. .2.1 Clean existing soil by mechanical means of debris over 50mm in any dimension. .2.2 Roughly grade surfaces to allow for maintenance specified and for positive drainage.
Clay: smaller than 0.002mm	0 - 25%	0 - 15%	0 - 25%	.3 Time of Seeding: Seed from early spring (generally April 1st) to late fall (September 15th) of each y
Clay and Silt Combined	maximum 35%	maximum 15%	maximum 35%	Architect. .4 Seed Supply & Testing: All seed must be obtained from a recognized seed supplier and shall be No.
Organic Content (coast): Organic Content (interior):	3 - 10% 3 - 5%	3 - 5%	10 - 20% 15 - 20%	.4.1 Analysis of the seed mixture .4.2 Percentage of each seed type
Acidity (pH): Drainage:	6.0 - 7.0 Percelation shall be such that no standing	6.0 - 7.0	4.5 - 6.5 st 10 minutes of moderate to heavy rain or irrigation.	.5 Seed Mixture: All varieties shall be rated as strong performers in the Pacific Northwest and are su 70% Creeping Red Fescue
	inorganic compound containing Nitrogen (N), Phos			20% Annual Rye 5% Saturn Perennial Rye 5% Kontuku Bluggassa
-	stone. Meet requirements of the Canadian Lands		. ,	5% Kentucky Bluegrass For Wildflower Areas use a mixture of Wildflowers with Hard Fescues (Terralink Coastal Wildflow
	ompost product to the requirements of the Cana er Garden Products, Fraser Richmond Soils & Fibi		and pre-approved by the Landscape Architect.	.6 Fertilizer: Mechanical seeding: Apply a complete synthetic slow-release fertilizer with maximum 35% sulphur urea coated , 112 kg/ha(100lbs/acre) using a mechanical spreader.
	id to meet requirements of the Canadian Landsca			.7 Seeding: Apply seed at a rate of 112k/H (100lbs /acre) with a mechanical spreader. Incorporate see
.6 Composted Bark Mulch: 10mm (extraneous matter. Fresh orange	(3/8") minus Fir/Hemlock bark chips and fines, fro in colour bark will be rejected.	ee of chunks and sticks, dark brown in col	lour and free of all soil, stones, roots or other	.8 Acceptance: Provide adequete protection of the seeded areas until conditions of acceptance have b 3.7 HYDROSEEDING
-		ocal statutes. Appliers must hold currer	nt licenses issued by the appropriate authorities in	.1 May be used as an alternate to mechanical seeding in rough grass areas.
.8 Filter Fabric: A non biodegrada		ll allow the passage of water but not find	e soil particles. (Such as MIRAFI 140 NL, GEOLON N40	 .2 May not be used in areas of lawn unless pre-approved by the Landscape Architect prior to bidding. .3 Preparation and Growing Medium:
OR AMOCO 4545 or alternate produ	uct pre-approved by the Landscape Architect.) hedule 40 PVC nominal sizes.			 .3 Preparation and drowing medium: .3.1 In areas of Rough Grass: Comply with Section 3.6 Rough Grass. .3.2 Where approved for use in areas of lawn, comply with Section 3.8 Lawn Areas: Sodding.
	redule 40 PVC nominal sizes. 	containing no material smaller than 10mm	1.	.4 Protection: Ensure that fertilizer in solution does not come in contact with the foliage of any trees objects not expected to grow grass. Protect existing site equipment, roadways, landscaping, reference
.11 Plant Material: To the require free nursery. Provide proof of cer		fer to 3.9, Plants and Planting. All plant	material must be provided from a certified disease	contamination occurs, remove seeding slurry to satisfaction of and by means approved by the Landscape
.12 Sod: Refer to individual section				.5 Mulch shall consist of virgin wood fibre or recycled paper fibre designed for hydraulic seeding and d for wood fibre substitute use 135% (by weight). Conform to Canadian Landscape Standard for mulch requ
		<i>J</i>	gs for all walls, individually, in excess of 1.2m, or Engineer; inlcude cost of engineering services in	.6 Water: Shall be free of any impurities that may have an injurious effect on the success of seeding
Tender price.				.7 Equipment: Use industry standard hydraulic seeder/mulcher equipment with the tank volume certifi equipment. The hydraulic seeder/mulcher shall be capable of sufficient agitation to mix the material into

.14 Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

.7 Equipment: Use industry standard hydraulic seeder/mulcher equipment with the tank volume cer equipment. The hydraulic seeder/mulcher shall be capable of sufficient agitation to mix the material i until it is applied. The discharge pumps and gun nozzles shall be capable of applying the materials u

