

The Corporation of the  
CITY OF WHITE ROCK



Regular Council Meeting  
AGENDA

Monday, July 26, 2021, 7:00 p.m.

City Hall Council Chambers

15322 Buena Vista Avenue, White Rock, BC, V4B 1Y6

**\*Live Streaming/Telecast:** Please note that all Committees, Task Forces, Council Meetings, and Public Hearings held in the Council Chamber are being recorded and broadcasted as well included on the City's website at: [www.whiterockcity.ca](http://www.whiterockcity.ca)

The City of White Rock is committed to the health and safety of our community. In keeping with Ministerial Order No. M192 from the Province of British Columbia, City Council meetings will take place without the public in attendance at this time until further notice.

T. Arthur, Director of Corporate Administration

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Pages

1. CALL MEETING TO ORDER

1.1. FIRST NATIONS LAND ACKNOWLEDGEMENT

*We would like to recognize that we are standing/working/meeting on the traditional unceded territory of the Semiahmoo First Nation, and also wish to acknowledge the broader territory of the Coast Salish Peoples.*

2. MOTION TO CONDUCT THE REGULAR MEETING OF COUNCIL  
WITHOUT THE PUBLIC IN ATTENDANCE

RECOMMENDATION

THAT White Rock City Council:

WHEREAS COVID-19 has been declared a global pandemic;

WHEREAS the City of White Rock has been able to continue to provide the public access to the meetings through live streaming;

WHEREAS holding public meetings in the City Hall Council Chambers, where all the audio/video equipment has been set up for the live streaming program, would not be possible without breaching physical distancing restrictions due to its size, and holding public meetings at the White Rock Community Centre would cause further financial impact to City Operations due to staffing resources and not enable live streaming;

WHEREAS Ministerial Order No. 192 requires an adopted motion in order to hold public meetings electronically, without members of the public present in person at the meeting;

THEREFORE BE IT RESOLVED THAT White Rock City Council authorizes the City of White Rock to hold the July 26, 2021 Regular Council meeting to be video streamed and available on the City's website, and without the public present in the Council Chambers.

3. ADOPTION OF AGENDA

RECOMMENDATION

THAT the Corporation of the City of White Rock Council adopt the agenda for its regular meeting scheduled for July 26, 2021 as circulated.

4. ADOPTION OF MINUTES

13

RECOMMENDATION

THAT the Corporation of the City of White Rock adopt the following meeting minutes:

- July 12, 2021- Special Council meeting - West Beach Business Owners/ Operators;
- July 12, 2021 - Special to Close meeting (Financial Planning Policy Task Force dissolved); and
- July 12, 2021 - Regular Council meeting.



## 5. QUESTION AND ANSWER PERIOD

Due to the COVID-19 global pandemic, in-person Question and Answer Period has been temporarily suspended until further notice. You may forward questions and comments to Mayor and Council by emailing [ClerksOffice@whiterockcity.ca](mailto:ClerksOffice@whiterockcity.ca) with Question and Answer Period noted in the subject line. Your questions and comments will be noted along with answers and placed on the City's website. You will be notified directly once this has been completed.

As of 8:30 a.m., July 21, 2021 there were **no** Question and Answer period submissions received.

**Note:** there are to be no questions or comments on a matter that will be the subject of a public hearing (time between the public hearing and final consideration of the bylaw).

### **RECOMMENDATION**

THAT Council receive for information the correspondence submitted for Question and Answer Period by 8:30 a.m July 26, 2021, **including "On-Table"** information provided with staff responses that are available at the time.

## 6. DELEGATIONS AND PETITIONS

### 6.1. DELEGATIONS

None

### 6.2. PETITIONS

None

## 7. PRESENTATIONS AND CORPORATE REPORTS

### 7.1. PRESENTATIONS

#### 7.1.a. WHITE ROCK RCMP Q2 REPORT AND POLICING UPDATE

Staff Sargent Pauls, White Rock RCMP to provide an update on the Second Quarter (Q2) Report for policing.

### 7.2. CORPORATE REPORTS

#### 7.2.a. COVID-19 GLOBAL PANDEMIC VERBAL UPDATE

The Fire Chief to provide a verbal update regarding the COVID-19 global pandemic.

**7.2.b. 2021 CULTURE DAYS WELCOME BACK SPECIAL EVENT 43**

Corporate report dated July 26, 2021 from the Director of Recreation and Culture titled "2021 Culture Days Welcome Back Special Event".

