



THE CORPORATION OF THE CITY OF WHITE ROCK

15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

April 28, 2021

A **DIGITAL MEETING** of the **BOARD OF VARIANCE** will be held using **MICROSOFT TEAMS** on **WEDNESDAY, April 28, 2021 at 3:30 p.m.** for the transaction of business listed below.

Tracey Arthur, Director of Corporate Administration

A G E N D A

1. CALL TO ORDER

2. ADOPTION OF THE AGENDA

RECOMMENDATION

THAT the board of variance adopts the April 28, 2021 agenda as circulated.

3. ADOPTION OF THE MINUTES

RECOMMENDATION

THAT the board of variance adopts the minutes from the February 24, 2021 meeting as circulated.

4. APPEAL SUBMISSIONS TO THE BOARD OF VARIANCE

4.1 BOV 21-012, 1051 Finlay Street

To accommodate the construction of a new single family dwelling, the applicant is seeking relief from City of White Rock Zoning Bylaw, 2012, No. 2000, as follows:

- i. Reduce the minimum rear yard setback from 7.5m to 1.5m (Zoning Bylaw Section 6.1.6)

4.2 BOV 21-013, 14910 Buena Vista Avenue

To accommodate the construction of a new single family dwelling, the applicant is seeking relief from City of White Rock Zoning Bylaw, 2012, No. 2000, as follows:

- i. Increase the max. lot coverage from 45% to 55% (Zoning Bylaw Section 6.10.3)
- ii. Reduce the min. front yard setback from 7.5m to 0m (Zoning Bylaw Section 6.10.6);
- iii. Reduce the min. rear yard setback from 7.5m to 4.2m (Zoning Bylaw Section 6.10.6);
- iv. Reduce the min. side yard setback (east) from 1.5m to 1.2m (Zoning Bylaw Section 6.10.6); and
- v. Reduce the min. side yard setback (west) from 1.5m to 1.2m (Zoning Bylaw Section 6.10.6)

5. CONCLUSION OF THE MEETING

HOW TO ACCESS DIGITAL MEETING

Meetings of the BOV are open to the public, however, only members of the applications and representatives are permitted to discuss the merits of a proposal. Should you wish to join and observe the “Microsoft Teams” meeting, please email planning@whiterockcity.ca by noon April 28, 2021 (quote “BOV Meeting – April 28, 2021” in the subject bar) to receive an invitation to attend.

THE CORPORATION OF THE
CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

Minutes from a **BOARD OF VARIANCE** meeting held at the City of White Rock Council Chambers at 15322 Buena Vista Avenue on **Wednesday, February 24, at 3:30 p.m.**

BOARD MEMBERS: L. EBENAL
J. GILL
G. PARKIN

ABSENT: None

STAFF: T. WELSH
B. HARDEO

GUESTS: Applicant / Agent, 14910 Buena Vista Avenue
Owner/Resident, 14910 Buena Vista Avenue
Owner/Resident, 14918 Buena Vista Avenue
Owner/Resident, 14918 Buena Vista Avenue
Owner/Resident, 14921 Buena Vista Avenue
Owner/Resident, 14907 Buena Vista Avenue
Owner/Resident, 14931 Buena Vista Avenue
Owner/Resident, 14903 Beachview Avenue

1. CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m., board members and staff were introduced.

2. ADOPTION OF AGENDA

It was MOVED and SECONDED

THAT the Agenda for the Board of Variance meeting scheduled for February 24, 2021, be approved.

CARRIED

3. ADOPTION OF MINUTES

It was MOVED and SECONDED

THAT the Minutes from the September 16, 2020 Board of Variance meeting be adopted as circulated.

CARRIED

Board Member, Geoff Parkin declared a conflict of interest in the presenting appeal and recused himself from remainder of the meeting.

Referenced zoning sections were corrected from the agenda, 6.10.6 and 6.10.3 to be 6.1.6 and 6.1.3

4. APPEAL SUBMISSIONS TO THE BOARD OF VARIANCE

BOV 21-003, 14910 Buena Vista Avenue

The Board heard from the applicant (agent), Ron Peterson, who was seeking variances to:

- i. Reduce the min. front yard setback from 7.5m to 0m (Zoning Bylaw Section 6.1.6);
- ii. Reduce the min. rear yard setback from 7.5m to 4.2m (Zoning Bylaw Section 6.1.6);
- iii. Reduce the min. side yard setback (east) from 1.5m to 1.2m (Zoning Bylaw Section 6.1.6);
- iv. Reduce the min. side yard setback (west) from 1.5m to 1.2m (Zoning Bylaw Section 6.10.6); and
- v. Increase the max. lot coverage from 45% to 55% (Zoning Bylaw Section 6.1.3)

The Applicant spoke to the application and addressed specific 'Department Summary' comments. As well, answered questions regarding the application by the board members.

The Board heard from 2 members of the public who were in attendance, both who spoke in opposition to the support of the application.

There were four (4) written comments received regarding the application for the Board's consideration, all for which expressed general opposition to the application.

The Board expressed concern regarding the constructability of the project given the reduced setbacks to the property. As well, noted concern regarding the increased permissible height under the Zoning Bylaw that would be allowed with the variance.

It was MOVED and SECONDED

THAT the applicant would experience hardship as the ability to build a reasonably sized home.

CARRIED

Chair sought a motion on the appeal as a whole:

It was MOVED and SECONDED

THAT the appeal be GRANTED for variances to Section 6.1.6 of White Rock Zoning Bylaw 2012, No. 2000 to reduce the minimum front yard setback from 7.5m to 0m, the minimum rear yard setback from 7.5m to 4.2m, the minimum side yard setback (east) from 1.5m to 1.2m, the minimum side yard setback (west) from 1.5m to 1.2m and Section 6.1.3 of White Rock Zoning Bylaw 2012, No. 2000 to increase the maximum lot coverage from 45% to 55%.

DEFEATED

5. CONCLUSION OF THE MEETING

There being no further business, the meeting adjourned at 5:31 p.m.

The foregoing Minutes of are hereby certified correct.

Lorne Ebenal
Chairperson

Bonnie Hardeo
Recording Secretary

UNADOPTED

BOV 21-012 1051 Finlay Street



Board of Variance

Application Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

www.whiterockcity.ca

15322 Buena Vista, White Rock B.C. V4B 1Y6

In accordance with White Rock Board of Variance Bylaw, 2004, No. 1753 and White Rock Planning Procedures Bylaw, 2017, No. 2234, I / we hereby submit the following application to the Board of Variance:

Site Address(es)	1051 Finlay Street
PID(s)	005-371-511
Legal Description(s)	Lot 61, SEC 11, NWD, PL NWP40576, TWP 1
Zoning	RS-1

Variance(s) Requested

Please detail the specific variances to the White Rock Zoning Bylaw, 2012, No. 2000 that you are requesting below:

Variance Requested	Zoning Bylaw Section
Example: Front Lot Line Setback from 7.5 metres to 6.0 metres in RS-1 Zone	Example: Section 6.1.6 (3)
Rear Lot Line Setback from 7.5m to 1.5m in RS-1 Zone	6.1.6 (1)

Description of Proposal

Please provide a short description of your proposal below:

Proposing a new built home designed to have the 'front' door and driveway access to remain off the north property line, which has been designated by the City to be the 'side' setback (City has designated the 'front' property line to be the east, which abuts a steep pedestrian stair access). Home has been designed to orient consistently with the homes beside, which all face Pacific Lane (north), and all have 1.5m side setbacks. This would keep the open space on the property to the south which is more favourable to maintain the view corridors for the neighbouring properties.

Hardship Statement

The Board of Variance is authorized to act only in cases of undue hardship as relating to the siting, size, or shape of buildings or structures on a property. Please provide a short description of your hardship below:

This property is an irregular shape, with a total size of 488 Sq.m, and slopes 8.9m in elevation over the distance of 33.5m. The City has designated the East property line to be the 'front' of the property, which is inaccessible as there is a steep public access stair along this property line. The only access to the property is along the north property line. The designation of the property orientation has resulted in a very awkward building envelope - with under 9' of width on the only side accessible by road - this is not wide enough to fit a single car garage (and definitely not enough to fit a garage and a front door). Building within the setbacks with this orientation would more negatively affect the neighbours as the building would then be pushed further south, causing view corridors and sunlight to be impacted.

Minimum Application Requirements

Please use the following checklist to assist with the preparation of your application:

Checklist	CHECK
A Completed Application Form with associated fee (\$550) <i>Note: 8 copies of this document are required.</i>	
An Authorized Agent Form, if the property owner is represented by a third party	
Proof of Business Ownership <i>Note: Required if the property owner is a corporation; includes Notice of Articles, Certificate of Incorporation, BC Company Summary</i>	
A recent title search, dated within 30 days of the application <i>Note: Staff will require copies of any applicable legal encumbrances on title.</i>	
A Registered Survey Plan <i>Note: The Registered Survey Plan must show the existing ("permitted") and proposed ("varied") dimensions of the building envelope. It must also show the topography of the site, along with the siting, size and elevations of trees located on and around the subject property. Along with the original stamped/sealed survey plan, 8 copies (11 by 17) are required.</i>	
Site Plan, Building Elevations Plans, and Floor Plans <i>Note: Only plans applicable to the requested variances are required. Be sure to verify which ones are required with staff. 8 copies of these plans (11 by 17) are required.</i>	

Additional Application Requirements

Some applications may have additional submission requirements. Other studies not described here may be required. Please verify with Planning staff before proceeding with the submission of this application:

Checklist	STAFF CHECK	APPLICANT CHECK
Tree Assessment Report <i>Note: The report, as prepared by a certified arborist, will need to identify trees of protected size for retention and removal on and around the subject property (see: White Rock Tree Management Bylaw, 2008, No. 1831). 8 copies of this document are required.</i>		
Parking Plan <i>Note: The plan will illustrate off-street (on-site) parking space dimensions, drive aisles, and turning radiuses. 8 copies of this document are required.</i>		

DEVELOPMENT PROPOSAL APPLICATION – INFORMATION SHEET

The City of White Rock has received a development proposal application for the below-listed property. A comment sheet, along with all applicable submission material, is attached in the relevant Folder in Tempest. Each department is requested to review the development proposal application request and provide written comment based on their department's responsibility. If no comments are received, it will be assumed that your department's interests are unaffected.

TEMPEST FOLDER NO.	BOV00018
FILE REFERENCE NO.	BOV 21-012
COMMENTS DUE	April 6, 2021

APPLICANT	Shane Cox (agent)
CIVIC ADDRESS	1051 Finlay Street
LEGAL DESCRIPTION	LOT 61, PLAN NWP40576, PART SW1/4, SECTION 11, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT
PID	005-371-511

PROPOSAL	Proposed demolition and construction of SFD home. Relief sought from the "rear yard setback" of the RS-1 Zone to allow the dwelling to be 1.5 metres from the rear lot line whereas the zoning requires a minimum setback of 7.5 metres. The other applicable standards of the Bylaw appear to have been satisfied.
ATTACHMENTS	<ol style="list-style-type: none"> 1. Application Form 2. Building Drawings / Plans (including Site Plan) 3. Legal Survey



DEVELOPMENT PROPOSAL APPLICATION – SUMMARY OF COMMENTS SHEET

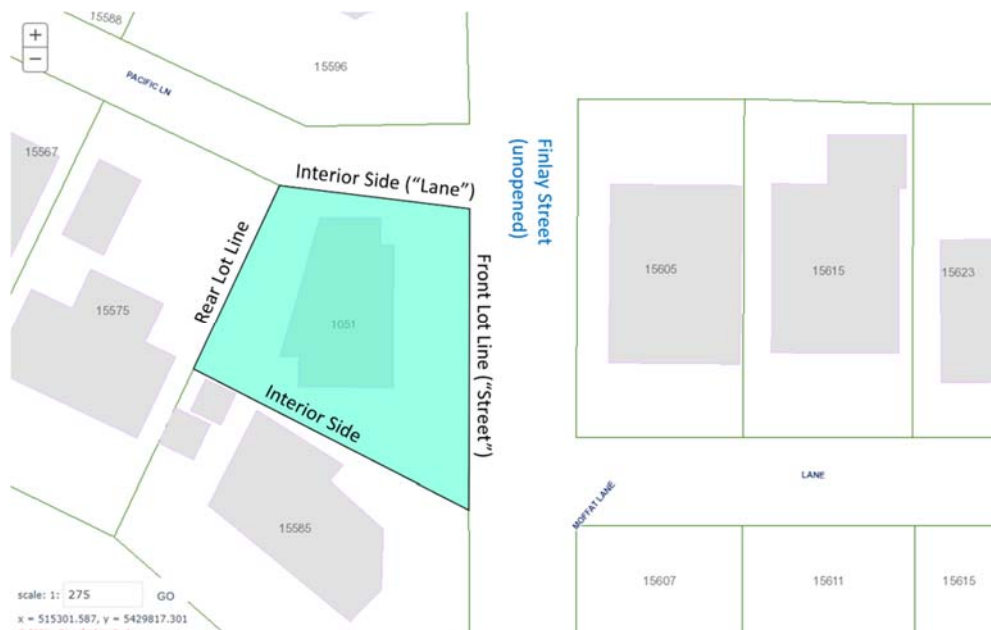
PROJECT NAME	1051 Finlay Street
PROJECT NUMBER	
FOLDER TYPE & NO.	BOV00018
REFERENCE NO.	21-012
COMMENTS DUE	April 6, 2021

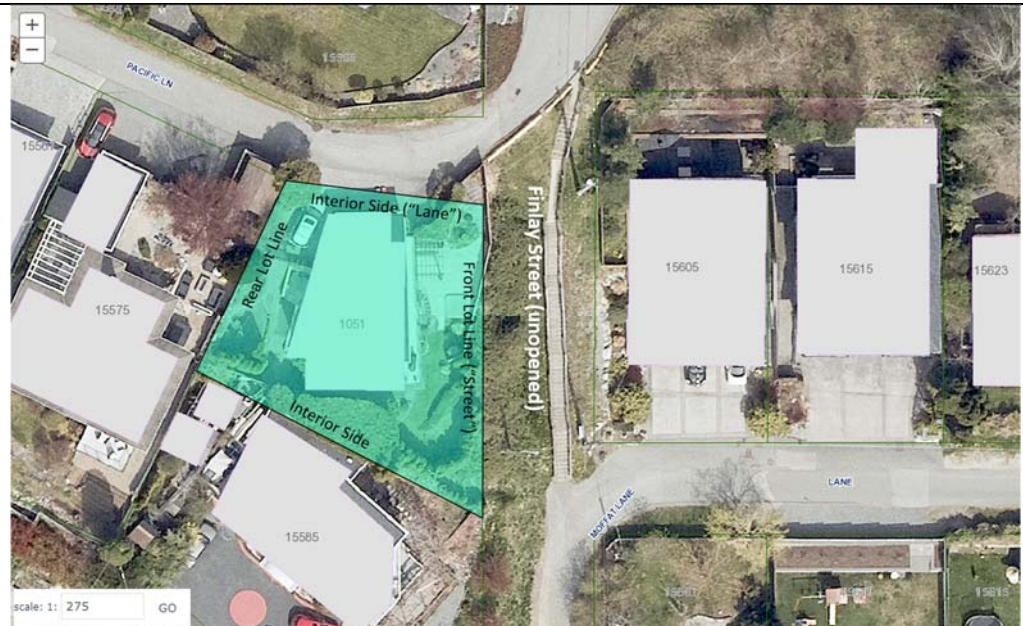
CIVIC ADDRESS	1051 Finlay Street
PROPOSAL	Proposed demolition and construction of SFD home. Relief sought from the “rear yard setback” of the RS-1 Zone to allow the dwelling to be 1.5 metres from the rear lot line whereas the zoning requires a minimum setback of 7.5 metres.

DEPARTMENT	COMMENTS
Planning	<p><u>OFFICIAL COMMUNITY PLAN:</u></p> <p>The subject property is designated “Mature Neighbourhood” in the City of White Rock Official Community Plan. The designation supports “gentle infill” in the form of secondary suites, duplexes and triplexes (Policy 7.4.1). The designation permits single detached dwellings in addition to duplexes, triplexes and secondary suites in single detached homes (Policy 8.8.1). The OCP recognizes that the zoning bylaw will be used to specify density and height maximums for lands within the Mature Neighbourhood designation, whereas other lands (e.g., Town Centre, Lower Town Centre, Waterfront Village, etc.) have density and height limits generally established by Figures 9 and 10 of the OCP, respectively.</p> <p>Policy 8.13.5 of the OCP encourages lot consolidations where smaller sites do not allow for functional development at the allowable FARs. The subject proposal would, if approved, allow for a 2,255 square foot home with an 871 square foot basement and a 276 square foot garage.</p> <p>Policy 12.1.5 pertains to Rainwater Run-Off management and supports integrated stormwater management practices and other green infrastructure measures to reduce the potential for untreated / uncontrolled stormwater to enter the municipal system. Policy 16.2.4 also supports efforts to reduce base flows and the frequency and magnitude of peak [stormwater] flows by minimizing impervious surfaces in new developments.</p> <p>Policy 12.2.2 supports efforts to preserve and protect mature, healthy trees throughout the City by requiring that projects be designed with the intent of preserving and protecting mature, healthy trees.</p> <p><u>ZONING BYLAW:</u></p>

The property is zoned One Unit Residential Zone (RS-1). The intent of the zone is to accommodate one-unit residential buildings on lots of 464 square metres (4,995 square feet) or larger. The subject property is 488 square metres in area. The drawings have been reviewed against the applicable provisions of the City of White Rock Zoning Bylaw, 2012, No. 2000, and more specifically the requirements of the RS-1 Zone. The following is a summary of the project as it relates to applicable provisions of the Zoning Bylaw.