	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE
ned on landscape plans as vegetation retention areas. The retention areas at a start-up meeting with the Landscape Architect. Dearrier detail. If detail not provided, comply with local municipal requirements. Is to be retained is allowed.	 .8 Application Rate: .8.1 Seed Mixture: 136 kg/ha (125 lbs/acre) .8.2 Fertilizer: 112 kg/ha (100 lbs/acre) .8.3 Coastal Wildflower Mix: Where specified, apply (31 lbs/acre) (1/4 lb.: 1 lb. of grass seed) .8.4 Notes: .8.4.1 At the time of Tender provide a complete chart of all components of the mix proposed including mulch, tackifier, water etc. Sloped sites require tackifier. .8.4.2 Fertilizer: .8.4.2 Fertilizer: .8.4.2.1 Rough Grass: If a soil analysis is available, comply with results. 	.18.4 For all plan and growth is not .18.5 Where the C The Landscape Arc maintenance stand .18.6 The Landsc. the Certificate of .18.7 Deviation fr
ition areas.	.8.4.2.2 Lawn: Where hydroseeding is approved, comply with soil analysis recommendations. .9 Accurately measure the quantities of each of the materials to be charged into the tank either by mass or by a commonly accepted system of mass-calibrated volume measurements. The materials shall be added to the tank while it is being filled with water, in the following sequence; seed, fertilizer. Thoroughly mix into a homogenous slurry. After charging, add no water or other material to the mixture. Do not leave slurry in the tank for more than four (4) hours.	3.10 INSTALLING LANDS .1 Verify that dra
hin vegetation retention areas without a review of the proposed encroachment by	.10 Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surfaces.	.2 Coordinate wor .2.1 Verify that p
rchitect.	.11 Clean up: Remove all materials and other debris resulting from seeding operations from the job site. .12 Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week	.3 Provide clean c .4 Install drain ro
n by an I.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, of the evaluation and of the replacement planting will be the responsibility of the	intervals where gremination has failed. Protect seeded areas from damage with temporary wire or twine fences complete with signage until grass area is taken over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain vigorous growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contract.	.5 Cover drain roo placing growing mee
ylaws. reservation, contact Landscape Architect for review prior to commencing	.13 Acceptance of the Rough Grass Areas: Proper germination of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds (to Canadian Landscape Standard, Section 13 Maintenance Level 4 (Spen space). Sixty days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in Fall will be accepted in Spring one month after start of growing season, provided that the above conditions for acceptance are fulfilled.	.6 Place an even l .7 Place growing r Use Styrofoam bloo migrating downward
m Supply, below. Where planting is indicated close to existing trees, prepare inate free standing water and conform to the site grading and drainage plan.	 3.8 LAWN AREAS - SODDING .1 General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of roads and lanes. 2. General: Modile - General with General and Gener	3.11 ESTABLISHMENT M/ .1 Intent: The int- the long term succe
ft.) intervals minimum. nere vehicular traffic results in compaction during the construction procedures.	 .2 Growing Medium: Comply with Section 2.2.1, Growing Medium. Prior to sodding, request an inspection of the finished grade, and depth and condition of growing medium by the Landscape Architect. .3 Time of Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect. 	failure and unneces turfgrass areas an
des. ace and conform to grades shown on the Landscape Drawings. Do not exceed	.4 Sod Supply: Conform to all conditions of Canadian Landscape Standard, Section 8, B.C. Standard for Turfgrass Sod.	.2 Maintenance Pe .3 Related Standa
n slope 2%, maximum side slopes 10%. Assure positive drainage to collection points.	.5 Specified Turfgrass by area: Refer to Table 2 below. TABLE 2 SPECIFIED TURFGRASS BY AREA	.4 Site Review: Ir reviews during the
ngs 2:1.	Area Description Quality Grade Major Species CLASS 1 Lawn, all areas noted on drawings as lawn in urban No. 1 Premium Kentucky Blue for sun, Fescues for shade	designated represe .5 Scheduling: Pro
, plants or mulch.	development sites including boulevard grassNo. 2 StandardCLASS 2Grass - public parks, industrial and institutional sitesNo. 2 StandardCLASS 3Rough Grasssee hydroseeding	.5 Streduting: Pr the growing season .6 Maintenance Le
icovers, Planters, Crib Walls.	SPECIAL .6 Lime: The lime shall be as defined in Section 2.2.3, Materials. Apply at rates recommended in required soil test. Refer to Section 3.4 for method.	.7 Materials: Comp .7.1 Fertilizers: T
tems detailed on landscape plans. Note: Catch basins shown on landscape plans for drawings and specifications for connections and other drainage work.	.7 Fertilizer: Refer to Section 2.2.2 Materials. Apply specified fertilizer at rates shown in the required soil test. Apply with a mechanical spreader. Cultivate into growing	.8 Plant Material .8.1 Watering: Du
es prior to commencing work, which may not be located on drawings and conduct work utility services and be responsible for damage caused.	medium 48 hours prior to sodding. Apply separately from lime. .8 Sodding: Prepare a smooth, firm, even surface for laying sod. Lay sod staggered with sections closely butted, without overlapping or gaps, smooth and even with adjoining areas and roll lightly. Water to obtain moisture penetration of 3" to 4" (7 – 10cm). Comply with requirements of Canadian Landscape Standard Section 8, BC Standard for Turfgrass Sod.	and September 15th and once between A medium. Apply wate or has not been con .8.2 Mulch: Mainta
s or high points. Ensure barrel of each pipe is in contact with bed throughout full	.9 Maintenance: Begin maintenance immediately after sodding and continue for 60 days after Substantial Completion and until accepted by the Owner. Protect sodded areas from damage with temporary wire or twine fences complete with signage until lawn is taken over by the Owner. Water to obtain moisture penetration of 3" to 4" (7-10cm) at intervals necessary to maintain sufficient growth. Keep grass cut at height of between 1-1/2" (4cm) and 2" (5cm). Provide adequate protection of sodded areas against damage until the turf has been taken over by Owner. Repair any damaged areas, re-grade as necessary. Aeration may be required if in the Landscape Architect's opinion, drainage through the sod base medium is impaired.	.8.3 Weed Control necessary, by the u .8.4 Pest and Dise person. Carry out t .8.5 Tree Support bark. Loosen, repa
y Engineer. s where indicated or as directed by Landscape Architect. hown in details, minimum 100mm.	.10 Acceptance of Lawn Areas: The turf shall be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of weeds (to Canadian Landscape Standard, Section 13 Maintenance Level 2 (Appearance). Use herbicides if necessary for weed removal unless other conditions of contract forbid their use. After the lawn has been cut at least twice, areas meeting the conditions above will be taken over by the Owner.	the opinion of the L .8.6 Pruning: Insp of the plant. Carry .8.7 Fertilizing: O .9 Grass Areas Es
	3.9 PLANTS AND PLANTING .1 Conform to planting layout as shown on Landscape Plans.	.9.1 Watering: Us Lawns and Grasses installation at no e
ndependent laboratory. Provide test results to Landscape Architect prior to	 .2 Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations. .3 Make edge of beds with smooth clean defined lines. 	medium reaches fiel .9.2 Weed, Insect manual methods, or application of a sui
mendments.	 .4 Time of Planting: .4.1 Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of plants to their new location. 	the weed population .9.3 Fertilizing: A .9.4 Liming Accord .9.5 Mowing and T
ansport or spread growing medium when it is so wet that its structure is likely to be	.5 Standards: .5.1 All plant material shall conform to the requirements of the Canadian Landscape Standard, latest edition, unless exceeded by drawing Plant Schedule or this specification.	with a sharp reel or Remove all grass cl .9.6 Aeration: Ae
lium must meet the specification for growing medium as defined in Table One for the	 .5.1.1 Refer to Canadian Landscape Standard, Section 9, Plants and Planting and in Section 12, BCLNA Standard for Container Grown Plants for minimum standards. .5.1.2 Refer to Plant Schedule for specific plant and container sizes and comply with requirements. .5.2 Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate. 	depth of 100mm. (4" .9.7 Repairs: Re- throughout the gro mowing.
uctions. m in uniform layers not exceeding 6" (150mm), over unfrozen subgrade free of	 .6 Review: .6.1 Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site. .7 Availability: .7.1 Availability: 	
	 .7.1 Area of search includes the Lower Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area. .7.2 Supply proof of the availability of the specified plant material within 30 days of the award of the Contract. .8 Substitution: .8.1 Obtain written approval of the Landscape Architect prior ro making any substitutions to the specified material. Non-approved substitutions will be rejected. 	
all - width shall be at least twice the width of the root ball with saucer shaped	 .8.2 Allow a minimum of 5 days prior to delivery for request to substitute. .8.3 Substitutions are subject to Canadian Landscape Standard - definition of Conditions of Availability. .9 Plant Species & Location: 	
ge of slab (verify column locations on-site for tree locations.)	 .9.1 Plants shall be true to name and of the height, caliper and size of root ball as shown on the landscape/site plan plant schedule. Caliper of trees is to be taken 6" (15cm) above grade. .9.2 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting rock or underground/overhead services are encountered. .9.3 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect. 	
rs.	.10 Excavation: .10.1 Trees and large shrubs: Excavate a saucer shaped tree pit to the depth of the rootball and to at least twice the width of the rootball. Assure that finished grade is at the original grade the tree was grown at.	
end into existing grades.	.11 Drainage of Planting Holes: .11.1 Provide drainage of planting pits where required. ie. on sloped conditions, break out the side of the planting pit to allow drainage down slope; and in flat conditions, mound to raise the rootball above impervious layer. Notify the Landscape Architect where the drainage of planting holes is limited.	
s defined as rough grass between all property lines of the project including all	.12 Planting and Fertilizing Procedures: .12.1 Plant all trees and shrubs with the roots placed in their natural growing position. If burlapped, loosen around the top of the ball and cut away or fold under. Do not pull burlap from under the ball. Carefully remove containers without injuring the rootballs. After settled in place, cut twine. For wire baskets, clip and remove top three rows of wire.	
Section 7.1.1.3	.12.2 Fillthe planting holes by gently firming the growing medium around the root system in 6" (15cm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave no air voids. When 2/3 of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates12.3 Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees12.4 Where trees are in lawn areas, provide a clean cut mulched 900mm (3 ft.) diameter circle centered on the tree.	
) of each year. Further extensions may be obtained on concurrence of the Landscape	.13 Staking of Trees: .13.1 Use two 2"x2"x5" stakes, unless superseded by municipal requirements. Set stakes minimum 2 ft. in soil. Do not drive stake through rootball. .13.2 Leave the tree carefully vertical.	
hall be No. 1 grass mixture delivered in containers bearing the following information:	 .13.3 Tie with pre-approved commercial, flat woven polypropylene fabric belt, minimum width 19mm (3/4"). Approved product: ArborTie - available from DeepRoot. .13.4 Coniferous Trees over 6 ft. height: Guy with three 2-strand wires (11 gauge). Drive three stakes equidistant around the tree completely below grade. .13.5 Trees 6 ft.+ on Wood or Concrete Decks: Guy as above using three deadmen (min. 2'x2"x4") buried to the maximum possible depth instead of stakes. 	
and are subject to client approval.	 .13.6 Mark all guy wires with visible flagging material. .14 Pruning: .14.1 Limit pruning to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp 	
al Wildflowers) with Hard Fescue or pre-approved alternate. aximum 35% water soluble nitrogen and a formulation ratio of 18-18-18 - 50%	tools. Make all cuts clean and cut to the branch collar leaving no stubs. Shape affected areas so as not to retain water. Remove damaged material. .15 Mulching: .15.1 Mulch all planting areas with an even layer of mulch to 2-1/2 - 3" (65 - 75mm) depth. Confirm placement of mulch in areas labeled "Groundcover Area" on drawings. Mulch a	
porate seed into the top 1/4" (6mm) of soil and lightly compact.	3 ft. (900mm) diameter circle around trees in lawn areas, leave a clean edge. .16 Acceptance:	
nce have been met. Comply with Section 3.7 Hydroseeding.	.16.1 The establishment of all plant material is the responsibility of the Landscape Contractor. .17 Plant Material Maintenance:	
to bidding.	 .17.1 Maintain all plant material for 60 days after landscape work has received a Certificate of Completion. .17.2 Watering: Conform to Canadian Landscape Standard, Section 13.3.2 - Watering and generally as follows: .17.2.1 Water to supplement natural rainfall such that the soil moisture content is kept to 50% to 100% of field capacity. Water to the full depth of the root zone each time. The Owner is responsible to supply water at no extra cost to the Contract. Confirm source of water prior to beginning work. .17.3 Use appropriate measures to combat pests or diseases damaging plant material. Comply with all local governing statutes and guidelines for chemical control. .17.4 Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect. .17.5 Repair tree guards, stakes, and guy wires, when necessary. .17.6 Maintain areas relatively weed free. (Appearance level 2, Canadian Landscape Standard, Chapter 13). .17.7 Maintain mulch to specified depths. 	
f any trees, shrubs, or other susceptible vegetation. Do not spray seed or mulch on reference points, monuments, markers and structures from damage. Where bandscape Architect eding and dyed for ease of monitoring application. If using recycled paper material mulch requirements. of seeding or may be harmful to the environment. ume certified by an identification plate or sticker affixed in plain view on the aterial into a homogenous slurry and to maintain the slurry in a homogenous state erials uniformly over the designated area.	 18 Plant Warranty: 18.1 Replace all unsatisfactory plant material except those designated "Specimen" for a period of one (1) year after the Certificate of Completion. Replace all unsatisfactory plant material designated "Specimen" for a period of two (2) years after the Certificate of Completion. Replace all unsatisfactory trees and shrubs and continue to replace these until the specified number is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as specified for the original planting, and shall not constitute an extra to the Contract. 18.2 Those Plants, identified as hardy within one zone of the Canada Department of Agriculture tonal class for the area, specified by the Landscape Architect and installed by the Landscape Contractor which are killed through below normal temperatures (below the average of the extreme minimum temperatures officially recorded in the area concerned, in the last 10 years), will not be replaced without cost of replacement borne by the Owner. 18.3 A review may be requested during the latter part of the warranty growing season. All plant material showing well developed foliage, healthy growth and bud forming, will then be taken over. 	