**RECOMMENDATION**

**THAT Council receives for information the corporate report dated July 26, 2021, from the Director of Recreation & Culture, titled 2021 Culture Days Welcome Back White Rock Special Event.**

**7.2.c. WHITE ROCK LAWN BOWLING CLUB LOAN REQUEST 46**

Corporate report dated July 26, 2021 from the Acting Director of Financial Services titled "White Rock Lawn Bowling Club Loan Request".

**RECOMMENDATION**

**THAT Council:**

- 1. Receive for information the corporate report dated July 26, 2021 from the Acting Director of Financial Services, titled "White Rock Lawn Bowling Club Loan Request;"**
- 2. Approve the Partnering & Loan Agreement and the Licence Extension Agreement with the White Rock Lawn Bowling Club substantially in the form attached as Appendix A;**
- 3. Provide direction to proceed with a public notice of the City's intent to lend \$62K to the White Rock Lawn Bowling Club, in accordance with Sections 24 and 94 of the *Community Charter*, and**
- 4. Authorize the Mayor and Director of Corporate Administration to sign the Partnering & Loan Agreement and the Licence Extension Agreement following the expiration of the notice period.**

**7.2.d. OXFORD STREET ASSESSMENT 77**

Corporate report dated July 26, 2021 from the Director of Engineering and Municipal Operations titled "Oxford Street Assessment".

**RECOMMENDATION**

**THAT Council:**

- 1. Receive for information the corporate report dated July 26, 2021 from the Director of Engineering and Municipal Operations Department, titled "Oxford Street Assessment;"**
- 2. Direct Staff to further research HFST and supplier availability before potential inclusion in an upcoming Financial Plan; and**
- 3. Direct Staff to process and proceed with the installations of signs.**

## 7.2.e. STATUS UPDATE OF COUNCIL'S 2021-2022 TOP FIVE (5) PRIORITIES

Council's 2021 - 2022 Top five (5) Priorities with new activity comments provided for information:

- **One-Way Marine Drive (Extend Restaurant Patio Space):** Council directed that the lane closure barricades be removed no sooner than August 7<sup>th</sup>. Staff are contacting the contractor to see if they can be removed for Wednesday, August 11<sup>th</sup>. This will give the first three (3) days of the week for restaurants to remove the patios. Once staff receive confirmation that the date works for the contractor, staff will advise the patio permit holders.
- **The Official Community Plan (OCP) Review:** On July 12, 2021, the current OCP Review process has concluded with City Council adopting Official Community Plan Amendment Bylaw No. 2387, the bylaw that updates the City's OCP. Several changes have been made to the OCP, including limiting the scale (height and density) of development in the Town Centre, Town Centre Transition, and Waterfront Village land use designations, as well as introducing new definitions for affordable rental housing as they relate to density bonus incentives for projects that include affordable rental housing.
- **Solid Waste Pickup for Multi-Family:** A number of milestones need to be met in order to convert multi-family and commercial solid waste hauling to a single contract administered by the City. Staff are currently identifying the legal and financial challenges of converting over 400 private contracts to a City administered utility paid for through user solid waste fees. Milestones in the process are:
  - Council report to discuss legal steps, process steps to set up utility, consultation, bulky waste collection and estimated user fees. **October 2021**
  - Enact Bylaw to set up Solid Waste Utility for commercial and multi-family collection starting in 2023. **November 2021**
  - Budget submission for Solid Waste Coordinator position. **December 2021**
  - Retain Solid Waste Coordinator. **Spring 2022**
  - RFP for single solid waste contractor. **Summer 2022**
  - Conversion of over 400 contracts to City administered collection. **Summer and Fall 2022**
  - Start of City administered collection of all solid waste in White Rock. **Spring 2023**