It is worth acknowledging the manner in which the lot lines (yards) are applied to the subject property (see figures below). Although Finlay Street is unopened, the road allowance itself is considered a “street”. The Zoning Bylaw provides that the “Lot Line, Front” is the lot line common to the lot and abutting a “street”. The minimum front lot line setback of the RS-1 Zone is 7.5 metres; the design complies with this setback although the Applicant will be required to ensure the features (e.g., waterfall, planters, steps, etc.) comply with the permitted projections as outlined in **Section 4.13** of the Bylaw. Pacific Lane is a “lane” as defined in the Bylaw and is the property line to which the required “Interior Side Lot Line (abutting a lane)” setback (2.4 metres) of the RS-1 Zone is applied; this setback is being met with the proposed design. The southern limit of the property is an “Interior side lot line” with a minimum setback of 1.5 metres; the setback proposed from this lot line is 3.98 metres. Finally, the “Lot Line, Rear” is the lot line “opposite to and most distant from the front lot line” and the related minimum setback from this lot line, as set out in **Section 6.1.6.1**) of the Zoning Bylaw, is 7.5 metres whereas a setback of 1.5 metres is proposed. It is acknowledged that the western limit of the property, recognized as the “Lot Line, Rear”, functions largely as an interior side lot line. The RS-1 Zone would, on a more regular lot, establish a minimum interior side lot line of 1.5 metres, being in alignment with the setback proposed through this application.





Section 4.13 Siting Exceptions and Projections

It is unclear from the plans whether or not the Applicant will require relief from this section of the Zoning Bylaw. This aspect of the project would be reviewed upon receipt of a building permit.

Section 4.14 Off-Street Parking Requirements

For a “One-Unit Residential Use” a minimum of two (2) parking spaces are required. The designs submitted by the Applicant illustrate space for one vehicle in the garage and one in the driveway.

Section 6.1.3 Maximum Lot Coverage:

The RS-1 Zone allows for maximum lot coverage of 45% and the project proposes approximately 30%.

Section 6.1.4 Floor Area:

The maximum “residential gross floor area” shall not exceed 0.5 times the lot area. In this case the lot area is noted by the Applicant as 488 square metres, which would allow for 244 square metres (2,625 square feet) of residential gross floor area, which excludes the area of any “basement” and garage. The proposal presents gross floor area of 209.52 square metres, representing 0.429 times the lot area.

Section 6.1.5 Building Heights

The maximum building height permitted in the RS-1 Zone is 7.7 metres.

Section 4.8 of the Zoning Bylaw outlines the method of measuring maximum building height. As outlined in the Section, building height is measured as the vertical distance between an “average natural grade” and the highest point of

	<p>the building or structure. The “average natural grade” is determined by measuring the natural grade at the midpoints of the walls on all sides of the building or structure and then dividing this number by the number of sides (building walls).</p> <p>In this case, the Applicant has identified the “average natural grade” tied to the proposal as 50.55 metres (geodetic). The application proposes a maximum building height of 57.97m (geodetic). The vertical distance between the average natural grade and the highest point of the building is therefore 7.42 meters, being compliant with the maximum height standard of the RS-1 Zone.</p> <p>It is important to acknowledge that the maximum height standard of the zoning bylaw is not based on the location of the building relative to property lines, despite the minimum setback requirements of the bylaw. Rather, the maximum height measurement is taken on the basis of the location of the building within the lot. Enabling a lesser front yard setback will have the effect of pulling the “average natural grade” applicable to the building location up the existing slope of the lot resulting in a taller building, all other design elements remaining the same.</p> <p>Section 6.1.6 Minimum Setback Requirements:</p> <p>The following table outlines the minimum setbacks required in the RS-1 Zone and the relief sought by the application.</p> <table border="1" data-bbox="428 1003 1422 1257"> <thead> <tr> <th>Standard (min. setback)</th> <th>Required</th> <th>Proposed</th> <th>Relief</th> </tr> </thead> <tbody> <tr> <td>Front Lot Line (Finlay)</td> <td>7.5 metres</td> <td>7.5 metres</td> <td>None</td> </tr> <tr> <td>Rear Lot Line (eastern boundary)</td> <td>7.5 metres</td> <td>1.5 metres</td> <td>6.0 metres</td> </tr> <tr> <td>Interior Side Lot Line (lane)</td> <td>2.4 metres</td> <td>5.07 metres</td> <td>None</td> </tr> <tr> <td>Interior Side Lot Line (south)</td> <td>1.5 metres</td> <td>3.9 metres</td> <td>None</td> </tr> </tbody> </table> <p><i>All other provisions of the RS-1 Zone appear to be satisfied by the proposal.</i></p>	Standard (min. setback)	Required	Proposed	Relief	Front Lot Line (Finlay)	7.5 metres	7.5 metres	None	Rear Lot Line (eastern boundary)	7.5 metres	1.5 metres	6.0 metres	Interior Side Lot Line (lane)	2.4 metres	5.07 metres	None	Interior Side Lot Line (south)	1.5 metres	3.9 metres	None
Standard (min. setback)	Required	Proposed	Relief																		
Front Lot Line (Finlay)	7.5 metres	7.5 metres	None																		
Rear Lot Line (eastern boundary)	7.5 metres	1.5 metres	6.0 metres																		
Interior Side Lot Line (lane)	2.4 metres	5.07 metres	None																		
Interior Side Lot Line (south)	1.5 metres	3.9 metres	None																		
<p>Planning - Trees</p>	<p>The application for a BOV was made without the submission of a comprehensive arborist report and tree survey. The proposed new residence shows the structure to be alongside several offsite trees on west side of the lot. Under building safety regulations, a minimum of 4 feet additional past the excavation line is required to provide safe accessibility for all contractors working on the home. An arborist report is required to assess and determine the level of impact to protected trees both on and offsite. If the tree will have significant root loss, removal permits are required. The neighbours and owners of this tree would need to be consulted with to support the removal and replacement of trees.</p>																				
<p>Engineering</p>	<p>No foreseeable impacts on City property of infrastructure regarding the proposed BOV.</p>																				
<p>Operations</p>	<p>N/A</p>																				

Fire Department	N/A
Building	No concerns with the BOV application relation to building code. Please note this is not a comprehensive review for building permit approval.
Parking	N/A
Parks	N/A



SKETCH TO ACCOMPANY BOARD OF VARIANCE APPLICATION PLAN OF TOPOGRAPHY OVER LOT 61, SECTION 11, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 40576

B.C.G.S. 92G.007

SCALE: 1:150

CIVIC: #1051 FINLAY STREET, WHITE ROCK, B.C.

LEGEND:

- ▲ OCM DENOTES CONTROL MONUMENT FOUND.
- OIP DENOTES IRON BAR POST FOUND.
- CB DENOTES CATCH BASIN.
- MHSAM DENOTES SANITARY MANHOLE.
- MHSTM DENOTES STORM MANHOLE.
- LB DENOTES LAWN BASIN.
- PP DENOTES POWER POLE.
- HYD DENOTES HYDRANT.
- WV DENOTES WATER VALVE.
- GV DENOTES GAS VALVE.
- EB DENOTES ELECTRICAL BOX.
- LS DENOTES LIGHT STANDARD.
- DENOTES DITCH/SWALE.
- DENOTES EXISTING ELEVATION.
- DENOTES PROPOSED ELEVATION.
- Sqm. DENOTES SQUARE METRES.
- P DENOTES PROPERTY LINE.
- DENOTES DIRECTION OF OVERLAND FLOW.
- N.G. DENOTES CALCULATED AVERAGE NATURAL GRADE 'A.N.G.' AT MIDPOINT OF PROPOSED BUILDING.

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF, UNLESS SHOWN OTHERWISE.
- THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA No. 42 'CITY OF WHITE ROCK' NAD83(CSRS) 4.0.0.BC.1.MVRD.
- GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 88H3845 AND 88H3876 (NAD83(CSRS) 4.0.0.BC.1.MVRD).
- ELEVATIONS SHOWN HEREIN REPRESENT NATURAL GRADES THROUGHOUT SURVEY, WITH THE EXCEPTION OF MAN MADE FEATURES (SUCH AS RETAINING WALLS, DRIVING SURFACES, LANDSCAPING DECK/PATIO).
- ELEVATIONS ARE GEODETIC, SHOWN IN METRES AND DERIVED FROM CITY OF WHITE ROCK INTEGRATED MONUMENT NO. 88H3845 ELEV. = 62.505m (CVD28GVRD2018).
- FEATURES SHOWN WITHOUT DIMENSIONS SHOULD BE CONFIRMED WITH WATSON AND BARNARD LAND SURVEYING.

PROPERTY:

- THIS PLAN IS NOT A BOUNDARY SURVEY.
- LOT DIMENSIONS ARE DERIVED FROM PLAN 40576.
- LOT DIMENSIONS ARE SUBJECT TO CHANGE UPON SURVEY OF THE BOUNDARIES.
- OFFSETS TO PROPERTY LINES ARE NOT TO BE USED TO DEFINE BOUNDARIES.

DESIGN:

CURRENT ZONING: RS1

HOUSE DESIGNER TO CONFIRM ZONING & BUILDING ENVELOPE PRIOR TO DESIGN

THIS PLAN SHOWS THE LOCATION OF VISIBLE SERVICES AND THE APPROXIMATE LOCATION OF UNDERGROUND SERVICES AND UTILITIES WHICH HAVE BEEN DERIVED FROM SKETCHES AND DRAWINGS. BEWARE OF UNDERGROUND ELEC./TEL. CABLE SERVICES SURROUNDING LOT 61. CONTACT BC-GNE CALL FOR LOCATIONS PRIOR TO CONSTRUCTION
WWW.BC.GNE.CA - BC-GNE-CALL TICKET #20399-4315-430

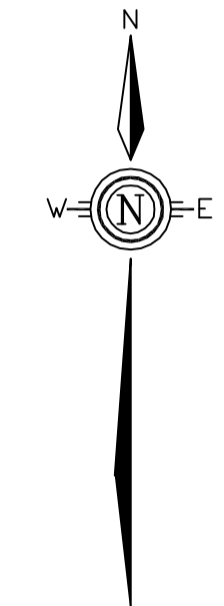
M.B.E. IS THE MINIMUM BASEMENT ELEVATION AND IS THE LOWEST LEVEL TO WHICH THE TOP OF CRAWL SPACE FLOOR, BASEMENT SLAB AND/OR SLAB ON GRADE SHALL BE SET, AND SHALL NOT BE LOWER THAN THE ELEVATION SHOWN. NOTWITHSTANDING THE M.B.E. ELEVATION SHOWN, THE M.B.E. SHALL ALSO BE A MINIMUM OF 0.3 METRES ABOVE THE MAXIMUM POTENTIAL SURCHARGE LEVEL FOR ANY SEPTIC DISPOSAL SYSTEM OR SANITARY SEWER CONNECTION, STORM WATER DISPOSAL DRAINS, MAJOR STORM WATER FLOW PATH AND/OR STORM SEWER CONNECTION.

POINT #	TRUNK D	TYPE	CROWN D
410	2 x 0.30	DECID.	4.0
305	1 x 0.20, 1 x 0.15	CONIF.	4.0
304	0.50	CONIF.	4.0
303	3 x 0.15	CONIF.	4.0
273	0.50	CONIF.	3.0
216	2 x 0.25, 1 x 0.07	DECID.	2.0
212	CLUSTER	DECID.	1.0
210	0.30	DECID.	3.0
173	0.30	CONIF.	4.0

RETAINING WALLS

RET. WALL #	TOP ELEV.	WIDTH	MATERIAL
1	48.13	0.30	BLOCK
2	49.94	0.30	BLOCK
3	49.25	0.30	BLOCK
4	50.55	0.30	BLOCK
5	52.06	0.30	BLOCK
6	52.51	0.30	BLOCK
7	52.53	0.30	CONC.
8	50.08	0.30	CONC.
9	52.70	0.30	CONC.
10	51.12	0.30	BLOCK
11	52.34	0.30	BLOCK
12	44.34	0.10	WOOD
13	VARIES	0.30	BLOCK
14	VARIES	0.30	BLOCK
15	VARIES	0.30	CONC.

WATSON & BARNARD
B.C. LAND SURVEYORS
1524-56th STREET
DELTA, B.C. V4L 2A8
TEL.: 943-9433 FAX: 943-0421



SEC. 11 TP. 1 NWD

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT
CITY OF WHITE ROCK

THIS 11th DAY OF NOVEMBER, 2020

CONNOR R. EMBLETON (982) B.C.L.S.

FILE: 30425TP2 DATE: 2021/04/12 MAP: WR

SERVER: \0683\30425TP2\CWGS\T79\2425LD_M250_DATA\MS\30425.dwg 05:37:51 DT

CONTRACTOR TO VERIFY ALL DIMENSIONS AND MATERIALS ON THESE DRAWINGS AND REPORT ANY DISCREPANCIES TO THIS OFFICE PRIOR TO COMMENCING WITH CONSTRUCTION. SARAH GALLOP DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES NOT REPORTED IN WRITING PRIOR TO CONSTRUCTION. CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. PLANS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF SARAH GALLOP DESIGN INC. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

REVISIONS:

PROJECT DATA

CIVIC ADDRESS						
1051 FINLAY STREET						
WHITE ROCK, BC						
LEGAL DESCRIPTION						
LOT 61, SEC. 11, NMD, FLNMP40576, TWP. 1						
P.I.D. 005-371-511						
ZONING						
ZONE: RS-1						
LOT SIZE	5250.00	SQFT	487.74	SQ M		
AREA TABLE						
UPPER FLOOR	1105.88	SQFT	102.74	SQ M		
MIDDLE FLOOR	1149.37	SQFT	106.78	SQ M		
LOWER FLOOR	871.81	SQFT	80.99	SQ M		
GARAGE - ATTACHED	276.00	SQFT	25.64	SQ M		
GARAGE - AREA OVER 42m2 (452.08 SQFT)	0.00	SQFT	0.00	SQ M		
FRONT PORCH	52.00	SQFT	4.83	SQ M		
DECK	223.45	SQFT	20.76	SQ M		
FLOOR AREA RATIO WHITE ROCK						
PERMITTED:	0.50	x LOT AREA	2625.00	SQFT	243.87	SQ M
PROPOSED:	0.430	x LOT AREA	2255.25	SQFT	209.52	SQ M
UPPER FLOOR / SECOND STOREY	1105.88	SQFT	102.74	SQ M		
MAIN FLOOR / FIRST STOREY	1149.37	SQFT	106.78	SQ M		
BASEMENT / CELLAR FLOOR	NA	SQFT		SQ M		
SITE COVERAGE						
PERMITTED:	0.45	x LOT AREA	2362.50	SQFT	219.48	SQ M
PROPOSED:	0.293	x LOT AREA	1540.04	SQFT	143.07	SQ M
DWELLING	1540.04	SQFT	143.07	SQ M		
OTHER	0.00	SQFT	0.00	SQ M		
HEIGHT - DWELLING						
PERMITTED - ROOF TOP	25.26	'	7.70	m		
PROPOSED - ROOF TOP	24.34	'	7.42	m		

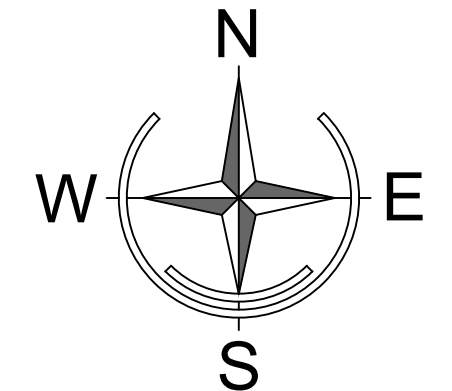
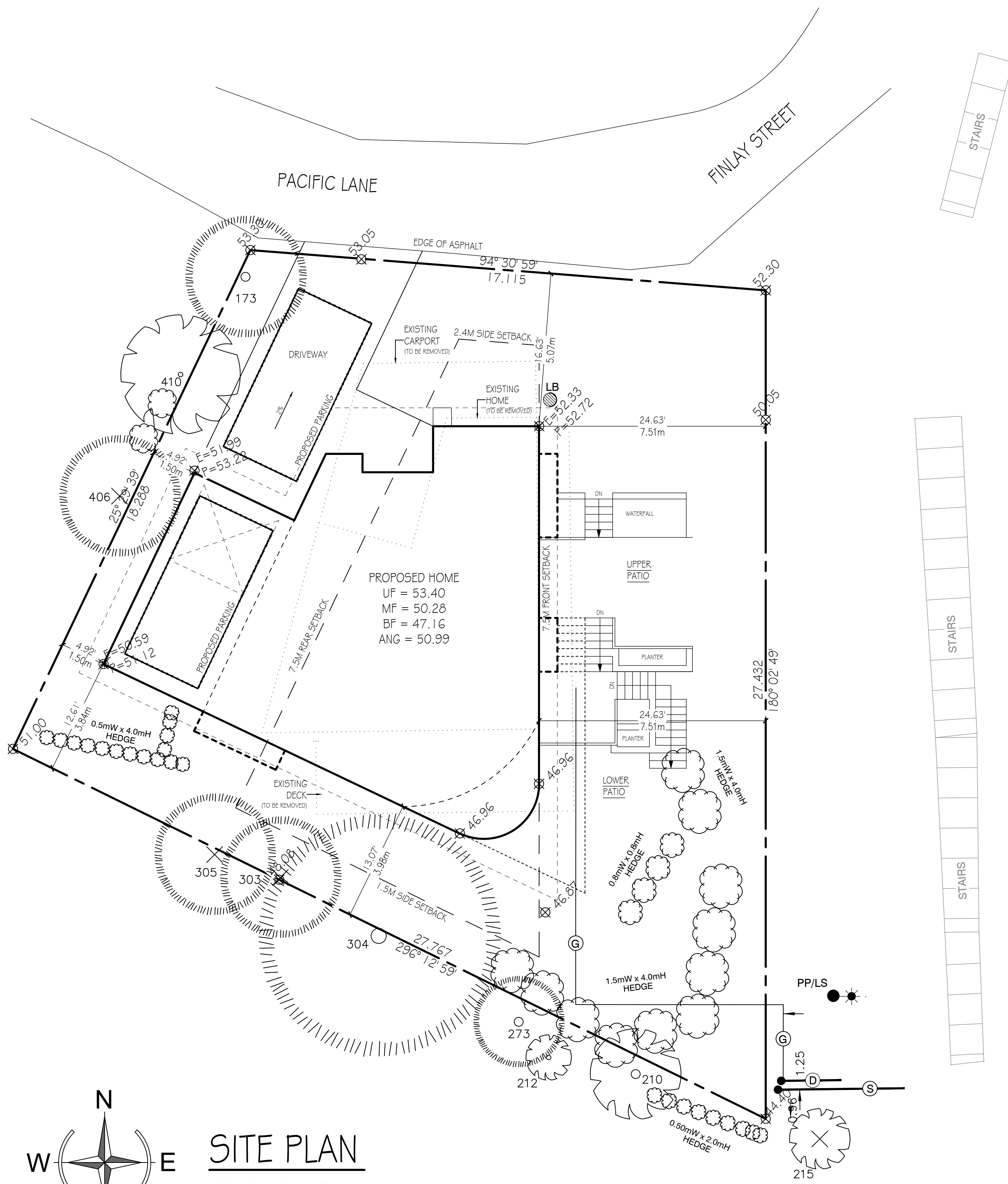
PROJECT DATA - YARDS & SETBACKS