t material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season if, in his opinion, leaf development sufficient to ensure future satisfactory growth. Owner is responsible for plant maintenance and has not provided adequate maintenance, the plant replacement section of the contract may be declared void. :hitect shall determine whether maintenance has been satisfactory using the Canadian Landscape Standard, Section 13, Maintenance as the guide. The required ard is a minimum of Level Three - Medium. Refer to Section 3.11, Establishment Maintenance. ape Contractor is responsible to replace any plant material or repair any construction included in the Contract that is damaged or stolen until the issuance of Completion om the specifications may require extension of the Warranty Period as determined by the Landscape Architect. SCAPE ON STRUCTURES ainage and protection material is completely installed and acceptable before beginning work. Contact Landscape Architect for instructions if not in place. rk with construction of planters and planter drainage. planter drains are in place and positive drainage to roof drains is present prior to placing any drain rock or soil. out at all through-slab drain locations . Use 300mm min. dia. PVC Pipe filled with drain rock unless specific drawing detail shown. ock evenly to a minimum depth of 4" (100mm)or alternate sheet drain if specified. Install sheet drain as per manufacturer's recommendations. ck (or alternate sheet drain if specified on drawing details) with filter fabric lapping 6" (150mm) at all edges. Obtain approval of drainage system prior to layer of 25 – 50mm clean washed pump sand over filter fabric. medium to depths specified in Section 3.5 above for various surface treatments. Refer to Drawing details for any light weight filter required to alter grade. ck over drain rock shaped to provide smooth surface transition at edges. Butt each piece tightly together and cover with filter fabric to prevent soil from AINTENANCE (Provide a separate price for this section) ent of "establishment" maintenance is to provide sufficient care to newly installed plant material for a relatively short period of time to ensure or increase cess of the planting. The objective is the adaptation of plants to a new site in order to obtain the desired effect from the planting while reducing the rate of ssary work associated with improper establishment. Establishment of maintenance procedures apply to all new and retained vegetation including cultivated nd new trees and shrubs. eriod: Provide maintenance of installed landscaping for 12 months following substantial completion. ards and Legislation: Canadian Landscape Standard, latest edition; Fertilizer Code., B.C. Pesticide Control Act. addition to the inspections at substantial completion, at final progress draw application, and at the end of the guarantee period, there should be three other

12 months attended by the Contractor and a designated representative of the Owner. Maintain a logbook and reporting procedures and submit to the entative.

repare a schedule of anticipated visits and submit to designated representative at start-up. Maintenance operations shall be carried out predominately during n between March 1st and November 30th, however visits at other times of the year may be required.

evel: Comply with B. C. Landscape Standard, Section 14, Table 14.2, Maintenance Level 2 "Groomed".

ply with Part Two of this specification. To the requirements of the Canadian Landscape Standard. Formulations and rates as required by soil testing.

Establishment:

uring the first growing season, water new plants at least every ten (10) days between April 1st and July 31st, and every twenty (20) days between August 1st n. Minimum 25 gallons per tree per application. During the second growing season, water new plants at least every twenty days between April 1 and July 31 August 1st and September 31st. Apply water at a rate and duration such that the water content reaches field capacity to the full depth of the growing er again when the water content reaches 25% of field capacity. Provide and irrigate with water in the event that any automatic irrigation system malfunctions mpletely installed. Scheduled applications of water shall be missed only when rainfall has penetrated the soil fully as required. ain mulches in the original areas and to the original depths.

il: Remove all weeds from all areas at least once per month during the growing season by hoeing or cultivation to a maximum depth of 80mm, hand-pulling, or, if use of herbicides. ease Control: Inspect all planted areas for pests and diseases periodically and at least every two months during the growing season by an experienced

treatment for pests or diseases promptly and consistently for maximum effectiveness. Comply with all B.C. Pesticide Control Act and municipal requirements. : Maintain stakes, guy wires and ties one full growing season. Check ties at least every two months to ensure that they are not causing a depression in the air or replace ties as necessary. Remove all stakes guy wires and ties after the first growing season except where large trees require continuing support in Landscape Architect. All flagging of guy wires shall be visible and in good repair. pect all trees and shrubs at least every two months during the growing season; prune to remove all dead, weak or diseased wood. Maintain the natural shape

y out clipping or shaping only if required in the maintenance contract for specific varieties or conditions. Dice during the twelve month period of establishment maintenance fertilize shrubs, trees and groundcovers according to soil analysis requirements.

stablishment:

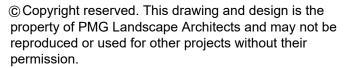
se hoses and sprinklers, irrigation systems or other methods to apply water to Class 1 and Class 2 grassed areas (Canadian Landscape Standard, Section 7, s) such that the grass is maintained in a turgid condition. Supply and irrigate with water in the event of any irrigation system malfunction, or incomplete expense to the owner. Apply water to prevent packing or erosion of the soil. Apply water at a rate and duration so that the water content in the growing ld capacity to the full depth of the growing medium. Apply water again when the water content reaches 25% of field capacity. and Disease Control: Inspect grass areas each time they are mowed for weeds, insect pests, and diseases and treat promptly when necessary by appropriate r by the use of chemicals in compliance with the B.C.S.L.A./B.C.L.N.A. Landscape Standards latest edition. Kill broadleafed weeds in grassed areas by a general itable herbicide if the weed population exceeds 10 Broadleaf weeds or 50 annual weeds or weedy grasses per 40 square meters. This application shall reduce on to zero.

According to soil analysis. ding to soil analysis

rimming - All areas: The first four cuts shall be a sharp rotary type mower. Excess grass clipping shall be removed after each cut. Mow all grassed areas r rotary mower when the grass reaches a height of 60mm. Mow to a height of 40mm. Edge with a mechanical vertical cutting edger once per year in March. lippings after each cut.

eration not required in the first growing season. If necessary, in the second growing season, aerate in early May with a suitable mechanical corer. Core to a "), and remove cores. -grade, re-seed or re-sod when necessary to restore damaged or failing grass areas. Match the grass varieties in the surrounding area. Re-sod, if required,

owing season. Re-seed between April 1st and April 15th or between September 1st and September 15th. Protect re-seeded areas and keep moist unt





SEAL:

7	22.JUN.27	UPDATE PER CITY COMMENTS	CLG
6	22.APR.21	COMMENTS FROM CLIENT	WZ
5	22.APR.11	UPDATE PER COMMENTS	WZ
4	21.OCT.25	UPDATE PER ARBORIST PLAN	CLG
3	21.JUL.13	UPDATE PER NEW SITE PLAN	CLG

UPDATE PER NEW SITE PLAN

ISSUED FOR SUBMISSION

REVISION DESCRIPTION

CLG

CLG

DR.

CLIENT:

21.JAN.13

20.FEB.04

NO. DATE

PROJECT:

PROPOSED DUPLEX FOR

LOT 1 @ 1091 STAYTE ROAD WHITE ROCK

DRAWING TITLE:

LANDSCAPE **SPECIFICATIONS**

DATE: SCALE: DRAWN: DESIGN: CHK'D:

20.JAN.17 NO SCALE CLG CLG

PC

DRAWING NUMBER:

OF 3



The objectives of the Mature Neighbourhood Infill Development Permit Area are to:

- Establish an attractive, comfortable, well-connected, pedestrian-oriented environment that fosters vibrant public life
- Ensure the compatibility of infill development (i.e: duplexes, triplexes, small-lot single family) within established neighbourhoods.
- Ensure the compatibility of new development with adjacent existing buildings
- Enhance quality of life
- Conserve energy, conserve water, and reduce GHGs
- Enhance the character of the built environment and public realm in the City of White Rock

Please provide a summary of how your proposal achieves the objectives and policies of the Mature Neighbourhood Infill DPA below:

The proposed building is a simple, modern, and elegant addition to the neighborhood. As a duplex, it will be larger than the older buildings but similar in size to the modern buildings in the area. The height and placement of the building on the lot (subject to zoning requirements) will ensure that it will not dominate, but rather fit in with the existing neighborhood. The modern style combined with natural grey colouring will blend in with both the newer and older characteristics of the surrounding area.

Special care has been taken to improve the landscaping, maximizing the area of softscaping. Plenty of trees, shrubs, and bushes will enhance the attractiveness of the exterior and increase quality of life. Tree cover will be increased with the net addition of 5 new trees.

Pedestrian access will be improved by adding a new sidewalk on the North side of the property, increasing the connectedness of the neighborhood and improving pedestrian access.

Appliances and fixtures will be of the highest quality, with attention to conservation features to ensure reduction of energy and water useage.

NOTE 1: All 'Applicant Response' sections must be filled out by the applicant.

NOTE 2: If your proposal cannot adequately address one of the below-listed DPA guidelines, provide a rationale (and alternative resolution) above, and in the applicable response sectionage 380 of 541



Section 22.9.1 - Buildings

Mature Neighbourhood Infill DPA Guideline 22.9.1 (a)

Ensure buildings are compatible with or complementary to adjacent developments in terms of height, density, and design.

Applicant
 Response
 The proposed building would fit in with the newer developments, while avoiding overpowering the smaller, older dwellings. The massing of the building is concentrated in the corner of the property, reducing its apparent size. Height is two stories with basement. This is the same as other modern developments and slightly taller than the oldest buildings in the neighborhood. The building would fit in with the slope of the hill.