SETBACKS - DWELLING						
	EXISTING		REQUIRED		PROPOSED	
FRONT -	24.54	7.48 m	24.61	7.50 m	24.64	7.51 m
LEFT SIDE -	13.45	4.10 m	4.92	1.50 m	12.60	3.84 m
RIGHT SIDE -	9.65	2.94 m	7.87	2.40 m	16.63	5.07 m
REAR -	16.37	4.99 m	24.61	7.50 m	4.92	1.50 m
REAR - EXCEPTION -	0.00	0.00 m	0.00	0.00 m	0.00	0.00 m

TREE LIST

POINT #	TRUNK Ø	TYPE	CROWN Ø
410	CLUSTER	DECID.	4.0
406	2 x 0.30	CONIF.	4.0
305	1 x 0.20, 1 x 0.15	CONIF.	4.0
304	0.50	CONIF.	8.0
303	3 x 0.15	CONIF.	4.0
273	0.30	CONIF.	3.0
215	2 x 0.05, 1 x 0.07	DECID.	2.0
212	CLUSTER	DECID.	1.0
210	0.30	DECID.	3.0
173	0.30	CONIF.	4.0

- LEGEND:**
- OCM CONTROL MONUMENT FOUND.
 - OIP IRON BAR POST FOUND.
 - CB CATCH BASIN
 - MHSAN SANITARY MANHOLE
 - MHSTM STORM MANHOLE
 - LB LAWN BASIN
 - PP POWER POLE
 - HYD HYDRANT.
 - WV WATER VALVE.
 - GV GAS VALVE.
 - EB ELECTRICAL BOX.
 - LS LIGHT STANDARD.
 - DITCH/SWALE



SITE PLAN
SCALE: 1/8" = 1'-0"



OFFICE LOCATIONS:
#11-1835 56 STREET
DELTA, B.C
PHONE:
604 952 4448
FAX:
888 698 4758
EMAIL:
info@sarahgallop.com

PROJECT:
CANT / JACKSON RESIDENCE
1051 FINLAY ST.
WHITE ROCK, BC

DRAWN BY: SC CHECKED BY: SG

DATE: APRIL 8, 2021

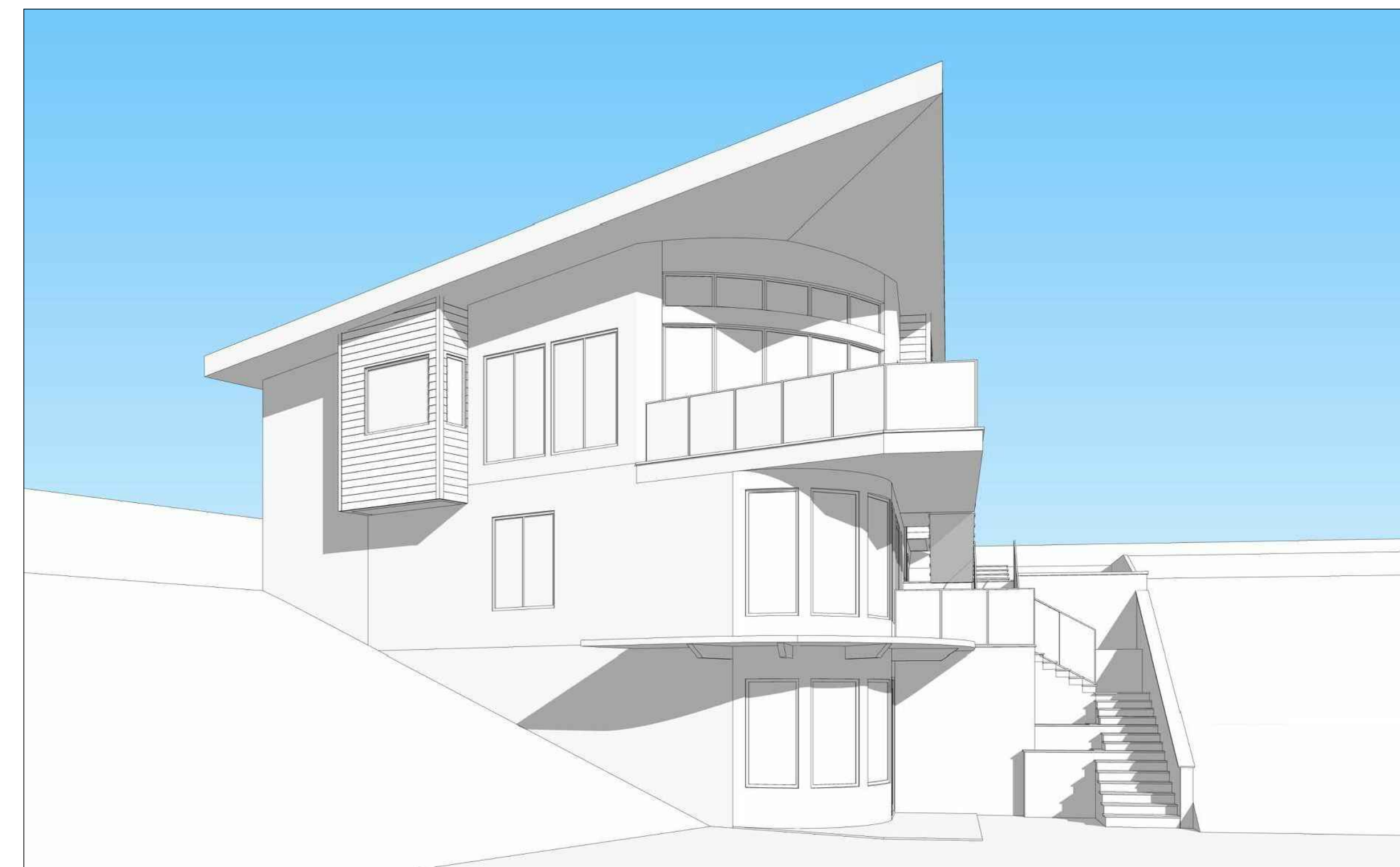
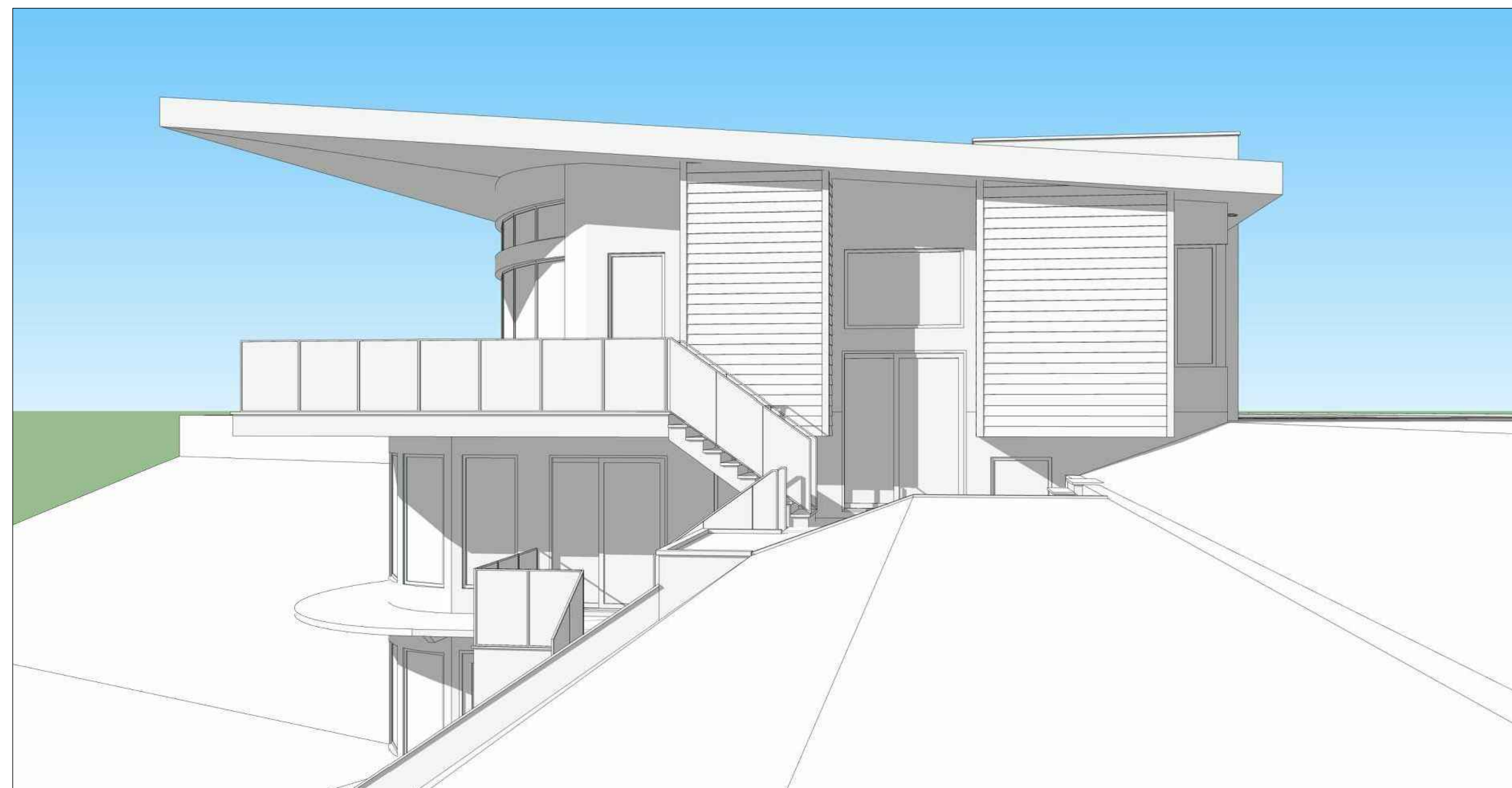
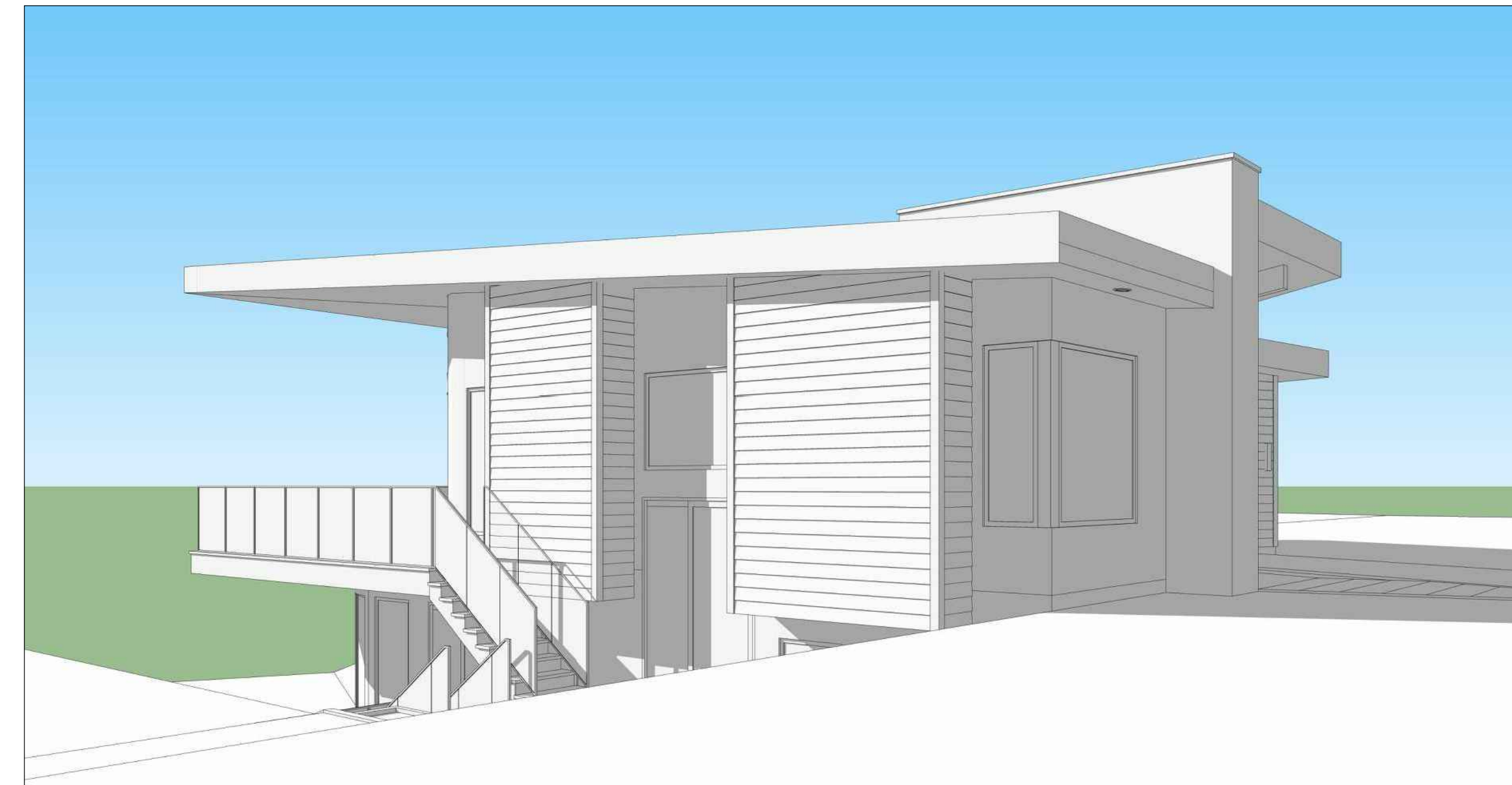
REVISION:

SHEET:

A1 of 8

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EMAIL:
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PROJECT:
CANT / JACKSON RESIDENCE
1051 FINLAY ST.
WHITE ROCK, BC

DRAWN BY: SC CHECKED BY: SG

DATE: MARCH 16, 2021

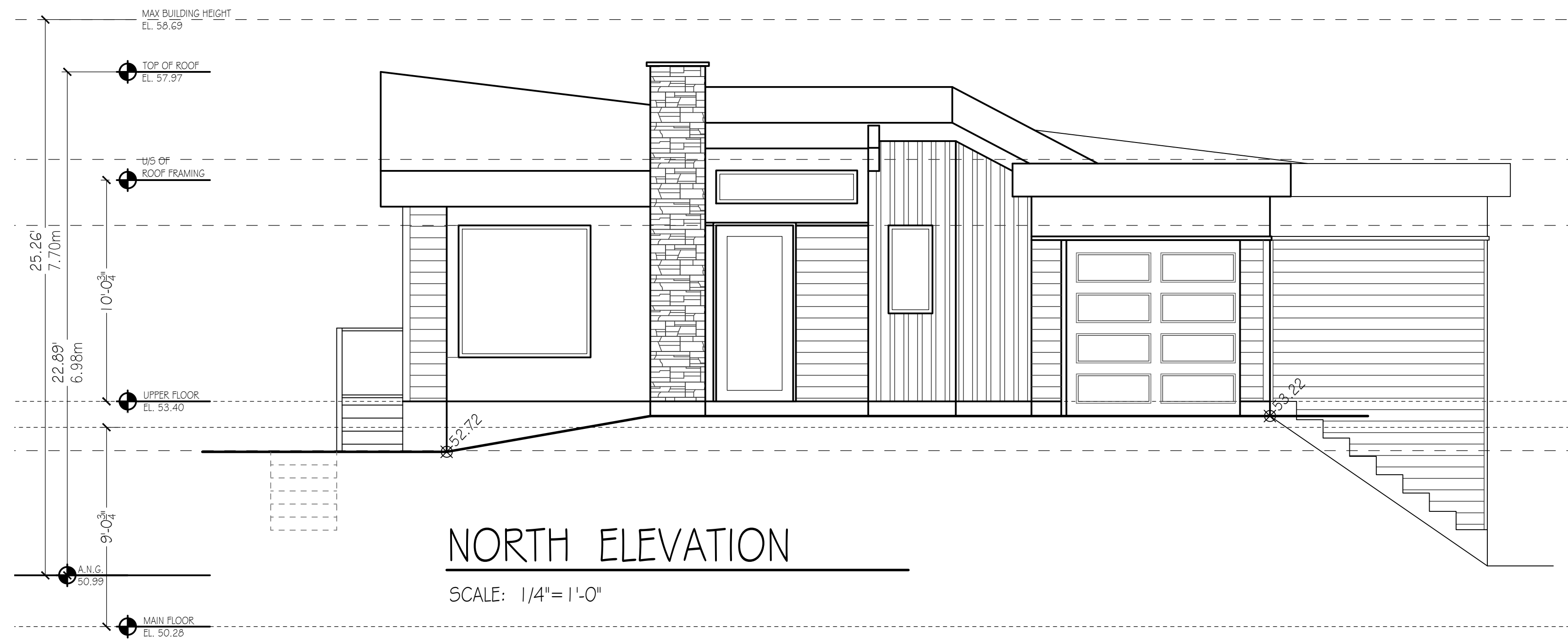
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REVISIONS:



EAST ELEVATION

SCALE: 1/4"=1'-0"



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FAX:
888 698 4758
EMAIL:
info@sarahgallop.com

PROJECT:
CANT / JACKSON RESIDENCE
1051 FINLAY ST.
WHITE ROCK, BC

DRAWN BY: SC CHECKED BY: SG

DATE: APRIL 8, 2021

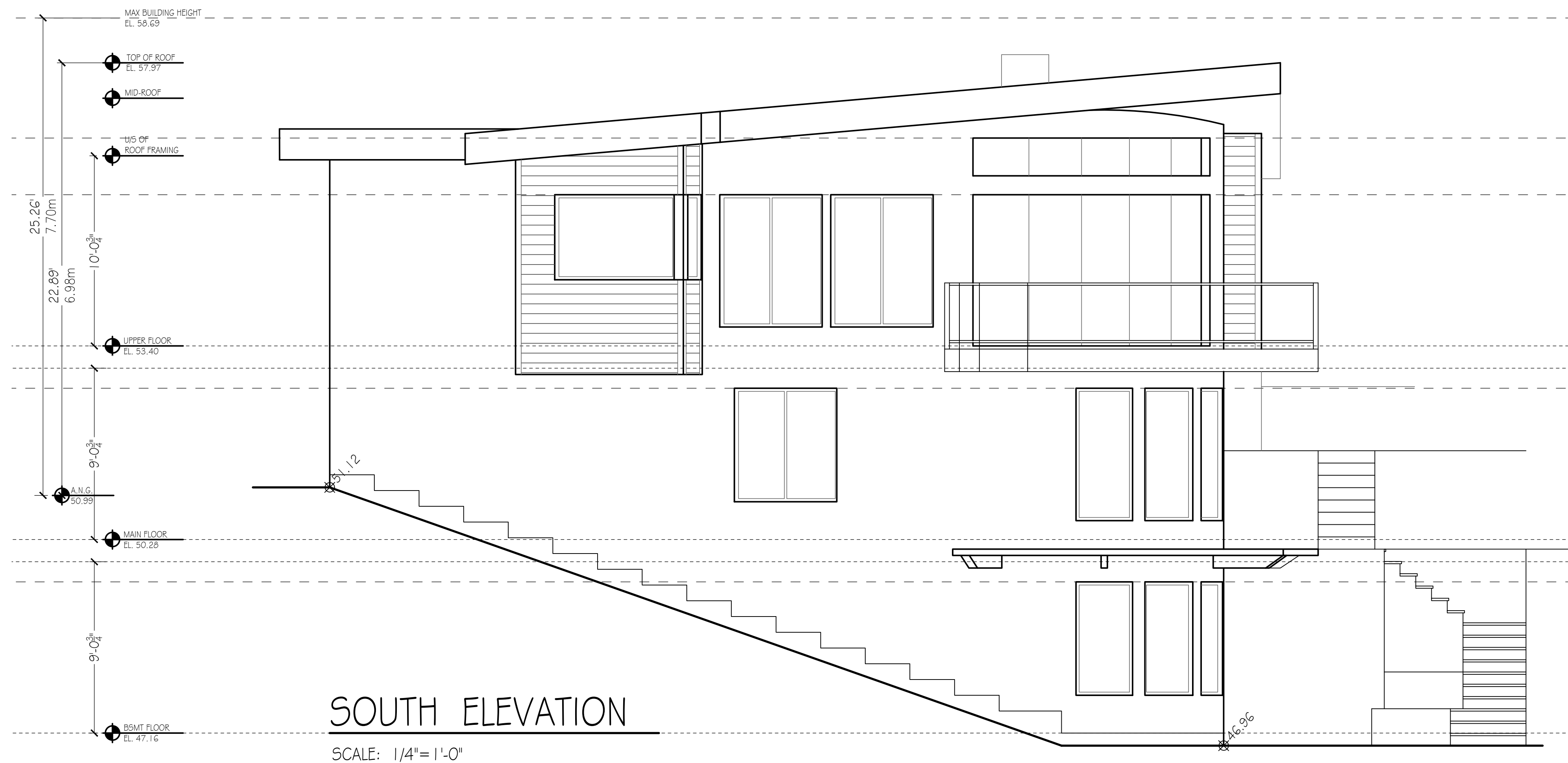
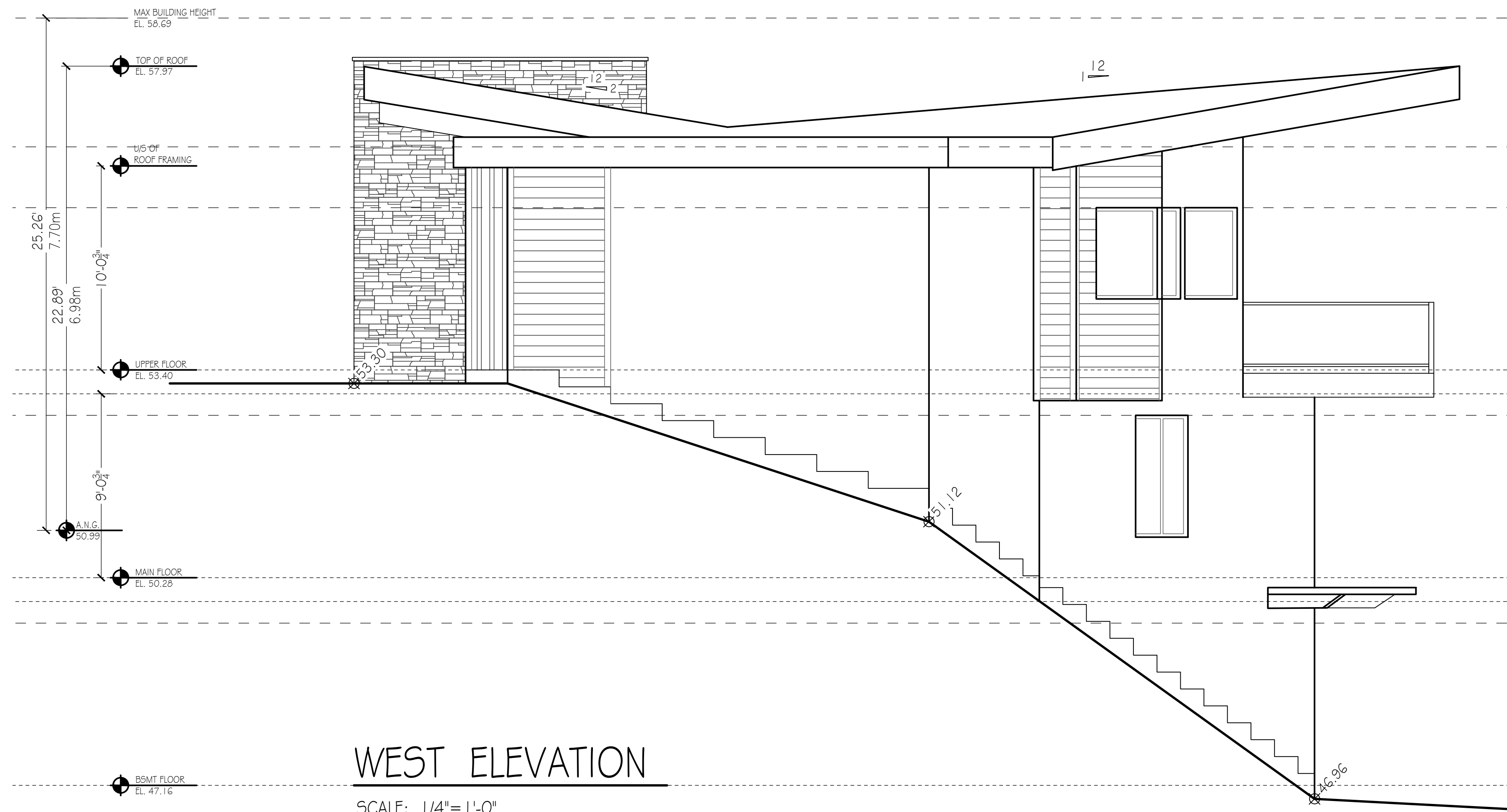
REVISIONS:

SHEET:

A6 of 8

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REVISIONS:



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PROJECT:
 CANT / JACKSON RESIDENCE
 1051 FINLAY ST.
 WHITE ROCK, BC

DRAWN BY: SC CHECKED BY: SG

DATE: APRIL 8, 2021

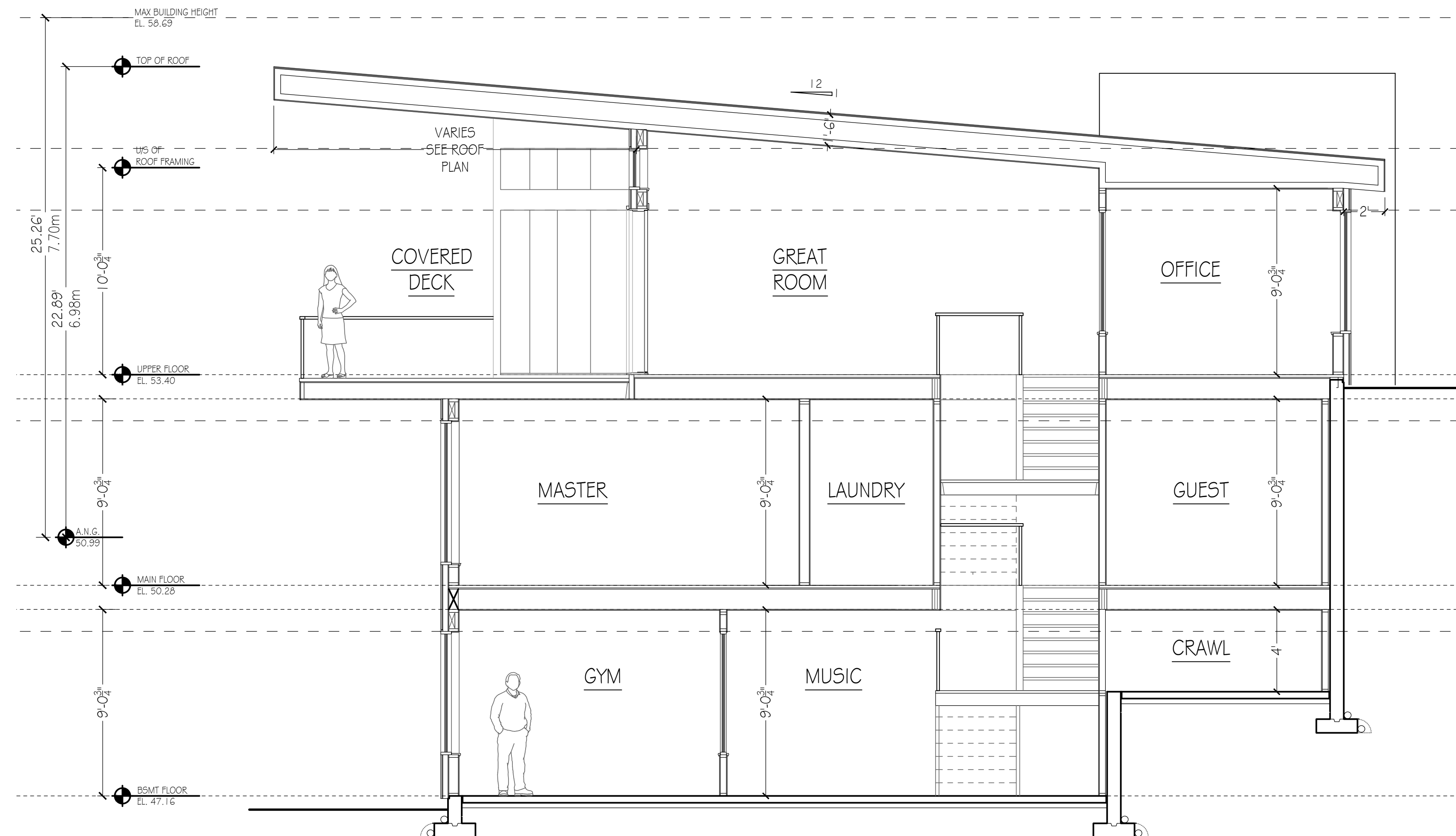
REVISION:

SHEET:

A7 of 8

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REVISIONS:



SECTION A-A

SCALE: 1/4" = 1'-0"



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 888 698 4758
 EMAIL:
 info@sarahgallop.com

PROJECT:
 CANT / JACKSON RESIDENCE
 1051 FINLAY ST.
 WHITE ROCK, BC

DRAWN BY: SC CHECKED BY: SG

DATE: APRIL 8, 2021

REVISION:

SHEET:

BOV 21-013 14910 Buena Vista Avenue

In accordance with White Rock Board of Variance Bylaw, 2004, No. 1753 and White Rock Planning Procedures Bylaw, 2007, No. 2234, I / we hereby submit the following application to the Board of Variance:

Site Address(es)	14910 BUENA VISTA AVE
PID(s)	011 065 249
Legal Description(s)	LOT 3 PLAN NWP4421 PART 1 SEC 10 T11 LAND DIST 36
Zoning	RT 1 2 UNIT RESIDENTIAL

Variance(s) Requested

Please detail the specific variances to the White Rock Zoning Bylaw, 2012, No. 2000 that you are requesting below:

Variance Requested	Zoning Bylaw Section
Example: Front Lot Line Setback from 7.5 metres to 6.0 metres in RS-1 Zone	Example: Section 6.1.6 (3)
TO REDUCE THE FRONT YARD SET BACK FROM 7.5 ^m TO 6 ^m	
TO REDUCE THE REAR YARD SET BACK FROM 7.5 ^m TO 4.2 ^m	
TO REDUCE INTERIOR SIDE YARD SET BACK FROM 1.5 ^m TO 1.2 ^m	
TO INCREASE MAXIMUM PERMITTED LOT COVERAGE FROM 45% TO 55%	
REDUCE THE HEIGHT OF THE BUILDING FROM 28.37 ^m TO 28.07 ^m	

Description of Proposal

Please provide a short description of your proposal below:

THIS IS A SMALL LOT (2928 SQ FT) 49'8" x 51'9" AND WE WOULD LIKE TO BUILD A 3 STORY HOME WITH "NO" SECONDARY SUITE WE WOULD JUST LIKE TO HAVE A HOME THAT MY FAMILY AND MYSELF WOULD HAVE ENOUGH ROOM TO LIVE IN

Hardship Statement

The Board of Variance is authorized to act only in cases of undue hardship as relating to the siting, size, or shape of buildings or structures on a property. Please provide a short description of your hardship below:

DUE TO THE FACT THAT THIS A SMALL NONCONFORMING LOT THE SET BACKS THAT ARE IN PLACE NOW WOULD ONLY ALLOW US TO HAVE A HOME THAT WOULD BE 9' DEEP AS IN FRONT TO BACK. AS YOU CAN SEE NOT NEARLY DEEP ENOUGH TO BUILD A PROPER HOME.
 WHAT WE ARE ASKING FOR WAS APPROVED BY THE BOARD OF VARIANCE ON FEB. 29-2012 UNDER BOV 12-007 BUT BECAUSE OF FAMILY REASONS WE COULD NOT PROCEED BUT WE ARE READY NOW

Minimum Application Requirements

Please use the following checklist to assist with the preparation of your application:

Checklist	CHECK
A Completed Application Form with associated fee (\$550) <i>Note: 8 copies of this document are required.</i>	✓
An Authorized Agent Form, if the property owner is represented by a third party	✓
Proof of Business Ownership <i>Note: Required if the property owner is a corporation; includes Notice of Articles, Certificate of Incorporation, BC Company Summary</i>	✗
A recent title search, dated within 30 days of the application <i>Note: Staff will require copies of any applicable legal encumbrances on title.</i>	✓
A Registered Survey Plan <i>Note: The Registered Survey Plan must show the existing ("permitted") and proposed ("varied") dimensions of the building envelope. It must also show the topography of the site, along with the siting, size and elevations of trees located on and around the subject property. Along with the original stamped/sealed survey plan, 8 copies (11 by 17) are required.</i>	✓
Site Plan, Building Elevations Plans, and Floor Plans <i>Note: Only plans applicable to the requested variances are required. Be sure to verify which ones are required with staff. 8 copies of these plans (11 by 17) are required.</i>	✓

Additional Application Requirements

Some applications may have additional submission requirements. Other studies not described here may be required. Please verify with Planning staff before proceeding with the submission of this application:

Checklist	STAFF CHECK	APPLICANT CHECK
Tree Assessment Report <i>Note: The report, as prepared by a certified arborist, will need to identify trees of protected size for retention and removal on and around the subject property (see: White Rock Tree Management Bylaw, 2008, No. 1831). 8 copies of this document are required.</i>		✓
Parking Plan <i>Note: The plan will illustrate: off-street (on-site) parking space dimensions, drive aisles, and turning radiuses. 8 copies of this document are required.</i>		✓

To Note:

We are asking for the same setbacks as the previous BOV meeting, but have made the following changes:

1. Reduce the overall height of the building from 28.37 m to 28.07 m.
2. Brought back the stairs on the west exterior so that they are contained completely on private property.
3. Removed the windows at crawlspace on south side of building.

DEVELOPMENT PROPOSAL APPLICATION – INFORMATION SHEET

The City of White Rock has received a development proposal application for the below-listed property. A comment sheet, along with all applicable submission material, is attached in the relevant Folder in Tempest. Each department is requested to review the development proposal application request and provide written comment based on their department's responsibility. If no comments are received, it will be assumed that your department's interests are unaffected.