Mature Neighbourhood Infill DPA Guideline 22.9.1 (b)

Consider alternatives to the traditional side- by-side duplexes and triplexes, such as front/ rear and top/bottom layouts. 'Mirror-image' designs will not be permitted for single family dwellings, duplexes, or triplexes. Entrances shall be clearly identifiable, and weather protection with overhangs and awnings shall be provided over all entrances.

The building has avoided a side by side approach, and is not mirrored. Unit A faces East and Unit B faces north. There are differing balconies, window placement, and stonework between the two units in order to provide further differentiation.

The two entrances are clearly visible, each with a small veranda. The verandas are fully covered to provide protection from the weather.

Applicant Response



Mature Neighbourhood Infill DPA Guideline 22.9.1 (c)				
Create visual interest with architectural details that break up the mass of the building and give each dwelling unit in a duplex or triplex its own visual identity. Open verandas and peaked roofs are encouraged for duplexes, triplexes, and small-lot single family development.				
Applicant Response	The building has features that create visual interest and break up the mass of the building. Each unit has its own identity. The building is a rectangular shape, and each unit has its own separated top floor. This top floor separation breaks the mass of the building from the point of view from the exterior. There are three covered decks on the top floor which provides further differentiation. Unit A has two decks, and unit B has one larger deck. The arrangement of stonework, windows, and the front verandas provide further differentiation between the two units and makes it clear where one unit ends and the other begins.			
Mature Neighbourhood Infill DPA Guideline 22.9.1 (d)				
	Use a variety cladding colours and/or materials to avoid large, uniform expanses. Different cladding colours or materials can be used to differentiate between units in a duplex or triplex.			
Applicant Response	The proposed dwelling will have a modern exterior, and the colours and materials have been chosen and arranged in part to avoid large or uniform expanses. Cladding materials include hardiboard, stonework, stucco, and wood trim. The placement of these materials, the windows, and the balconies serve to break up any large expanses. A grey colour scheme has been chosen, with modern stainless steel hardware.			



Mature Neighbourhood Infill DPA Guideline 22.9.1 (e)			
maximize o by blocking	Follow passive solar design principles for the orientation and siting of buildings. Design roofs to maximize opportunities for solar collection in winter and control solar gain on south-facing facades by blocking high- angle sun in summer. Maximize passive ventilation and passive cooling through building orientation.		
	The proposed duplex will be a rectangular building oriented east-west on the long side. Front entrances will be facing North and East. Lot size, tree retention, and other constraints limit the placement of the building on the lot.		
Applicant Response	Solar gain is minimized by setting some of the windows back in covered decks and under awnings.		
Mature Neighbourhood Infill DPA Guideline 22.9.1 (f)			
Mature N	leighbourhood Infill DPA Guideline 22.9.1 (f)		
Incorporat concrete, e cladding. U	Leighbourhood Infill DPA Guideline 22.9.1 (f) e west coast design elements with the use of natural materials, including brick, stone, exposed heavy timber, and/or steel. Vinyl siding and stucco will not be considered for Use rich natural tones which reflect the natural landscape and seascape as the dominant ith brighter colours used only as accents.		
Incorporat concrete, e cladding. U	e west coast design elements with the use of natural materials, including brick, stone, exposed heavy timber, and/or steel. Vinyl siding and stucco will not be considered for Use rich natural tones which reflect the natural landscape and seascape as the dominant		
Incorporat concrete, e cladding. U	e west coast design elements with the use of natural materials, including brick, stone, exposed heavy timber, and/or steel. Vinyl siding and stucco will not be considered for Use rich natural tones which reflect the natural landscape and seascape as the dominant ith brighter colours used only as accents. The proposed building with have a modern exterior, incorporating some natural materials. Exterior materials include hardiboard, stone, stucco, and wood trim. Stainless		
Incorporat concrete, e cladding. U	e west coast design elements with the use of natural materials, including brick, stone, exposed heavy timber, and/or steel. Vinyl siding and stucco will not be considered for Use rich natural tones which reflect the natural landscape and seascape as the dominant ith brighter colours used only as accents. The proposed building with have a modern exterior, incorporating some natural materials. Exterior materials include hardiboard, stone, stucco, and wood trim. Stainless steel hardware will be used, and railings will be glass and stainless steel.		



Mature Neighbourhood Infill DPA Guideline 22.9.1 (g)			
Ensure that garages do not dominate the front face of a building. If a garage faces a street, it shall be subordinate to the pedestrian entrance in terms of size, prominence on the streetscape, location, and design emphasis. The use of landscaping to screen and soften the appearance of a garage is encouraged.			
City requirements allow only one driveway onto Cliff Avenue, so garages must side. Several steps have been taking to mitigate the massing of these garage d They are placed on the North side, the wide side of the building, so their appear minimized. Hedge, shrub, and tree placement is used to soften and screen the of the doors.			
Response			



Section 22.9.2 – Public Realm and Landscape		
Mature Neighbourhood Infill DPA Guideline 22.9.2 (a)		
Improve the public realm with widened sidewalks (minimum 1.8 metres). Plant street trees and design curb let-downs to accommodate wheelchairs and scooters.		
Applicant Response	A sidewalk will be added to the North side of the property, where currently there is none. Curb let-downs will be added at driveway and sidewalk entrances.	
Mature N	leighbourhood Infill DPA Guideline 22.9.2 (b)	
	igs to create through-block walking connections where appropriate. These will create ies for a variety of pedestrian-oriented activities and a finer- grained street grid.	
Applicant Response	Not applicable to proposed development.	



Mature Neighbourhood Infill DPA Guideline 22.9.2 (c)			
Use light coloured reflective paving materials such as white asphalt or concrete for paths and driveways to reduce heat absorption and urban heat island effect. Ensure all areas not covered by buildings, structures, and roads are landscaped. Incorporate shared pedestrian accesses where possible to minimize impervious areas.			
	White concrete will be used for driveway and sidewalk.		
	All areas not utilized by the building or hardscaping will be landscaped and planted with resilient and native plantings. The plant specifications provided by our landscape architect require less fertilizer and water inputs than more tender plant selections.		
Applicant Response			
Mature N	Mature Neighbourhood Infill DPA Guideline 22.9.2 (d)		
Ensure all trees are planted with sufficient soil volume, using soil cells where appropriate, and incorporate diverse native shrub layers below trees to intercept stormwater. Projects should be designed to allow for the retention of large, mature, healthy trees, and landscape design should employ CPTED principles.			
Applicant Response	Our project arborist has identified trees for retention that are outside of the immediate disturbance zone caused by construction. These retained mature trees and hedgers are maintained b pushing construction-related excavation and planting disturbances outside of the critical root zones. Where possible, under-planting of proposed trees with shrubs will keep stormwater in close proximity and shade sensitive root structures. This work is proposed to be constructed under arborist supervision. CPTED principles are maintained by allowing clear sight lines and low evergreen planting that does not create darkened zones in the proposed yards.		
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Mature Neighbourhood Infill DPA Guideline 22.9.2 (e)			
Select trees that will maximize passive solar gain, natural ventilation, and natural cooling, and increase the entry of natural light into buildings. Maximize the use of drought tolerant species that can withstand the seaside setting and require minimal irrigation. Avoid planting invasive species. The planting of hedges directly adjacent to sidewalks is discouraged, unless they are screening a garbage/recycling area.			
Applicant Response	None of the proposed plants are considered invasive by the BC Invasive Species Council. The west and south aspect of the site is shaded by adjacent retained trees or proposed large columnar oak trees. These will provide summertime shade, and are open enough to allow the moderate passage of cooling evening sea breezed. No sidewalk-adjacent hedging is proposed.		
Mature N	eighbourhood Infill DPA Guideline 22.9.2 (f)		
accordance not limited	Use Low Impact Development Techniques for stormwater management, where appropriate, in accordance with the City's Integrated Storm Water Management Plan (ISWMP). This includes but is not limited to bio-swales, cisterns, and permeable paving. Narrower lanes/access roads and the use of porous asphalt are encouraged.		
Applicant Response	Paving is kept to a minimum in the proposed landscape to allow maximum permeability.		



•							
Section 22.9.3 – Parking and Functional Elements							
Mature Neighbourhood Infill DPA Guideline 22.9.3 (a)							
Minimize paved areas with narrow, shared vehicular accesses. Separate accesses are considered for duplexes or triplexes that are located on corner lots or that have street and lane accesses.							
The paved driveway proposed is the minimum sized possible while still being accessible							
	Separate access is not permitted as per City requirements.						
Applicant Response							
Mature N	leighbourhood Infill DPA Guideline 22.9.3 (b)						
to be locat	fficient space for garbage, recycling, and composting where appropriate. These areas are ed so that they are convenient for users and accessible for waste/recycling/ compost and removal.						
Applicant Response	Room for garbage and recycling is proposed adjacent to the driveways off Cliff Avenue. This will be screened by landscaping, trees, and fencing.						

Minutes of an Advisory Design Panel Meeting Held Digitally Using Microsoft Teams March 15, 2022

PRESENT:	P. Byer, ChairpersonP. RustF. KubackiJ. VastoR. Dhall
ABSENT:	J. Muego
NON-VOTING MEMBERS:	S. Greysen, BIA Representative
GUESTS:	S. Gill, Applicant (877 Kent Street) A. Kulla, Landscape Designer (877 Kent Street) J. Ogden, Owner (1091 Stayte Road) J. Kaur, Applicant (1091 Stayte Road) R. Toora, Designer (1091 Stayte Road)
STAFF:	J. Calenda, Interim Director, Planning & Development Services N. Syam, Planner J. Pelzman, Planning & Development Assistant II

1. CALL TO ORDER

The meeting was called to order at 3:32pm.