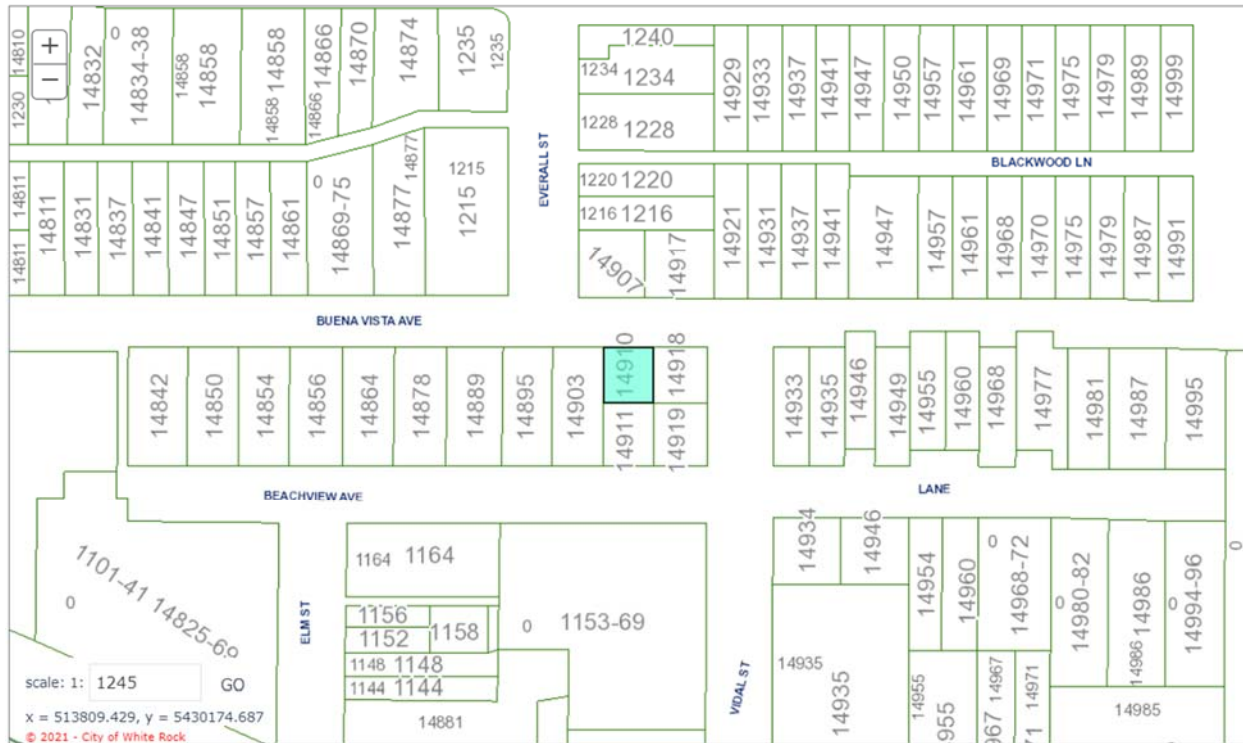
PROJECT NAME	14910 Buena Vista Avenue
PROJECT NUMBER	BOV00019
REFERENCE NO.	21-013
COMMENTS DUE	APR 12, 2021

APPLICANT	Ron Peterson, Applicant
CIVIC ADDRESS	14910 Buena Vista Avenue
LEGAL DESCRIPTION	North Half Lot 3 Section 10 Township 1 New Westminster District Plan 4421
PID	011-065-249
PROPERTY SIZE	Lot Width: 15.15 metres Lot Depth: 17.91 metres Lot Area: 272 square metres
PROPOSAL	To accommodate the construction of a new single family dwelling located at 14910 Buena Vista Avenue, the applicant is seeking variances to: <ol style="list-style-type: none"> 1. Reduce the Front yard setback from 7.5m to 0m 2. Reduce the Rear yard setback from 7.5m to 4.2m 3. Reduce the Side yard setback from 1.5m to 1.2m 4. Increase the Lot Coverage from 45% to 55%
BACKGROUND INFORMATION	The Applicant has noted that the size of the property does not allow for the construction of a reasonably-sized home while satisfying the yard setbacks. The Board of Variance (BOV) Application Form includes a "Hardship Statement". Note that this application was presented to the Board of Variance on February 24, 2021 and was denied. The Applicant has revised their proposal to reduce building height from 28.37 metres to 28.07 metres (0.3 metres or one foot). The Applicant has also redesigned the stairway on the western side of the building to remove the structures from within the City boulevard. Finally, the Applicant has removed the windows at the crawlspace on the south elevation of the building.

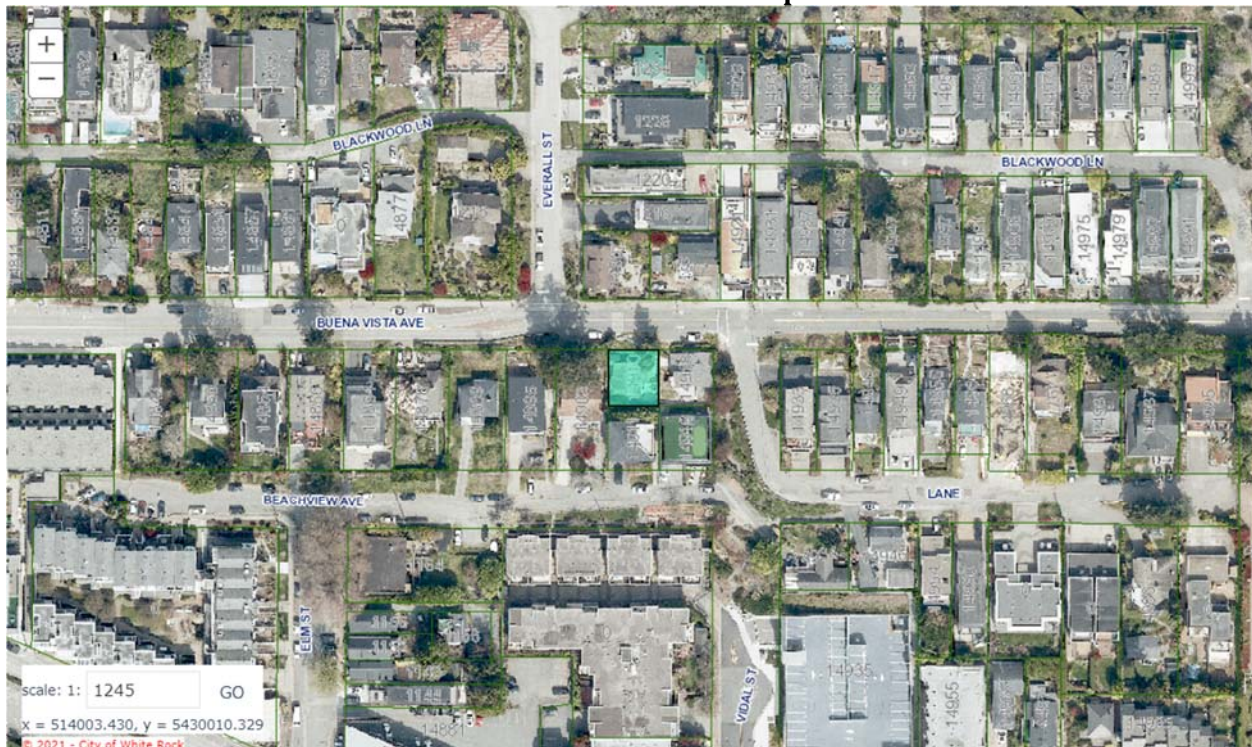
ATTACHMENTS	<p>The following items are included with this circulation:</p> <ol style="list-style-type: none">1. Development Application Form2. BOV Application Form3. Arborist Report4. Topographic Survey5. Building Drawings6. Parking Plan
--------------------	--



Attachment 1: Location Map



Attachment 2: Ortho Map



DEVELOPMENT PROPOSAL APPLICATION – SUMMARY OF COMMENTS SHEET

PROJECT NAME	14910 Buena Vista Avenue
PROJECT NUMBER	
FOLDER TYPE & NO.	Board of Variance Reference File BOV00017
REFERENCE NO.	21-013
COMMENTS DUE	April 12 2021

CIVIC ADDRESS	14910 Buena Vista Avenue
PROPOSAL	<p>To accommodate the construction of a new single-family dwelling located at 14910 Buena Vista Avenue, the applicant is seeking variances to:</p> <ol style="list-style-type: none"> 1. Reduce the Front yard setback from 7.5m to 0m 2. Reduce the Rear yard setback from 7.5m to 4.2m 3. Reduce the Side yard setback from 1.5m to 1.2m 4. Increase the Lot Coverage from 45% to 55% <p><i>Note that this application was presented to the Board of Variance on February 24, 2021 and was denied. The Applicant has revised their proposal to reduce building height from 28.37 metres to 28.07 metres (0.3 metres or one foot). The Applicant has also redesigned the stairway on the western side of the building to remove the structures from within the City boulevard. Finally, the Applicant has removed the windows at the crawlspace on the south elevation of the building.</i></p>

DEPARTMENT	COMMENTS
Planning	<p><u>OFFICIAL COMMUNITY PLAN:</u></p> <p>The subject property is designated “Mature Neighbourhood” in the City of White Rock Official Community Plan. The designation supports “gentle infill” in the form of secondary suites, duplexes and triplexes (Policy 7.4.1). The designation permits single detached dwellings in addition to duplexes, triplexes and secondary suites in single detached homes (Policy 8.8.1). The OCP recognizes that the zoning bylaw will be used to specify density and height maximums for lands within the Mature Neighbourhood designation, whereas other lands (e.g., Town Centre, Lower Town Centre, Waterfront Village, etc.) have density and height limits generally established by Figures 9 and 10 of the OCP, respectively.</p> <p>The width of the lot is 15.15 metres (~50 feet). Section 22 of the OCP establishes Development Permit Area (DPA) Guidelines that are used to control the form and character of development in addition to potential impacts to sensitive environmental features. The development would not be subject to the City’s DPA Guidelines as it does involve a duplex, triplex or an “intensive residential</p>

development”, the latter of which involves rezoning and subdivision proposals to create residential lots having frontage of less than 12.1 metres.

Policy 8.13.5 of the OCP encourages lot consolidations where smaller sites do not allow for functional development at the allowable FARs. The subject proposal would, if approved, allow for a 3,090 square foot home with a 480 square foot garage (3,570 ft² total). The subject property is one of four equally-sized properties in the immediate area of development.

Policy 12.1.5 pertains to Rainwater Run-Off management and supports integrated stormwater management practices and other green infrastructure measures to reduce the potential for untreated / uncontrolled stormwater to enter the municipal system. Policy 16.2.4 also supports efforts to reduce base flows and the frequency and magnitude of peak [stormwater] flows by minimizing impervious surfaces in new developments.

Policy 12.2.2 supports efforts to preserve and protect mature, healthy trees throughout the City by requiring that projects be designed with the intent of preserving and protecting mature, healthy trees.

ZONING BYLAW:

The property is zoned Two Unit (Duplex) Residential (RT-1) Zone. The drawings have been reviewed against the applicable provisions of the City of White Rock Zoning Bylaw, 2012, No. 2000, and more specifically the requirements of the RT-1 Zone. The following is a summary of the project as it relates to applicable provisions of the Zoning Bylaw.

Section 4.13 Siting Exceptions and Projections

It is unclear from the submitted plans whether or not the Applicant will require relief from this section of the Zoning Bylaw.

Section 4.14 Off-Street Parking Requirements

For a “One-Unit Residential Use” a minimum of two (2) parking spaces are required. The designs submitted by the Applicant illustrate a two-car garage with access off Buena Vista Avenue.

Section 6.10.3 Maximum Lot Coverage:

The application proposes maximum lot coverage of 55% whereas the maximum permitted in the Zoning Bylaw is 45%. **Relief of 10% is sought.**

Section 6.10.5 Building Heights

The maximum building height permitted in the RT-1 Zone is 7.7 metres.

Section 4.8 of the Zoning Bylaw outlines the method of measuring maximum building height. As outlined in the Section, building height is measured as the vertical distance between an “average natural grade” and the highest point of the building or structure. The “average natural grade” is determined by measuring the natural grade at the midpoints of the walls on all sides of the building or structure and then dividing this number by the number of sides (building walls).

In this case, a topographic survey prepared by a BC Land Surveyor and provided by the Applicant, identifies the “average natural grade” tied to the proposal as 20.72 metres (geodetic). The application proposes a maximum building height of 28.07m (geodetic). The vertical distance between the average natural grade and the highest point of the building is therefore **7.35 meters**, being compliant with the maximum height standard of the RT-1 Zone.

It is important to acknowledge that the maximum height standard of the zoning bylaw is not based on the location of the building relative to property lines, despite the minimum setback requirements of the bylaw. Rather, the maximum height measurement is taken on the basis of the location of the building within the lot. Enabling a lesser front yard setback will have the effect of pulling the “average natural grade” applicable to the building location up the existing slope of the lot resulting in a taller building, all other design elements remaining the same.

Section 6.10.6 Minimum Setback Requirements:

The following table outlines the minimum setbacks required in the RT-1 Zone and the relief sought by the application.

Standard (min. setback)	Required	Proposed	Relief
Front Lot Line	7.5 metres	0.0 metres	7.5 metres
Rear Lot Line	7.5 metres	4.2 metres	3.3 metres
Interior Side Lot Line (east)	1.5 metres	1.2 metres	0.3 metres
Interior Side Lot Line (west)	1.5 metres	1.2 metres	0.3 metres

All other provisions of the RT-1 Zone appear to be satisfied by the proposal.

**Planning
(Trees)**

Applicant has proposed removal of a City Spruce tree in good health tagged as C2 to accommodate hydro utility servicing. However, there is a hydro pole immediately west of the home where the hydro is currently be supplied to the building. It is expected to demonstrate the use of the existing hydro pole to place hydro trench or line in order to retain and protect the Spruce tree. Removal is not supported. Granting the reduced setback design will likely compromise the tree entirely.

Proposed tree removal of City Fir tree tagged as C1 requires permission from the Parks or Engineering Manager. It is in the boulevard access therefore I foresee support to remove the tree through the requirements for Lot Servicing Permit. Applicant would be required to pay \$3000 cash in lieu to the City Fund for trees.

A Tree Management Permit (TMP) is required to remove three (3) privately owned protected trees with a replacement tree plan of 2:1. Seeing as the lot, post construction, would not have enough plantable space remaining to accommodate the replacements they too would be collected as cash in lieu at \$1500.00 per tree. The White Rock Management Bylaw requires a minimum of

one replacement tree be planted on the lot that meets the best practices standards that would allow the tree to grow and thrive throughout maturity.

Applicant required to submit a tree replacement plan for City review and approval.



Engineering

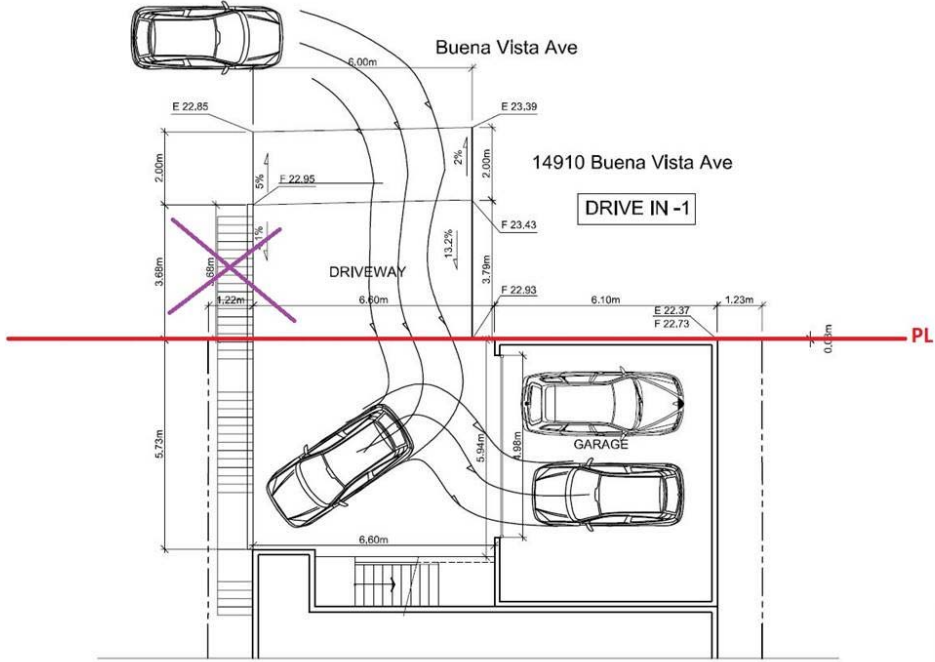
A few concerns regarding the driveway/site plan:


The designer is showing stairs leading up to City property. Stairs and landings are to be sited on private property. No encroachments permitted on City property (stairs, railing and retaining etc.)

The driveway slopes up 2% from road edge to PL on the east side but slope up 5% on the west side. Driveway shall not exceeds 15% on site to garage slab.

Requesting:

2 sets of signed/sealed civil plans showing plan view and full sections of the road, driveway and garage/building. This will form part of the lot grading/lot servicing plan for the application and all other requirements for these submission will apply as per the lot servicing application checklist.

	<p>In addition, we will also require elevations at the road edge, PL and garage slab along either edge of the access as well as the PL. Please have your engineer contact engineering department to ensure the information we require is provided.</p> <p>A signed and sealed letter from your civil engineer indicating the driveway is safe and fully functional with the garage.</p> <p>The civil lot grading plan should be forwarded to the project architectural designer and geotechnical engineer for review as well.</p>
<p>Operations</p>	<p>Just based on drawing I don't think we would support stairs on City property. We need a little more from civil drawing details to show where the curb, letdown and centre of road.</p>  <p>The diagram is a site plan for 14910 Buena Vista Ave. It shows a driveway leading to a garage with two cars parked. A red line labeled 'PL' (Proposed Level) runs horizontally across the site. A staircase is shown on the left side of the driveway, with a purple 'X' over it, indicating a concern. The plan includes various dimensions and elevations: Buena Vista Ave is 6.00m wide; the driveway is 6.60m wide; the garage is 6.60m wide and 5.98m deep; the PL is 0.60m above the garage slab. Elevations include E 22.85, E 22.95, E 23.39, F 23.43, F 22.93, E 22.37, and F 22.73. Slopes of 5%, 2%, and 13.2% are indicated. A north arrow is located in the bottom right corner.</p>
<p>Fire Department</p>	<p>Fire has no concerns with the variance requests as submitted.</p>
<p>Building</p>	<p>The reduce setback on the rear yard, will impact the number of permitted window openings. No, spatial separation calculation was provided for the rear (South) elevation to confirm if the proposed window openings will be permissible. The potential reduction of permissible openings can be addressed through the building permit; however, it is prudent to note a relaxed set back will potentially require the number window openings to be reduced.</p>

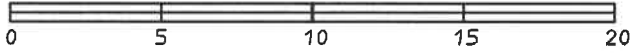
	<p>There are several building code related items that will need to be addressed at the building permit stage. The current review does not constitute a comprehensive review for construction.</p>
<p>Parking</p>	<p>There are existing on-street parking spaces on Buena Vista Ave. adjacent to this property that are currently designated exclusively for the use of the residents of this address, as well as an additional 2 spaces designated to the neighbour to the East.</p> <p>As the new development will provide a 2 car garage and driveway, I recommend removing this restriction and instead posting a generic Permit Parking Only sign in it's place.</p> <p>Additionally, if driveway drops lower than street level, sightlines of Buena Vista Ave. may be obstructed by vehicles parked on street. Recommend Engineering consider removing on-street parking if clear sightlines cannot be maintained for vehicles exiting driveway.</p> <p>Note: removing on-street parking to the East of the property, will impact resident of 14948 Buena Vista Ave. as they currently have no parking on private property, and these spaces are currently designated for their exclusive use.</p> 
<p>Parks</p>	<p>Not applicable.</p>



B. C. LAND SURVEYORS

**PLAN SHOWING LOCATION OF SPOT ELEVATIONS AND TREES
ON THE NORTH HALF LOT 3 SECTION 10 TP 1 NWD PLAN 4421**

SCALE 1:250



All Dimensions shown are in Metres.

THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN HEIGHT BY 280 mm IN WIDTH (B SIZE) WHEN PLOTTED AT A SCALE OF 1:250.

CIVIC ADDRESS: 14910 BUENA VISTA
WHITE ROCK B. C.

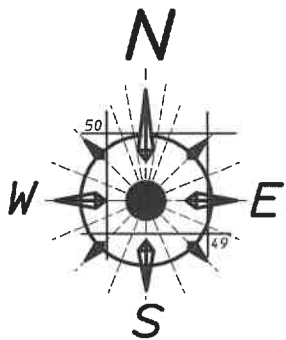
P. I. D. 011-065-249

LIST OF DOCUMENT NUMBERS OF ANY DOCUMENTS REGISTERED ON TITLE WHICH MAY AFFECT THE LOCATION OF IMPROVEMENTS THAT HAVE NOT BEEN DEFINED BY SURVEY OR DESCRIPTION

CA5225882

PROPOSED HOUSE SETBACKS

SETBACKS
NORTH 0.00 METRES
SOUTH 4.20 METRES
EAST 1.20 METRES
WEST 1.20 METRES



BUENA VISTA AVENUE

AVERAGE NATURAL GRADE AT MIDPOINTS OF PROPOSED HOUSE

22.50 METRES
20.80 METRES
18.90 METRES
19.50 METRES
21.00 METRES
21.60 METRES
124.3 METRES /6 = 20.72 METRES

N 1/2 3
LOT AREA = 272 m²

ZONE RT-1 2 UNIT RESIDENTIAL

SETBACKS
NORTH 7.5 METRES
SOUTH 7.5 METRES
EAST 1.5 METRES
WEST 1.5 METRES

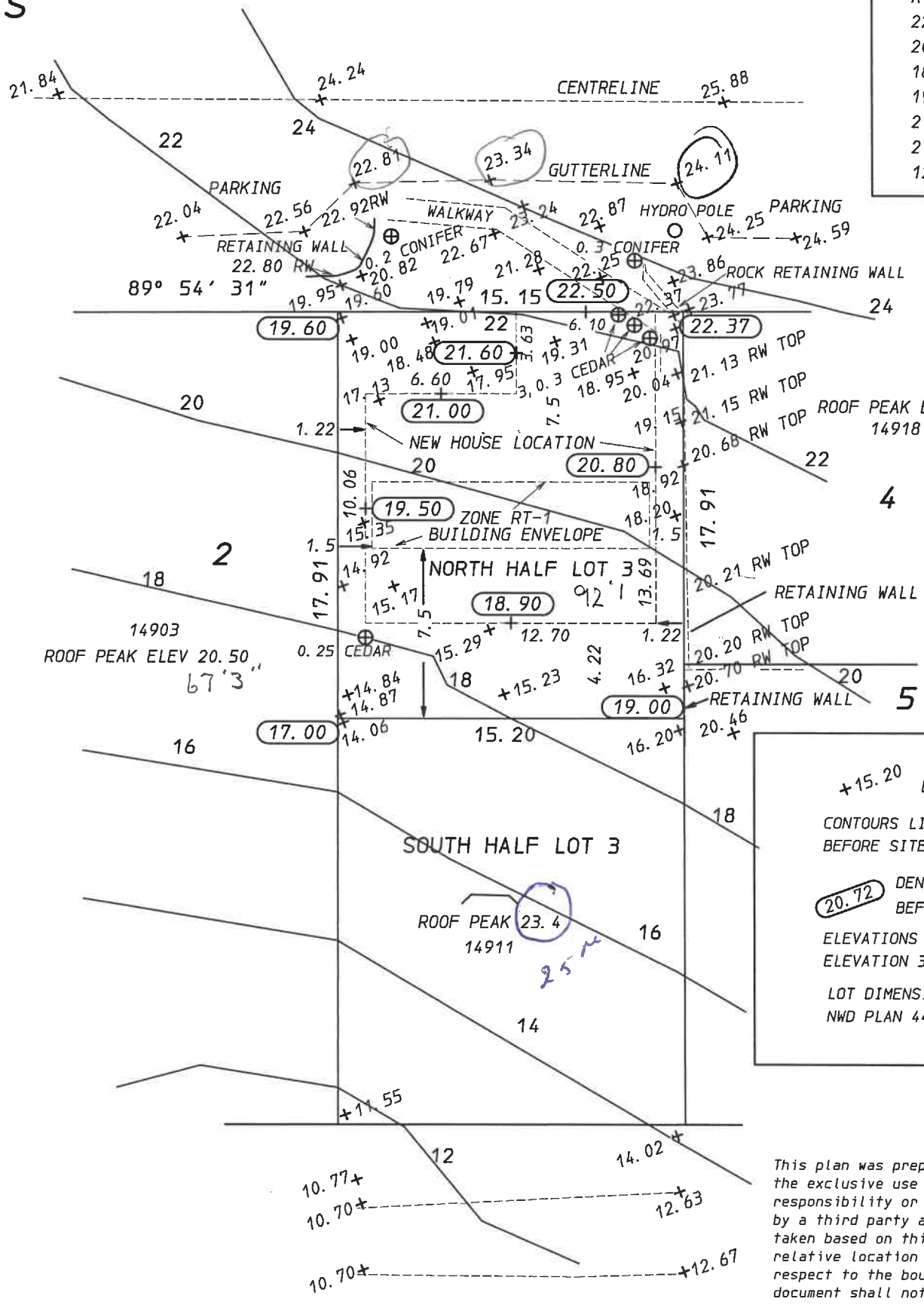
+15.20 DENOTES EXISTING ELEVATION

CONTOURS LINES REPRESENT ESTIMATED NATURAL GRADE BEFORE SITE WAS ALTERED

20.72 DENOTES ESTIMATED NATURAL GRADE BEFORE SITE WAS ALTERED

ELEVATIONS DERIVED FROM CONTROL MONUMENT 88H3883 ELEVATION 3.305 METRES

LOT DIMENSIONS AND CLEARANCES ACCORDING TO:
NWD PLAN 4421 AND PLAN M50549



This plan was prepared for inspection purposes and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made or actions taken based on this document. This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners. All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the consent of the signatory.

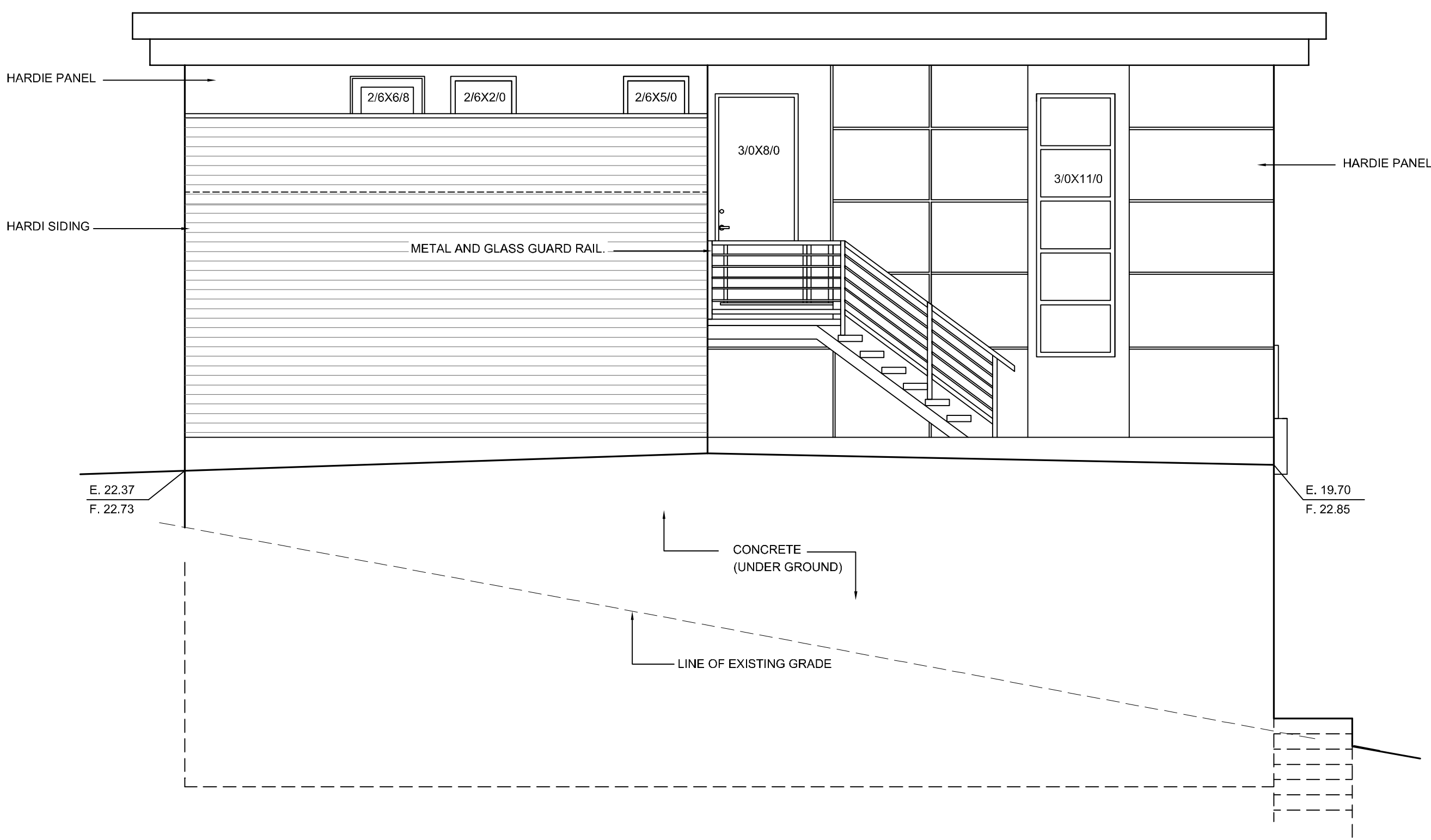
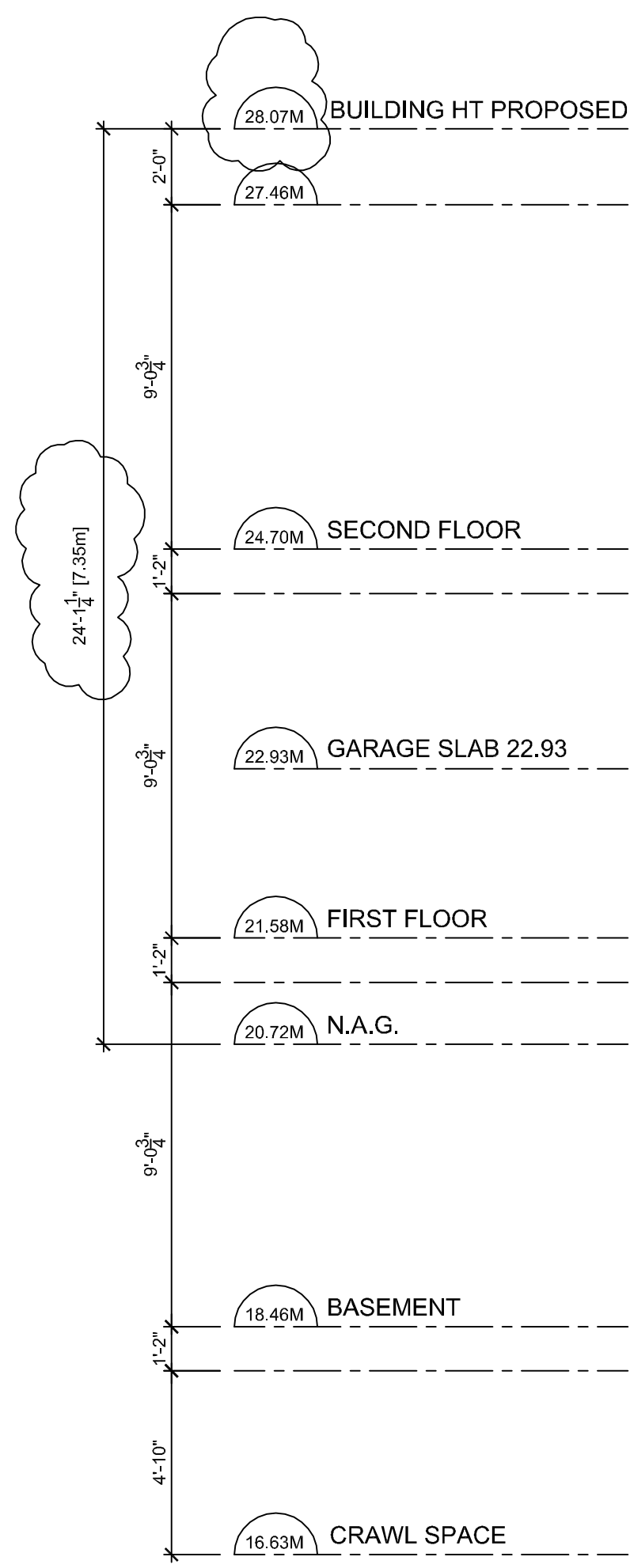
CLIENT: CHARITO SUN

CERTIFIED CORRECT THIS 5TH DAY OF JANUARY 2021

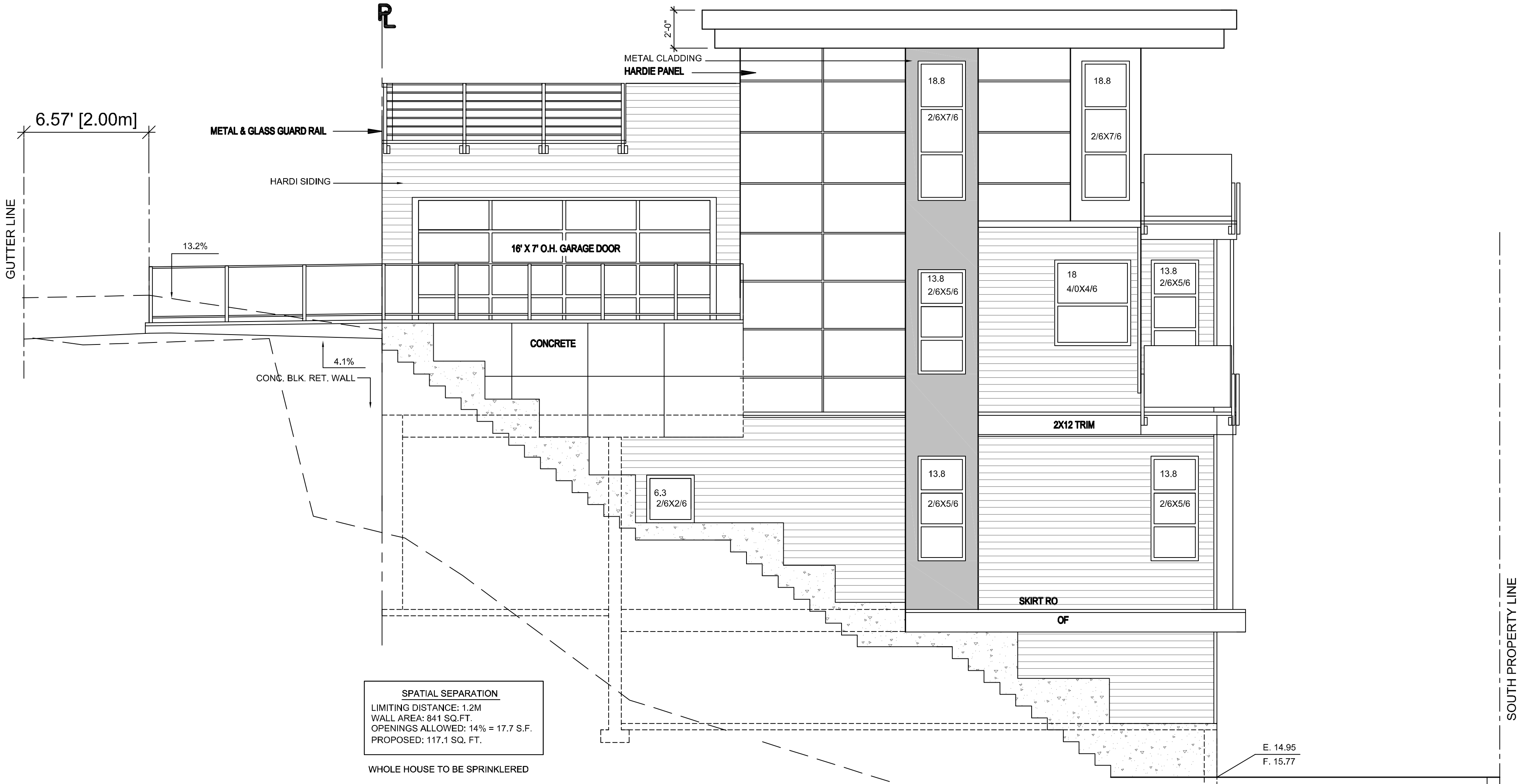
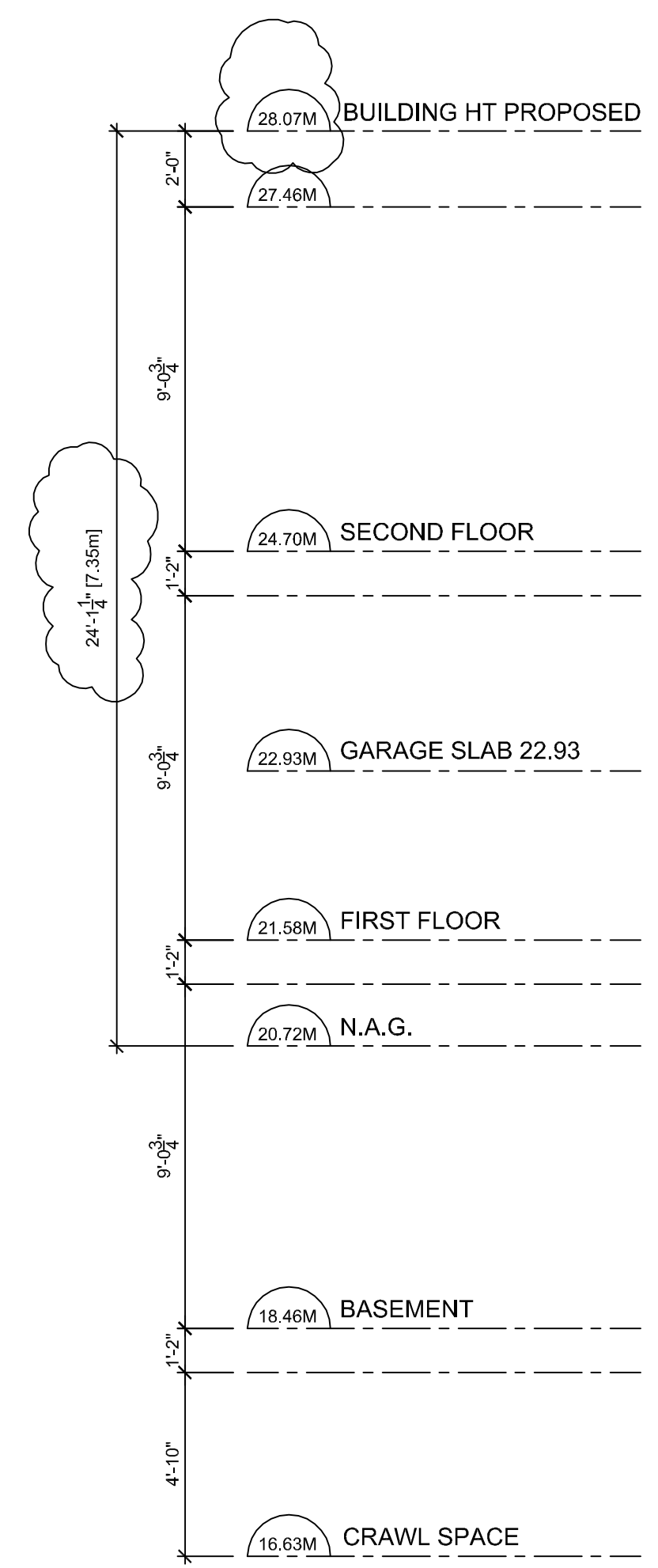
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B. C. LAND SURVEYORS
113-13302 - 76TH AVENUE
SURREY, B. C. PH. 604-591-8822 FILE: 2020033J