2. ADOPTION OF AGENDA

It was MOVED and SECONDED

THAT the Advisory Design Panel adopts the March 15, 2022, agenda as circulated.

CARRIED

3. ADOPTION OF MINUTES

It was MOVED and SECONDED

THAT the Advisory Design Panel adopts the minutes from the February 15, 2022, meeting as circulated.

CARRIED

1

4. APPLICATION SUBMISSIONS TO THE ADVISORY DESIGN PANEL

At the beginning of this section of the agenda, J. Calenda (Interim Director, Planning & Development Services) provided an overview of the policy and regulatory framework applicable to the applications under review by the ADP. The following subsection outlines the minutes of the meeting as they relate to the applications.

4.1. Application: 877 Kent Street – Proposed Intensive Residential Development – S. Gill (Applicant)

The Applicant provided an overview of the updates to their proposed intensive residential development since the previous ADP review on October 19, 2021.

- A member of the Panel requested clarification on the garage door for the southern house and asked if it was clear glass. The Applicant responded by saying that it was glass but reflective with privacy panels. The Panel recommended using a different material.
- A member of the Panel commented about the landscaping plan only showing small shrubs and columnar trees at the front of the properties and recommended planting some larger shrubs and tree varieties instead.
- A member of the Panel recommended dropping the ceiling height of the front entrances to match the first storey roof line along the sides of the houses.
- A member of the Panel appreciated the change to two single-family homes, which fits in with the character of the street and is less massing for the neighbourhood.
- A member of the Panel noted that the design of the north house could be improved. They recommended implementing larger windows and using some shared colours and elements between the two houses.
- A member of the Panel noted that there are some inconsistencies in the drawings because the landscaping plan appears to show gravel between the houses and along the outer edges of the properties which is not consistent with the site plans. The Applicant acknowledged the inconsistencies and confirmed that they will work with City staff to make sure the landscaping plan is consistent with other plans.

Following the receipt of final comments, the Chairperson asked for a motion.

It was MOVED by R. Dhall and SECONDED by P. Rust

THAT the Advisory Design Panel supports the application for the development proposal at 877 Kent Street proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Revise the design of the garage door on the south house to a different material.
- Recommendation to use larger shrubs and tree varieties at the front of the properties.
- Recommendation to lower the ceiling height of the front entrances to match the first storey roof line along the sides of the houses.
- Revise the design of the north house to have larger windows and some shared colours and elements between the two houses.
- Request for more consistency between the landscaping plan and the other site plans.

CARRIED

4.2. Application: 1091 Stayte Road - Proposed Duplex - J. Ogden (Owner)

The Owner provided an overview of their proposed duplex development.

- A member of the Panel asked the Owner why there was a gap between the units on the second level. The Owner responded that it was an attempt to reduce the mirroring effect of the two units. The Panel noted that there may be some heat loss from having two exterior walls in the design.
- A member of the Panel recommended using a different variety of tree and plant species along the property line. It was suggested that utilizing different tree and plant species may also reduce the need for a large fence.
- A member of the Panel noted that there was a lack of windows on the rear elevation. They recommended using some colours and elements from the front elevation on the rear. They also recommended using vertical windows instead of horizontal windows.
- A member of the Panel had concerns with some mature off-site trees from the adjacent property impacting the building on the first and second floors. The Owner said that there may need to be some trimming done to prevent this. The Panel asked if the Arborist and the neighbour came to an agreement to allow the trees to be trimmed. The Owner responded by saying he will have to discuss this with the Arborist.
- A member of the Panel noted that one of the large off-site trees may not survive the construction that occurs in the root zone area. The Panel also noted that the City's new Tree Protection Bylaw may require revisions to the Arborist Report that was submitted with the application.
- A member of the Panel asked about the location of the garbage/recycling bins. City Staff responded by saying that the Applicant proposed an enclosed structure for the bins, but this may impact the setback requirements and is still under discussion.
- A member of the Panel recommended that the proposal include roughed-in electric vehicle charging infrastructure.

Following the receipt of final comments, the Chairperson asked for a motion.

It was MOVED by R. Dhall and SECONDED by F. Kubacki.

THAT the Advisory Design Panel supports the application for the development proposal at 1091 Stayte Road proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Recommendation to use a different variety of tree and plant species along the property line to reduce the need for a large fence.
- Recommendation to use colours and elements from the front elevation on the rear elevation.
- Revise the design to replace the horizontal windows with larger vertical windows.
- Recommendation to include roughed-in electric vehicle charging infrastructure in the design.

CARRIED

A member of the Panel requested an additional motion to update the unit addresses to align with the streets they are facing.

It was MOVED by P. Byer and SECONDED by P. Rust.

CARRIED

4

5. CONCLUSION OF THE MEETING

There being no further business, the Chairperson declared the meeting concluded at 5:29 pm.

Purp N. By

P. Byer Chairperson, Advisory Design Panel

br

J. Calenda Interim Director, Planning & Development Services, City of White Rock



Arborist Report for Development 1091 Stayte Road White Rock, BC V4B 4Y8

April 28, 2022 Updated

Submitted to: City of White Rock Planning & Development Services Department

Submitted by:

Freedom Sukenick ISA Certified Arborist PN 7712A White Rock Business License #23377

Client:

Mirus Enterprises Inc. Jamie Walgren Jamie.walgren@gmail.com

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If there are any questions or concerns with the contents of this report, please do not hesitate to contact us.

Contact information

Phone: 604-306-6942

Email: info@freedomtreecare.com

Website: www.freedomtreecaretrimmingservice.com

ASSIGNMENT / INTRODUCTION

I was asked to assess all trees located onsite, and all City & offsite trees within 4 meters of the property line. The purpose of my consultation is to determine the viability of the trees and the potential impact in relation to the construction of a new house and upgrading of all services.

I conducted my assessment on September 19, 2019.

March 27, 2022 - I was asked to update the Report to provide recommendations on how to care for the retained trees including a maintenance and watering program. The site plan has also been updated showing new walkway and screw pile locations and a reduced excavation zone on the south side of the proposed building.

NEW April 26, 2022 - Pathway near tree #678 has been modified. Additional comments provided in the Summary and Recommendations on page 8.

METHODOLOGY

- A level 2 Qualitative approach with a mallet and probe were used on accessible items without dissection, excavation, climbing or coring.
- All trees were inspected using a ground based visual examination.
- Photos have been included to help with tree identification.
- Tree Survey drawing #1 shows all trees.
- Tree Survey drawing #2 shows trees to be retained, Tree Protection Barriers and Replacement Tree locations.
- Trees were evaluated for their preservation potential based on health, structure, location, biotic, abiotic, pathogenic, decay and species factors. Topping cuts and codominant stems are considered structural defects and under most circumstances are considered structurally poor.
- Trees found to be unsafe, conflicting with the proposed building plans, of poor health, of little long term retentive value or having been requested by the owner are recommended for removal in Table #1 and shown on Tree Survey Drawing #1 with an X.
- The maximum amount of encroachment from excavation is generally around 30%. Further encroachment may de-stabilize the tree and is not recommended.
- A 1.5 meter excavation zone is calculated and used around the new house structure to show any potential conflicts with proposed construction.

OBSERVATIONS

Tree Resource

The tree resource in this report is made up of 17 trees. 10 Western red cedar (*Thuja plicata*), 2 Paper bark maple (*Acer griseum*), and one each of the following; English oak (*Quercus robur*), Douglas fir (*Pseudotsuga menziesii*), Pacific dogwood (*Cornus nuttallii*), Mountain-ash (*Sorbus aucuparia*), and Spruce (*Picea engelmannii*). Three hedges have been found which are on city property. They are labeled H1, H2 and H3 on the tree survey drawings.

All trees have been tagged and located on the tree survey drawing.

Tree Inventory and Assessment - Table 1

The following Inventory Table provides individual tree data for all protected trees. Specific information includes:

- tree/tag number, offsite (OS), shared or City Tree (City, C), species
- diameter at breast height (DBH), approximate height, live crown ratio (LCR) %, deadwood %
- structural integrity a qualitative rating of a tree's shape and structure when compared to ideal trees of the same species and age class (good, fair, poor, dead)
- health the trees overall health and vigour (good, fair, poor, dead)
- **Good**: Trees in this category are in good health and structural stability and have the potential for longevity at this site.
- Fair: Trees in this category are in moderate health and/or have structural defects that may be mitigated with treatment. These trees may require more intense management and monitoring, and may have shorter life-spans than those in the "good" category.
- **Poor**: Trees in this category are in poor health or have structural defects that may not be mitigated with treatment. These trees can be expected to decline regardless of management.
- comments and recommendations
- Tree Protection Zones (TPZs)

TPZ 6X DBH (m)	2.52	3.42	1.98	4.44	3.54	4.26	5.58	5.4
Recommenda- tions	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor
Comments	Multi-stemmed at 2m.	Multi-stemmed at base & 4.5m Previously topped at 2.5m with dieback at the topping cuts	Multi-stemmed at 3m 2m long damage to main stem Previously topped at 2.5m with dieback at the topping cuts	Multi-stemmed at base Previously topped at 2.5m with dieback at the topping cuts		Multi-stemmed at base & 4m	Multi-stemmed at base	Multi-stemmed at base & 4m Significant Ivy in canopy
Health	Good	Fair	Fair	Fair	Good	Good	Good	Fair
Structural Integrity	Good	Poor	Poor	Poor	Fair	Fair	Poor	Poor
Dead wood (%)	ъ	10	10	10	ъ	10	10	10
LCR (%)	06	85	85	85	85	06	06	06
Height (m)	13	13	13	13	20	15	15	15
DBH (m)	.42	.35, .22		.2, .54	.59	.33, .38	.37, .56	.44, .46
Botanical Name	Quercus robur	Thuja plicata	Thuja plicata	Thuja plicata	Pseudotsuga menziesii	Thuja plicata	Thuja plicata	Thuja plicata
Common Name	English oak	Western red cedar	Western red cedar	Western red cedar	Douglas fir	Western red cedar	Western red cedar	Western red cedar
Tag#	665 City	666 City	667 City	668 City	669 OS	670 OS	671 0S	672 0S

TPZ 6X DBH (m)	2.52	3.42	1.98	4.44	3.54	4.26	5.58	5.4	3.24
	N		H	4	m	4	ۍ ۲	ני) 	
Recommenda- tions	Retain and Monitor	Remove due to conflicts with construction.	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Retain and Monitor	Remove due to conflicts with construction.
Comments	Multi-stemmed at 4m. Significant Ivy in canopy	Multi-stemmed at base Significant lvy in canopy	Multi-stemmed at 3m & 5m	Crown on south side	Pruning for the electrical house drop is required	Pruning for the electrical house drop is required Multi-stemmed at 1m			Moderate Sapsucker damage and related resinosis
Health	Fair	Fair	Good	Good	Good	Good	Good	Good	Fair
Structural Integrity	Poor	Fair	Poor	Good	Poor	Good	Good	Good	Good
Dead wood (%)	ъ	10	ъ	ъ	ъ	ъ	5	5	ъ
LCR (%)	06	75	06	70	06	75	60	65	06
Height (m)	15	7	15	7	15	13	4.5	4.5	15
DBH (m)	.54	.24, .32	ω	.12, .1, .15	.46, .48	.21, .3, .41	.1, .11	.13	.54
Botanical Name	Thuja plicata	Sorbus aucuparia	Thuja plicata	Thuja plicata	Thuja plicata	Cornus nuttallii	Acer griseum	Acer griseum	Picea engelmannii
Common Name	Western red cedar	Mountain ash	Western red cedar	Western red cedar	Western red cedar	Pacific dogwood	Paperbark maple	Paperbark maple	Spruce
Tag #	673 OS	674	675 OS	دی 398 of 54	677 City Shared	678	679 City	680 City	681

TABLE 1 - Tree Inventory and Assessment

SUMMARY AND RECOMMENDATIONS

Viability of trees

City trees #666 - #668 are in poor health due to decay found on the main stems.

All 3 hedges on City property are in good condition.

Trees #669 - #674 share canopies.

March 27, 2022 - The Western red cedar (*Thuja plicata*) tree has a poor-moderate relative tolerance to construction impacts and the addition of fill soil (Matheny and Clark, 1998, Trees and Development). Effort must be made to ensure the long term success and retention of all retained trees before, during and after construction is complete.

Development impact on trees

Offsite tree #670 will have encroachment from the new open patio. Arborist supervision is recommended during construction.

Offsite tree #671, 672, 673 and 675 will have 20%, 20%, 3% and 27% encroachment from the new house excavation zones. Arborist supervision is recommended during excavation and construction. A reduction in the excavation zone from 1.5m to 1m has been implemented for this side of the house.

Tree #674 will have 60% encroachment from the new house excavation zone and is therefor recommended for removal due to conflicts with construction.

Offsite/City shared tree #677 will have 32% encroachment from the new house excavation zone. A concrete walkway, gate and fence are proposed in it's TPZ. Arborist supervision is recommended during excavation and construction. A reduction in the excavation zone from 1.5m to 1m has been implemented.

Tree #678 will have 3% encroachment from the new house excavation zone. A concrete walkway, gate and fence are proposed in it's TPZ. Arborist supervision is recommended during excavation and construction. A reduction in the excavation zone from 1.5m to 1m has been implemented.

Tree #681 will have 100% encroachment from the new house excavation zone and is therefor recommended for removal due to conflicts with construction.

March 27, 2022 - To reduce the construction impacts to trees #671, 672, 673, 675, 677 and 678, the basement has been reduced in size and the excavation zone has been reduced from 1.5m to 1m. To support the unreduced floors above, screw piles shall be used and located near the protected trees. The excavation for the screw piles is approximately 60cm X 60cm and is to be done by hand or Hydro-vacuum machine. The suitability, quantity and locations of the screw piles shall be determined by the Project Architectural and Geotechnical engineers.

SUMMARY AND RECOMMENDATIONS continued

NEW April 26, 2022 – The pathway has been aligned with the east side entry doorway. The pathway located inside the tree protection zone of tree #678 shall be above grade using paving stones, slab-on grade concrete, Grasscrete or gravel. The pathway shall be a suitable distance away from the basal flare of the tree, as determined by the project Arborist at time of preparation/installation. No digging shall be done inside the tree protection zone. Arborist supervision during the preparation and installation of the pathway is recommended.

Potential conflicts with services

Storm comes from Cliff Ave. - No conflict is expected.

Natural gas comes from Cliff Ave. - No conflict is expected.

Sanitation comes from Cliff Ave. - No conflict is expected.

Water comes from Cliff Ave. - No conflict is expected.

Electrical is above ground and comes from Cliff Avenue, through tree #677. Pruning for clearance for the new above ground electrical house drop may be necessary.

GENERAL NOTES

1. Replacement trees must meet the plant condition and structure requirements set out in the latest edition of the BCSLA/BCLNA "B.C. Landscape Standard" and the CNTA "Canadian Standards for nursery stock".

2. Replacement trees must be located, planted and maintained in accordance with the BCSLA/ BCLNA and "White Rock Tree Management Bylaw NO. 1831".

3. Replacement trees must be a minimum size of 3.0m ht. coniferous / 6 cm cal. deciduous

4. Trees must be located a minimum distance of 1m from any property lines and 3m from any other tree or buildings/services.

CONSTRUCTION, WATERING AND MAINTENANCE SPECIFICATIONS

- 1. Before beginning work, the contractor should meet with the project arborist on site to review all work procedures, access routes, storage areas and tree protection measures.
- 2. Any work within two meters of a tree protection zone (TPZ) shall be monitored and done under the directions of the project arborist.
- 3. All trees shall be irrigated prior to, during, and after any root pruning or after any excavation and every week after, during the months of June, July, August and September (2022). Each irrigation shall wet the soil to a depth of 150cm.
- 4. Clearing of vegetation in the TPZ shall be done by hand. Brush shall be chipped and placed in the TPZ to a depth of 6". Wood chips shall not be placed against the trunk(s). Additional wood chips may be required.
- 5. Tree(s) to be removed that have branches extending into the canopy of tree(s) to remain or are in the TPZ of tree(s) to remain, must be removed by a qualified arborist. The qualified arborist shall remove the tree(s) in a manner that causes no damage to the tree(s) and understory to remain. Trees to be removed that are located in the TPZ of trees to remain, shall be cut near ground level and the stump ground out.
- 6. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the TPZ.
- 7. All work required within the TPZ shall be done by hand and under the direct supervision of the project Arborist.
- All pruning shall be performed by a certified arborist and will be in accordance with ANSI A300 (part 5) pruning standards and ANSI Z133.1 safety standards. Pruning for building clearance will be required and is best achieved at the framing stage, prior to the installation of glazing and building wrap.
- 9. Trees should be monitored by a certified arborist for a period of 18 months after construction is complete.
- 10. No swales shall be located in the tree protection zones of retained trees.
- 11. Trees to be retained will require arborist supervision any time heavy machinery encroaches within 2 meters of the tree protection zones. Excavation pins will need to be located prior to excavation for construction. Roots should be pruned or cut prior to excavation to minimize the damage from ripping. Ripped or damaged roots shall be exposed using the least injurious method and the damaged section cut cleanly. Exposed roots should be covered with moisture retaining material such as burlap or moist fill soil, and a covering such as a tarpaulin, to prevent drying of the soil and roots.

TABLE 2 - Tree Protection Summary

	Onsite	Offsite	City	Total		
Number of protected	3	7	7	17		
trees identified						
Number of protected	2	0	0	2		
trees to be Removed						
Number of protected	1	7	7	15		
trees to be retained						
Number of replacement	6	0	0	6		
trees required						
Number of replacement	6	0	0	6		
trees proposed						
Number of replacement	0	0	0	0		
trees in deficit						
Total number of retained						
trees & replacement	21					
trees						

TREE PROTECTION PLAN

Tree protection shall be done in accordance with White Rock Tree Management Bylaw No. 1831. Tree protection fencing is to be installed prior to construction with no excavation, grade alterations or materials storage within the Tree Protection Zones (TPZ) unless preapproved by the project Arborist. Tree protection zones are listed on the Tree drawing #1. The project Arborist must be contacted prior to and be on site for any construction within **the recommended TPZ which is 6X the tree diameter**. All parties must be aware that long-term success in tree preservation efforts depends greatly on minimizing the impact caused during and post construction. Mechanical injuries caused to trees above or below ground are difficult to repair and can cause long term damage or death. Best efforts must be made to ensure that soils remain undisturbed within the tree protection zones.