John Bresnick B. C. L. S.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SPATIAL SEPARATION
LIMITING DISTANCE: 1.2M
WALL AREA: 841 SQ. FT.
OPENINGS ALLOWED: 14% = 117.7 SQ. FT.
PROPOSED: 117.1 SQ. FT.

WHOLE HOUSE TO BE SPRINKLERED

WEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS		
No.	DESCRIPTION	DATE
1	West side stairs relocated. Soffit calc. updated, whole house dropped 12"	MAR. 05/21

Project:
14910 BUENA VISTA AVE.
WHITE ROCK, BC

Drawing Title:
ELEVATIONS

Job No.:
Scale: **AS NOTED**
Date: **MARCH 05, 2021**
Dr. By: **T.W.**
Checked By: **-**

TW
HOUSE DESIGN LTD.
8932 Watson Drive
Delta, B.C. V4C 4T6
ph. 604-789-8666
EMAIL: GRAPHICSQUARE@GMAIL.COM
WEBSITE: WWW.GRAPHICSQUARE.COM

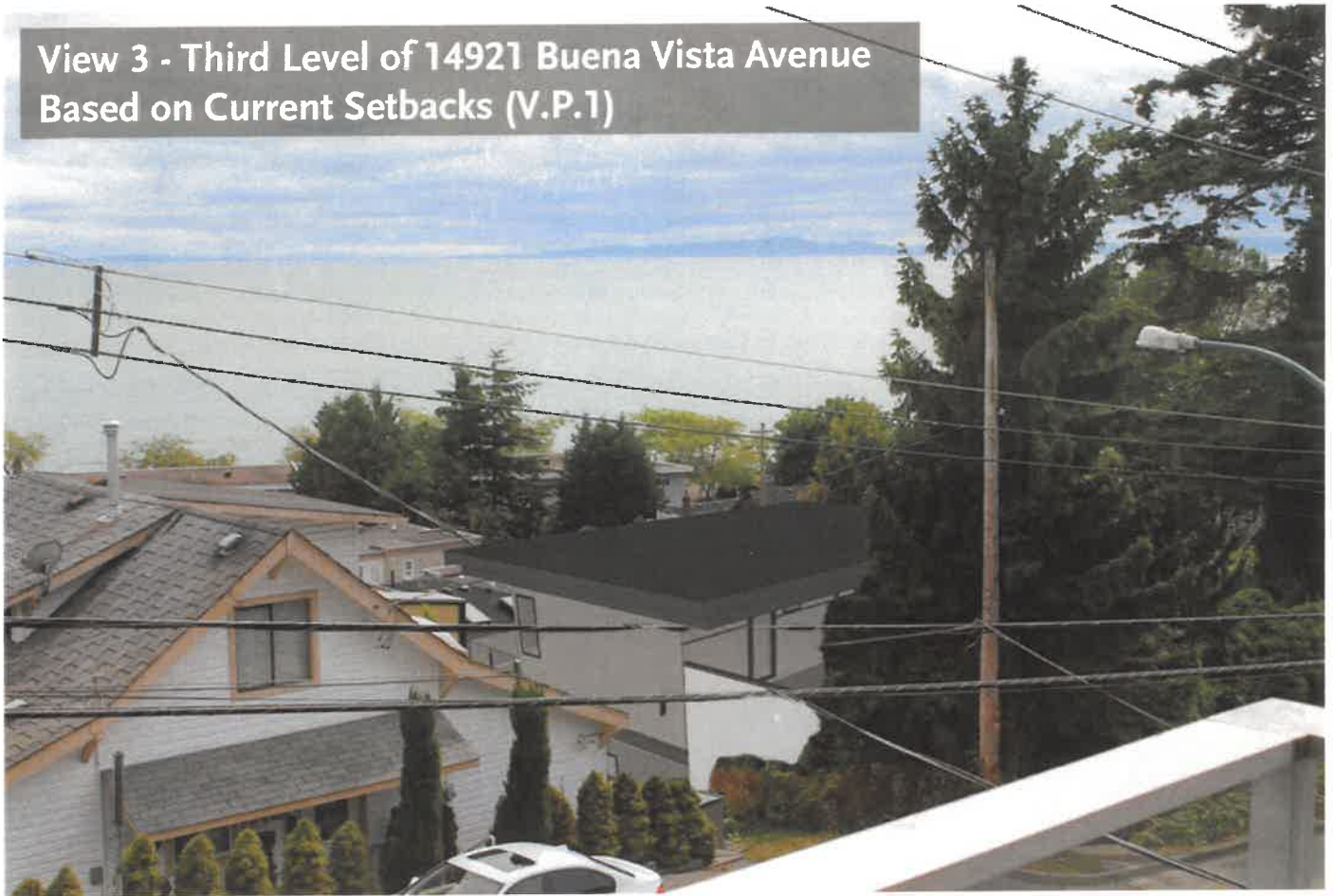
DRAWING CONFORMS TO 2018 B.C. BUILDING CODE

THIS DRAWING IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION OF TW DESIGN

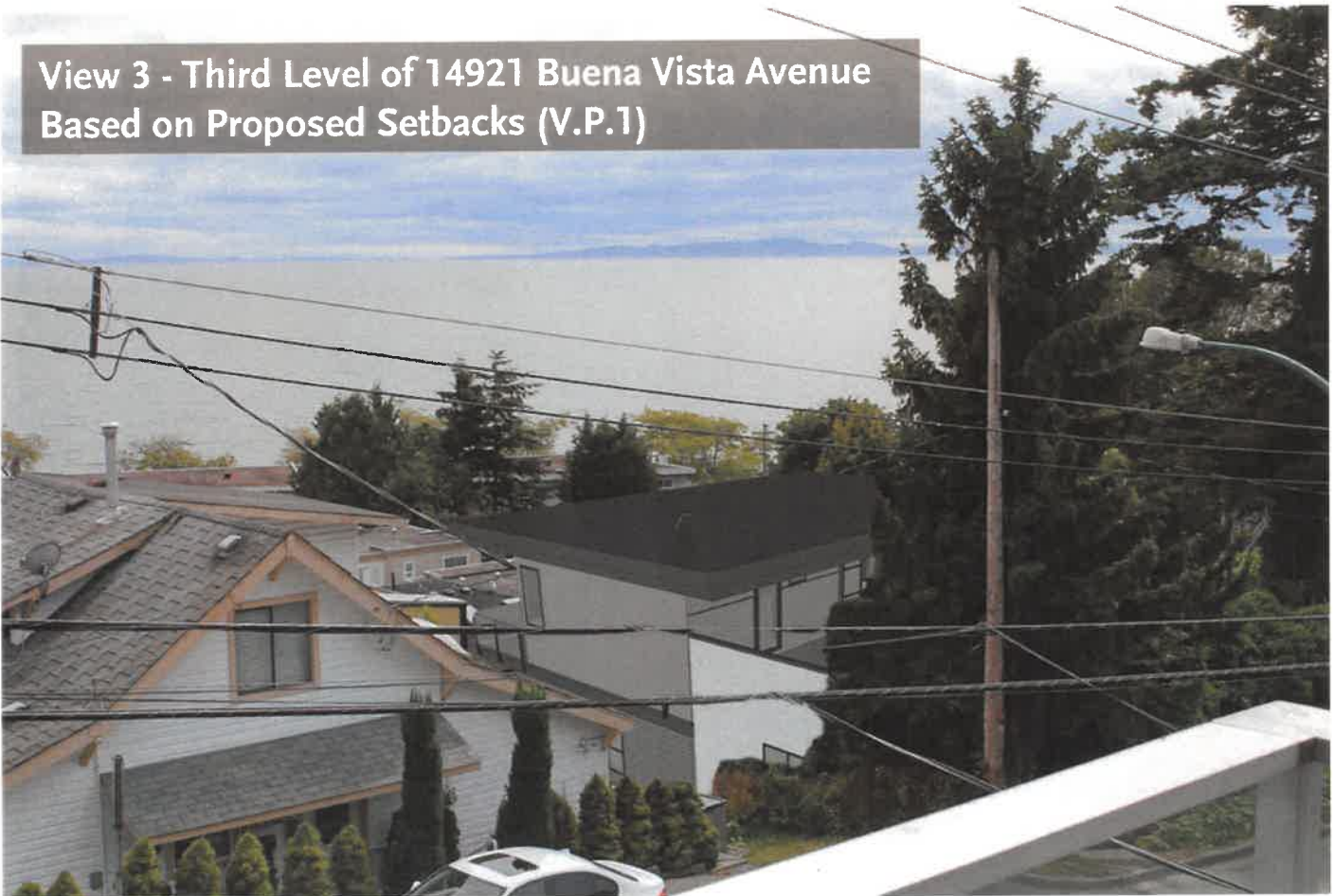
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO DESIGNER