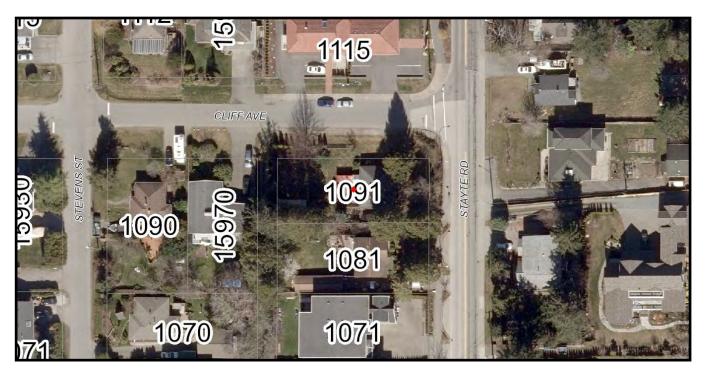


Photo 1 Aerial photo March 2019, White Rock's WROMS.

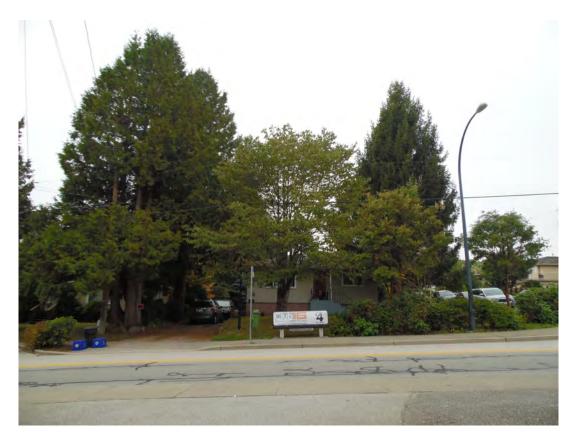


Photo 2 Street view of property at time of assessment.

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Photo 3 Tree #665 and #H3. Facing west.



Photo 4 Tree #665 on left and #H3. Facing east.



Photo 5 Trees #666 - #674, from right to left. All trees share a crown.



Photo 6 Tree #666, photo showing pruning cut dieback on the main stems. Good reaction growth has developed.





Photo 7 Tree #667, photo showing pruning cut dieback on the main stem. Minimal reaction growth has developed.

Photo 8 Tree #668, photo showing pruning cut dieback on the main stem. Good reaction growth has developed.

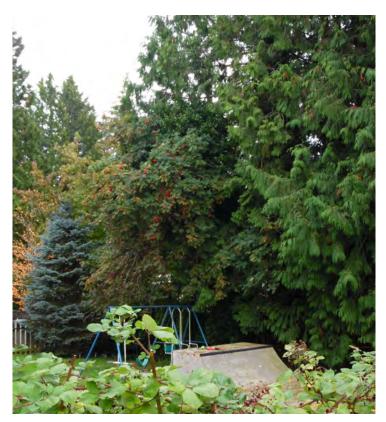


Photo 9 Tree #674 in center with red berries.



Photo 10 Tree #675, photo showing co-dominant stems at 3m and 5m.



Photo 11 Tree #676 (left) and #677 (right).

Photo 12 Photo showing the co-dominant base of tree #677.

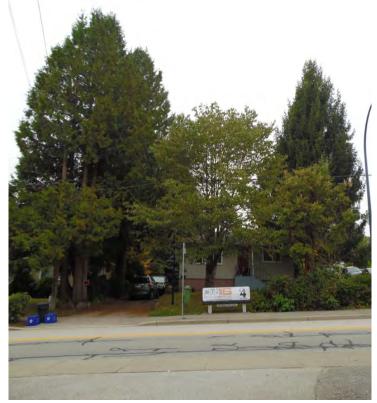




Photo 13 Tree #678 and #678 in center, #677 on left, and #681 on right.

Photo 14 Photo showing the base of tree #678. Tree #681 in background.



Photo 15 Tree #681

Photo 16 Sapsucker damage on tree #681.





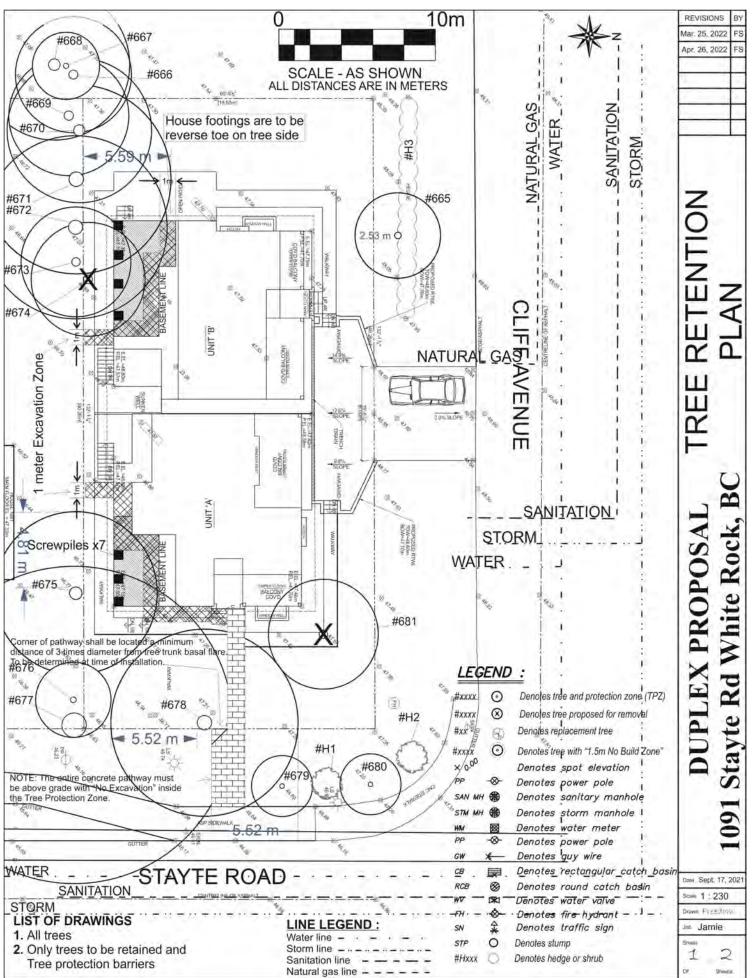
Photo 17 Boulevard trees #679, #680 and #H1.

Photo 18 Boulevard trees #679 , #680 and hedge #H1. All on city property.

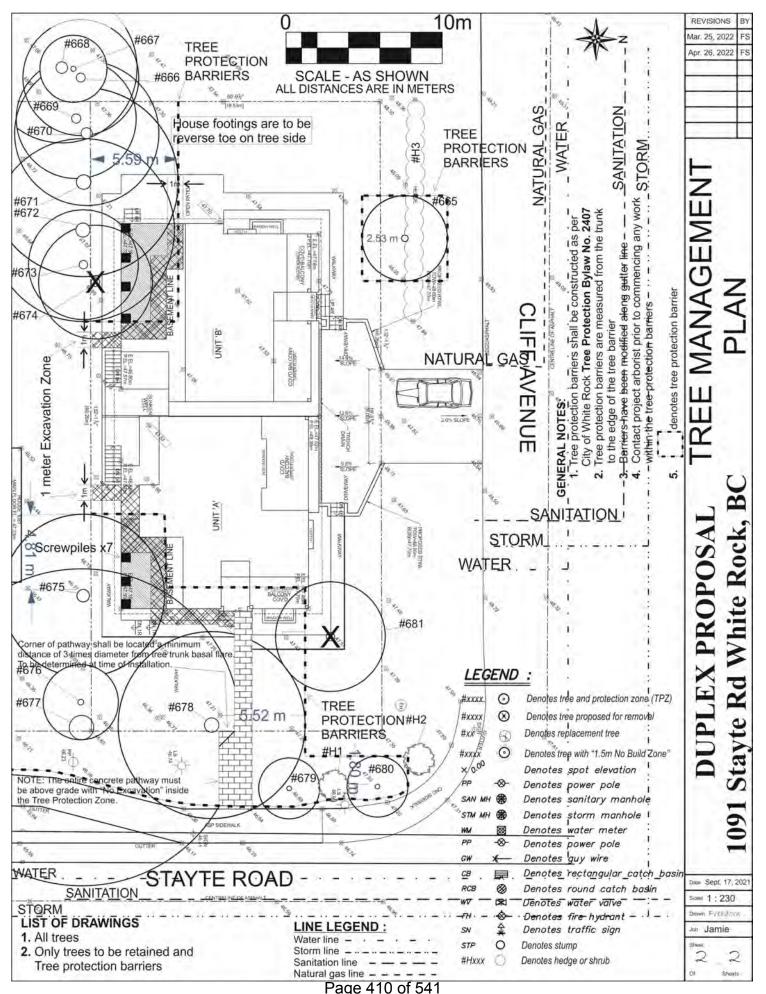


Photo 19 Hedge #2 on city property. Volunteer trees have started growing in the hedge.

Arborist Report - 1091 Stayte Road



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ASSUMPTIONS AND LIMITING CONDITIONS

- Information contained in this report covers only those items that were examined and reflects conditions of those items at the time of assessment. The assessment is limited to visual examination of accessible items without dissection, excavation, climbing or coring.
- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible, however, Freedom Tree Care Ltd can neither guarantee nor be responsible for the accuracy of information.
- Any legal description provided to the consultant is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Freedom Tree Care Ltd shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made .
- Loss or altercation of any part of this report invalidates the entire report.
- This report shall be used for its intended purpose only and by the parties to whom it is addressed. Neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written and verbal consent of Freedom Tree Care Ltd.
- Sketches, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be constructed as engineering or architectural reports or surveys.
- There is no warranty or guarantee expressed or implied, that problems or deficiencies of the tree or other plant or property in question may not arise in the future.

I certify that this report has been prepared in accordance with accepted Arboricultural standards from the information made available to me at the time, and that the facts and opinions expressed within it are true and accurate to the best of my knowledge and belief.

If there are any questions regarding the contents of this report, please contact Freedom Tree Care Ltd.

Araden Suberid

Freedom Sukenick ISA Certified Arborist #PN-7712A Certified Tree Risk Assessor (TRAQ) Freedom Tree Care Ltd.



October 27, 2021

File: 19-3960

City of White Rock Planning and Development Services 15322 Buena Vista Avenue White Rock, BC V4B 1Y6

Attn: Neethu Syam, Planner

Dear Madam:

Re: 1091 Stayte Road, White Rock White Rock File No. 20-005 Summary of Public Information Meeting Held October 8, 2020

Application Profile

The Proposal is to rezone from the RS-1 one unit residential to the RT-1 two-unit residential Duplex zone (no secondary suites). A minor Development Permit for form and character is required to ensure duplex complies with the mature neighborhood DP area Guidelines in the OCP. Three stories are proposed with no basement suites. The site access will be from Cliff Avenue via shared driveway and not from Stayte Road.

Notification of Public Information Meeting

White Rock's Planning Department sent out PIM Notification letters to the property owners in the area.

Time and Location

The Public Information Meeting was held on Thursday October 8, 2020 virtually through a Microsoft Teams - "Live Event". The meeting was from 5:30p.m to 6:30p.m.

Project Representatives

Owner/Developer: Designer: City of White Rock:

CitiWest Consulting Ltd.: Natalie Pullman, Planning Assistant Mirus Enterprises (Jamie Walgren) Raj Toora, House Designer Athena Van Hausen, Planner





Attendance

There was one attendee of the meeting, the neighbor to the South.

Comment Sheet

We haven't received any comments other than the comment provided at the Public Information Meeting. The comment was related to the offsite tree removal.

Meeting Format

The meeting was held virtually through Microsoft Teams "Live Event". PowerPoint presentation of surrounding zoning, proposed layout, detailed House Plans, site plans, and a neighbourhood aerial photograph were presented by Natalie Pullman and Raj Toora. Questions asked during the meeting were addressed by CitiWest staff, City representative and the developer. This meeting addressed the proposed development application and the layout.

Results

Overview of concerns/comments:

Comments:

- Neighbor responded positively to the house design.
- The neighbor raised concerned about offsite tree removal, and potential damage to the health of the trees with the duplex development.

Developer's Explanation / Action:

- The developer is making every effort to save as many of the healthy trees as possible, based on the arborist's professional experience and recommendations.
- Arborist will be present onsite during excavation and construction near TPZ to ensure no damage is done to the trees to be retained.
- Developer reached out to the neighbors after PIM to obtain permission for off site tree removal. Since the neighbors declined to provide their permission, the design was revised to retain all offsite trees by incorporating Screw Pile foundation.

Conclusion

After reviewing the comment and public feedback, there are no concerns from the surrounding neighbors other than the neighbor to the immediate south. In order to seek support from the neighbor, the developer has amended the design by



incorporating Screw Piles Foundation, thereby retaining all the offsite trees on the neighboring property.

Through amendments to the design, the developer has demonstrated their willingness to provide a balance that is satisfactory to the neighbours and the City of White Rock, with the current proposal.

We request that you please review the proposed possible option and supporting reasons given by the developer and their representatives. We look forward to working with you and proceeding with the project to ADP and Council in the near future. If you have any questions, please me at 604-591-2213.

Yours truly,

CitiWest Consulting Ltd.

lasleen Your

Jasleen Kaur, GradTech Planning/Engineering Assistant

JK/rj

cc: Mirus Enterprises (Jamie Walgren)

MINUTE EXTRACTS REGARDING BYLAW 2438: WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT (RT-1 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438

Advisory Design Panel – March 15, 2022

4.2. Application: 1091 Stayte Road - Proposed Duplex - J. Ogden (Owner)

The Owner provided an overview of their proposed duplex development.

- A member of the Panel asked the Owner why there was a gap between the units on the second level. The Owner responded that it was an attempt to reduce the mirroring effect of the two units. The Panel noted that there may be some heat loss from having two exterior walls in the design.
- A member of the Panel recommended using a different variety of tree and plant species along the property line. It was suggested that utilizing different tree and plant species may also reduce the need for a large fence.
- A member of the Panel noted that there was a lack of windows on the rear elevation. They recommended using some colours and elements from the front elevation on the rear. They also recommended using vertical windows instead of horizontal windows.
- A member of the Panel had concerns with some mature off-site trees from the adjacent property impacting the building on the first and second floors. The Owner said that there may need to be some trimming done to prevent this. The Panel asked if the Arborist and the neighbour came to an agreement to allow the trees to be trimmed. The Owner responded by saying he will have to discuss this with the Arborist.
- A member of the Panel noted that one of the large off-site trees may not survive the construction that occurs in the root zone area. The Panel also noted that the City's new Tree Protection Bylaw may require revisions to the Arborist Report that was submitted with the application.
- A member of the Panel asked about the location of the garbage/recycling bins. City Staff
 responded by saying that the Applicant proposed an enclosed structure for the bins, but this
 may impact the setback requirements and is still under discussion.
- A member of the Panel recommended that the proposal include roughed-in electric vehicle charging infrastructure.

Following the receipt of final comments, the Chairperson asked for a motion.

It was MOVED by R. Dhall and SECONDED by F. Kubacki.

THAT the Advisory Design Panel supports the application for the development proposal at 1091 Stayte Road proceeding to Council, subject to the following considerations made to the satisfaction of Staff:

- Recommendation to use a different variety of tree and plant species along the property line to reduce the need for a large fence.
- Recommendation to use colours and elements from the front elevation on the rear elevation.
- Revise the design to replace the horizontal windows with larger vertical windows.
- Recommendation to include roughed-in electric vehicle charging infrastructure in the design.

CARRIED

A member of the Panel requested an additional motion to update the unit addresses to align with the streets they are facing.

It was MOVED by P. Byer and SECONDED by P. Rust.

CARRIED

Regular Council Meeting – July 25, 2022 (DRAFT/UNAPPROVED)

6.2.I CONSIDERATION OF FIRST AND SECOND READING OF "WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT (RT-1 - 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438"

Corporate report dated July 25, 2022 from the Director of Planning and Development Services titled "Consideration of First and Second Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (R-T -1 - 1091 Stayte Road) Bylaw, 2022, No. 2438".

Note: This item would usually go the Land Use and Planning Committee then onto the Regular Council meeting agenda. The applicant's revised submission and staff review were completed just short of the advertising deadline to notify that a Land Use and Planning Committee meeting has been scheduled. Due to timing of the Council term, it was requested to place the item on the Regular Council meeting. Council may wish to consider this application directly or you may defer discussion / consideration until the next scheduled meeting date in September. **Note:** If Council considers this item at the Regular Meeting, Bylaw 2438 is on the agenda for consideration of first and second reading under Item 8.1.d.

Motion Number: 2022-333 It was MOVED and SECONDED

THAT Council receive for information the corporate report from the Director of Planning and Development Services titled "Consideration of 1st and 2nd Reading of White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438".

Motion CARRIED (6 to 0)

8.1.d BYLAW 2438 - WHITE ROCK ZONING BYLAW, 2012, AMENDMENT (R-1- 1091 STAYTE ROAD) BYLAW, 2022, NO. 2438

Bylaw 2438 - A bylaw to amend the "White Rock Zoning Bylaw, 2012, No. 2000" to rezone the property from the "RS-1 One-Unit Residential Zone" to the "RT-1 Two-Unit (duplex) Residential Zone" at 1091 Stayte Road. If approved, it would allow for the construction of a duplex on the property.

Note: This bylaw was the subject of a Corporate Report under Item 6.2.i

Motion Number: 330-343 It was MOVED and SECONDED

THAT Council give first and second readings to "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438".

Motion CARRIED (6 to 0)

Motion Number: 330-344 It was MOVED and SECONDED

THAT Council direct staff to schedule the public hearing for "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438".

Motion CARRIED (6 to 0)

Motion Number: 330-345 It was MOVED and SECONDED

THAT Council direct staff to address the following conditions prior to bringing "White Rock Zoning Bylaw, 2012, No. 2000, Amendment (RT-1 – 1091 Stayte Road) Bylaw, 2022, No. 2438" back for consideration of final adoption:

- Ensure that all engineering requirements and issues, including road dedication and the execution of a Works and Servicing Agreement, are addressed to the satisfaction of the Director of Engineering and Municipal Operations;
- Ensure that the east pedestrian walkway is revised, and updated drawings are submitted and approved by the Director of Planning and Development Services;
- Registration of a Section No. 219 Covenant to restrict basement suites;
- Ensure that all matters pertaining to tree protection and retention are addressed to the satisfaction of the Director of Planning and Development Services;
- Confirm and ensure the recommendations of the final arborist report, approved by the Director of Planning and Development Services and, more specifically the city's Arboricultural Technician, are implemented and maintained through future demolition and construction activities; and
- Complete the demolition of the existing dwelling to the satisfaction of the Director of Planning and Development Services.

Motion CARRIED (6 to 0)