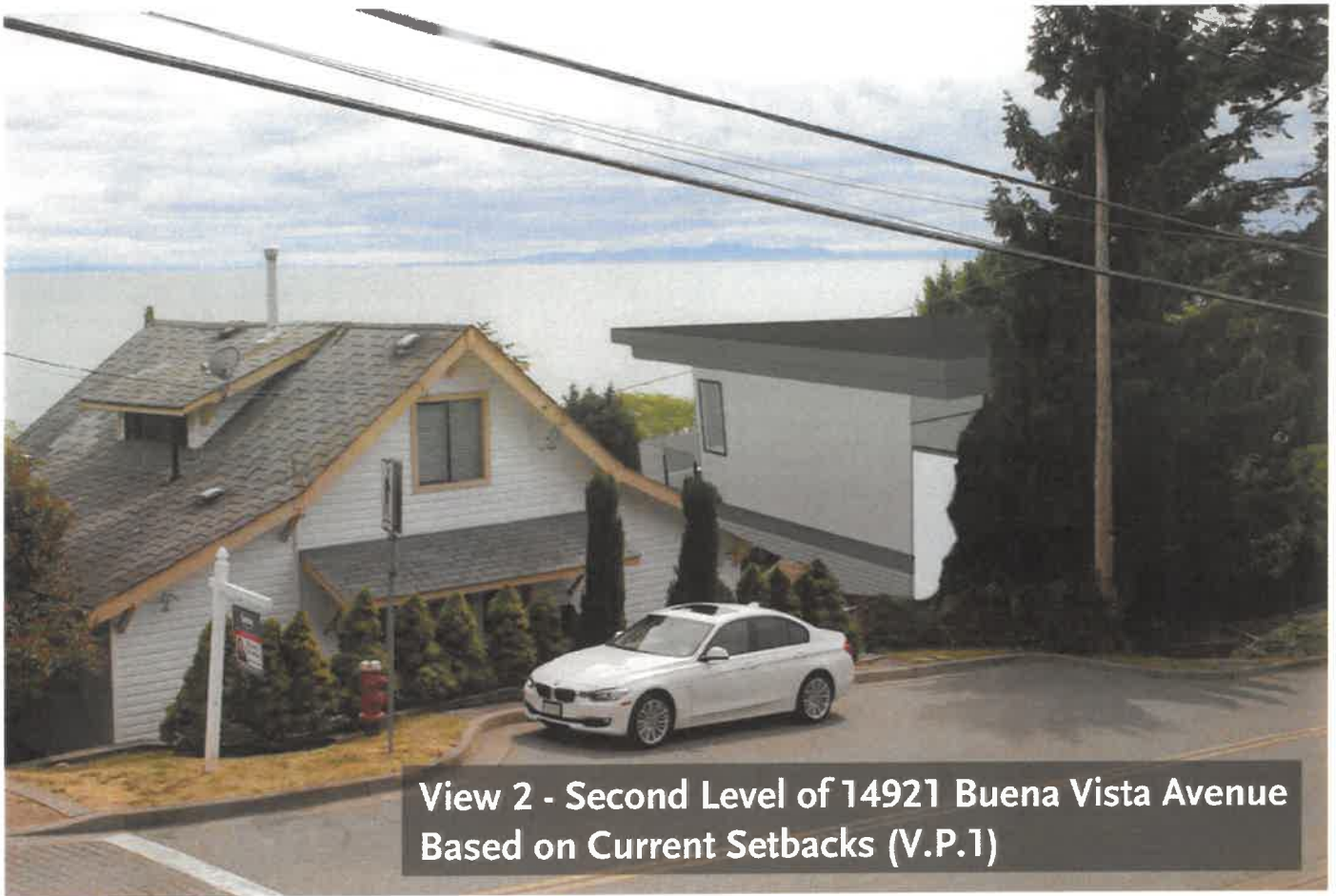
A -04

**View 3 - Third Level of 14921 Buena Vista Avenue
Based on Current Setbacks (V.P.1)**

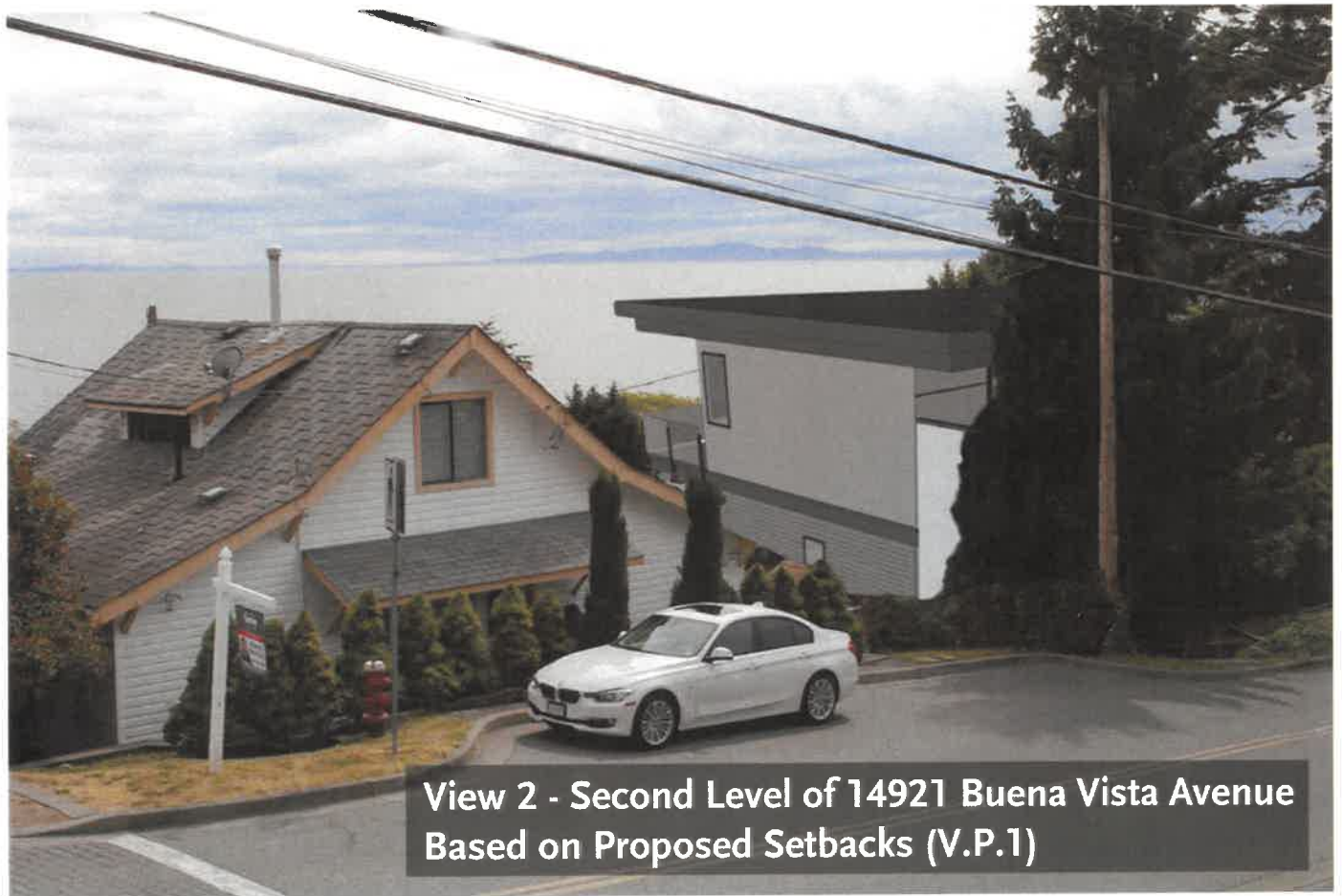


**View 3 - Third Level of 14921 Buena Vista Avenue
Based on Proposed Setbacks (V.P.1)**

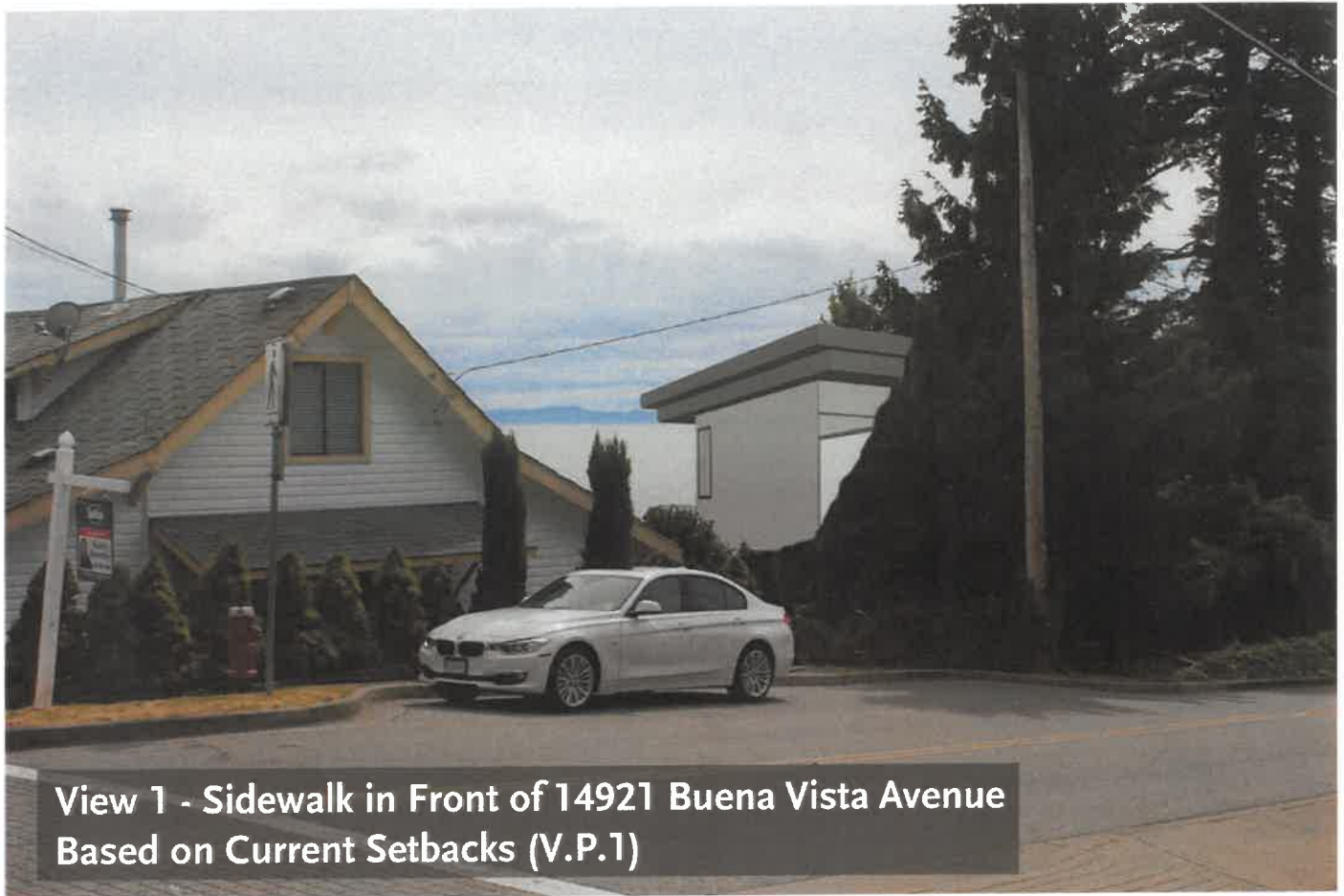




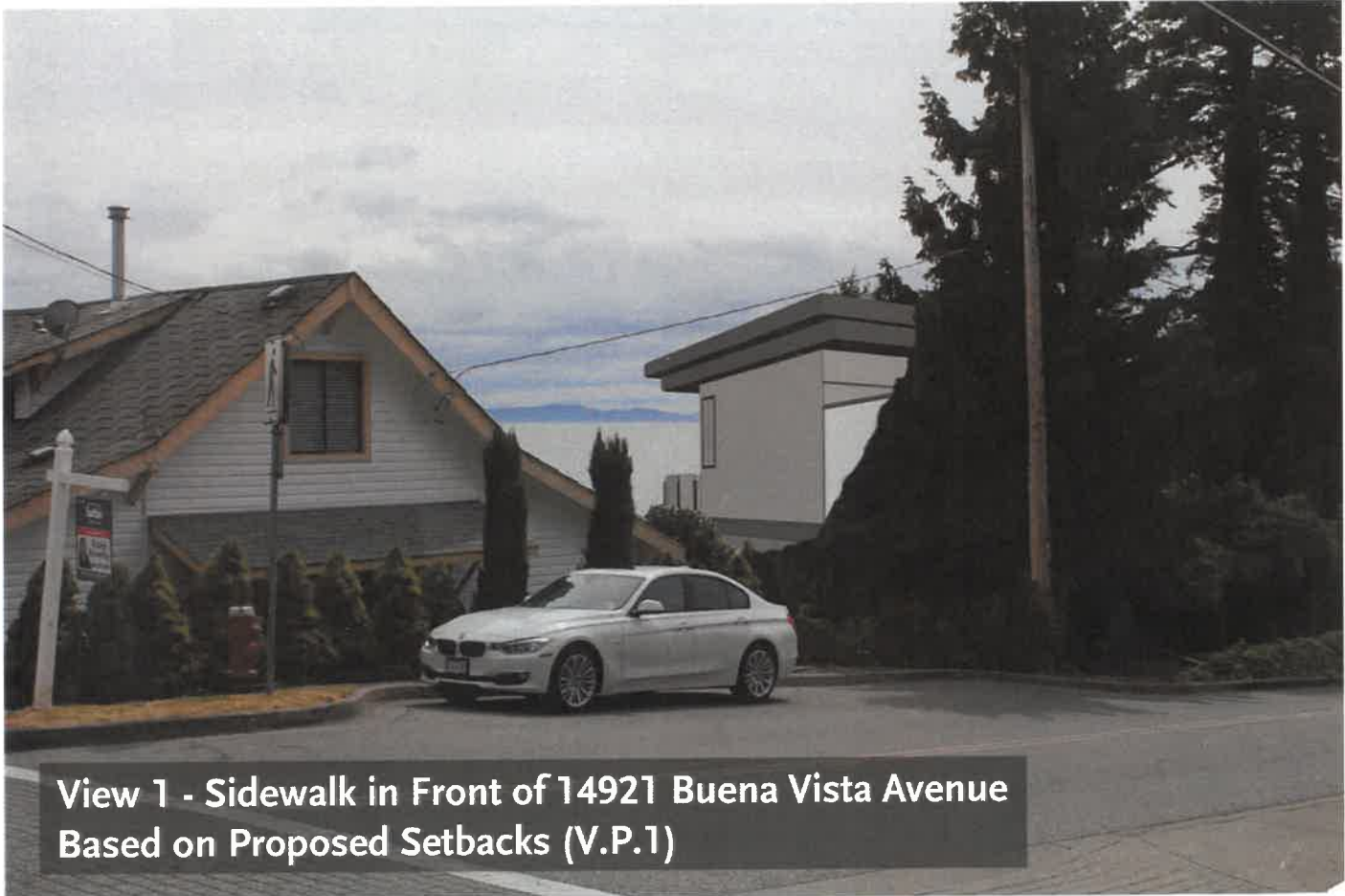
**View 2 - Second Level of 14921 Buena Vista Avenue
Based on Current Setbacks (V.P.1)**



**View 2 - Second Level of 14921 Buena Vista Avenue
Based on Proposed Setbacks (V.P.1)**



**View 1 - Sidewalk in Front of 14921 Buena Vista Avenue
Based on Current Setbacks (V.P.1)**



**View 1 - Sidewalk in Front of 14921 Buena Vista Avenue
Based on Proposed Setbacks (V.P.1)**

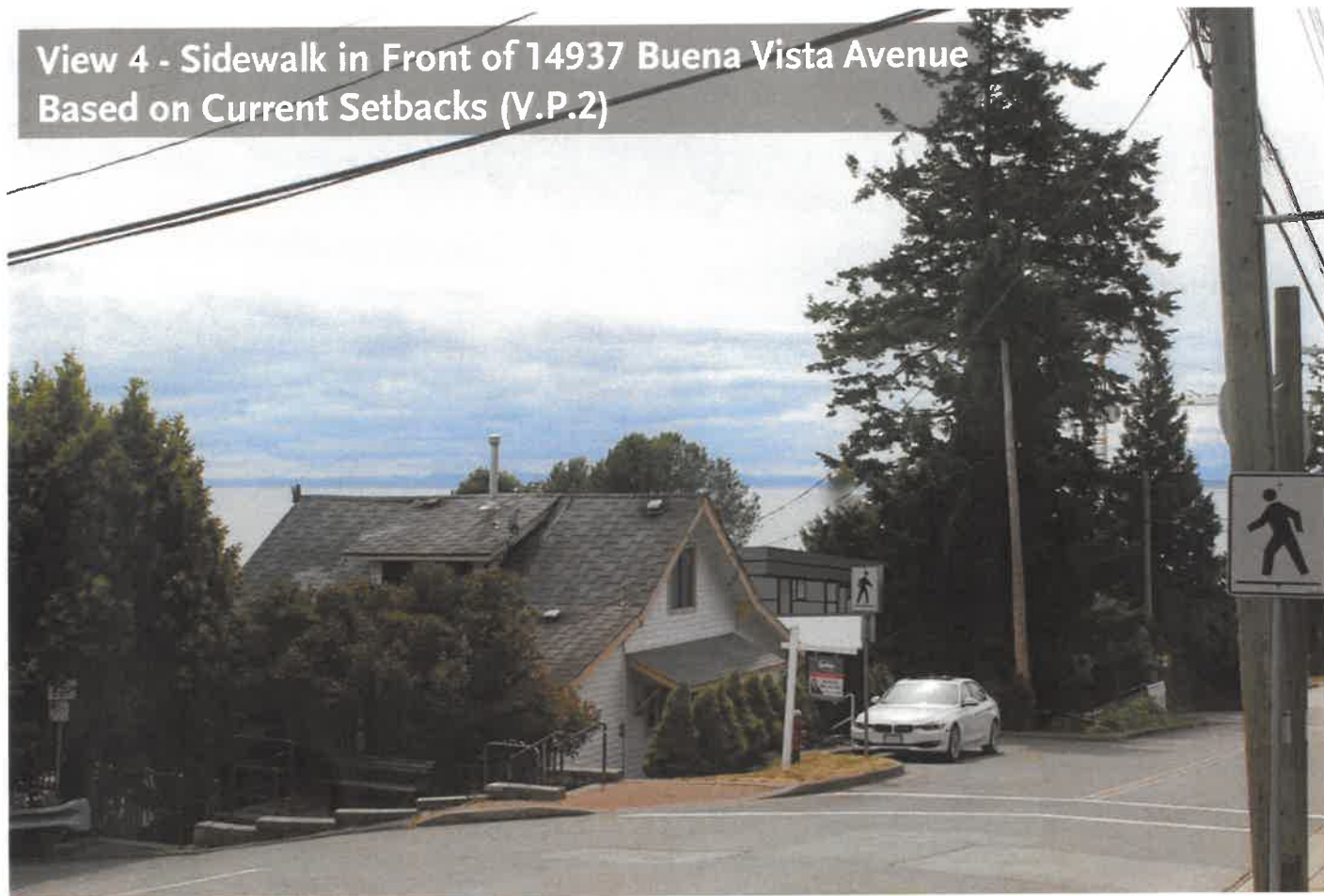


**View 5 - Sidewalk in Front of 14869 Buena Vista Avenue
Based on Current Setbacks (V.P.3)**

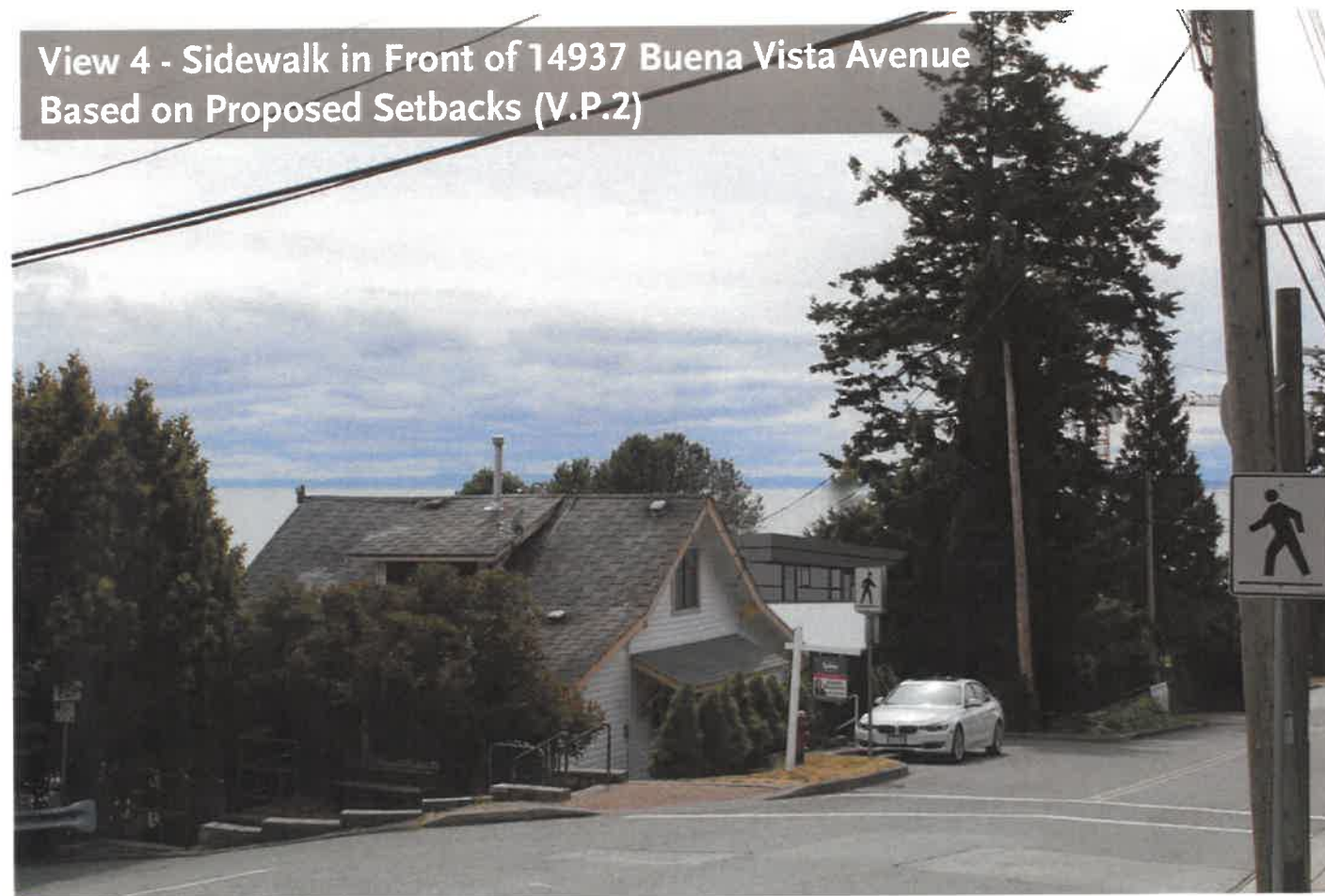


**View 5 - Sidewalk in Front of 14869 Buena Vista Avenue
Based on Proposed Setbacks (V.P.3)**

**View 4 - Sidewalk in Front of 14937 Buena Vista Avenue
Based on Current Setbacks (V.P.2)**



**View 4 - Sidewalk in Front of 14937 Buena Vista Avenue
Based on Proposed Setbacks (V.P.2)**



ST

1164

BEACHVIEW AVE

14854

14856

14864

14878

14889

14895

14903

14911

14910

14919

14918

14933

14935

14946

14949

14955

14857

14861

14869-75

14877

1215

14850

14870

14880

14890

1230

V.P.3

BUENA VISTA AVE

BLACKWOOD LN

14907

1216

1220

14917

1228

1234

1240

FROM 3 LEVELS

V.P.1

14921

14929

14931

14933

V.P.2

14937

14937

14941

14941

14947

14947

14950

14957

BLACKWOOD LN

LANE

14934

14946

54

14910 Buena Vista Avenue -- Site Location



ST

1164

BEACHVIEW AVE

14854

14856

14864

14878

14889

14895

14903

14911

14910

14919

14918

14933

14935

14946

14949

14955

14857

14861

14869-75

14877

1215

1485

1487

148

148

123

V.P.3



BUENA VISTA AVE

BLACKWOOD LN

14907

1216

1220

14917

1228

1234

FROM 3 LEVELS

V.P.1

14921

14929

14931

14933

V.P.2

14937

14937

14941

14941

14947

14947

14950

BLACKWOOD LN

4934

LANE

4946

A