- **Housing Needs / Affordable Housing:** July 12, 2021, the current OCP Review process has concluded with City Council adopting Official Community Plan Amendment Bylaw No. 2387, the bylaw that updates the City's OCP. Several changes have been made to the OCP, including limiting the scale (height and density) of development in the Town Centre, Town Centre Transition, and Waterfront Village land use designations, as well as introducing new definitions for affordable rental housing as they relate to density bonus incentives for projects that include affordable rental housing.
- On July 27, 2021, staff expect to bring forward the engagement summary from CitySpaces Consulting to the Housing Advisory Committee, describing what was heard from the public and stakeholders during the recent workshops held in support of preparation of the Housing Needs Report.
- **Community Amenity Contribution "Shovel-in-the-Ground" Projects:**
  - - **Bay Street Beach Access Ramp:** Signs advising of the construction are placed at Cypress Street and Bay Street ramps. Large project signs to be installed within the coming weeks. Construction scheduled for mid August. Crews are scheduled to relocate rocks blocking the egress from the ramps on July 14th as an interim measure to assist with access until the construction project starts.
  - - **Emerson Park Playground Upgrade:** Project Engineer is preparing scope of design build proposal for playground installation in Spring 2022.
  - - **Maccaud Park Upgrade:** The Project Engineer is reviewing the consultants design proposals and costing prior to presentation to Council for consideration in September.
  - - **Centre Street Hillside Walkway Upgrade:** Consultant is finalizing the drawings. We expect the encroachment letters to go out in two (2) weeks. We are asking the residents to remove their encroachments by the end of the year. If they fail to do so, it gives the City time to do the work before bird nesting season (March 15).
- **The City's Relationship with the Semiahmoo First Nation:** No new updates

## 8. MINUTES AND RECOMMENDATIONS OF COMMITTEES

**RECOMMENDATION**

THAT Council receive for information the following standing and select committee meeting minutes as circulated:

- Governance and Legislation Committee - July 12, 2021;
- At-Risk and Vulnerable Population Task Force - June 30, 2021;
- Arts and Cultural Advisory Committee - July 8, 2021;
- Public Art Advisory Committee - July 13, 2021;
- Economic Development Advisory Committee - July 14, 2021; and,
- At-Risk and Vulnerable Population Task Force - July 15, 2021.

## 8.2. STANDING AND SELECT COMMITTEE RECOMMENDATIONS

## 8.2.a. ARTS AND CULTURAL ADVISORY COMMITTEE (COUNCILLOR MANNING, CHAIRPERSON FOR JULY 8, 2021 MEETING)

## 8.2.a.a. RECOMMENDATION #1 - ARTS AND CULTURAL SPACE INCLUDED IN NEW DEVELOPMENTS

**Note:** Council may wish to refer this recommendation to staff for a response in regard to process.

**RECOMMENDATION**

THAT Council endorses that the Advisory Design Panel incorporate arts and cultural space, whether public art and/or arts programming space in new developments aligned to the Creative City by the Sea Cultural Strategic Plan.

## 8.2.a.b. RECOMMENDATION #2 - PRIORITY ITEMS FOR 2021/2022 WORK PLAN

**Note:** The workplan items align with the City's Cultural Strategic Plan and to three (3) of Council's Strategic Priorities in terms of Economy, Infrastructure and Community.

## **RECOMMENDATION**

**THAT Council endorses that the following items be identified as priority items within the Arts and Cultural Committee 2021/ 2022 Work Plan:**

- 1.3.1 - Explore the options for creating an Arts Endowment Fund to provide a pool of arts development money available to groups;
- 2.1.1 - Conduct an Arts and Culture Opportunity and Needs Assessment (including City owned, leased or privately owned dedicated arts spaces). As well as the possibility of merging a new seniors' programming facility with arts and cultural needs. Access grants if possible; and,
- 2.1.2 - Follow up the Needs Assessment with a concept plan and construction drawings for the provision of an Arts and Cultural Facility to meet community requirements including the possibility of merging a new seniors' programming facility with arts and cultural needs. Be shovel ready and access grants and create budget.

## **9. BYLAWS AND PERMITS**

### **9.1. BYLAWS**

None

### **9.2. PERMITS**

#### **9.2.a. Major Development Permit Application - 1454 Oxford Street (14-009)**

114

Consideration of this permit is in regard to the applicable Development Permit Area guidelines for a 121 unit multi-family development including two residential towers (i.e., 21 and 24 storeys) and a shared two-storey podium. The subject development proposal was considered by the City upon receipt of OCP and zoning amendment applications in 2014. These applications, in addition to a Phased Development Agreement, were approved by the City in 2017, including site-specific (CD-46) zoning parameters that determine the location, size and siting of buildings on the property. The Phased Development Agreement also requires the owner to provide 0.92 acres of treed area on the east side of the property to the City for the protection of the natural environment before the issuance of a development permit, and this treed area has now been transferred to the City. This development permit application pertains to the appropriateness of the form and character of the buildings and the protection of the natural environment, as considered against the applicable Development Permit Area guidelines.

**NOTE:** This item was the subject on the Land Use and Planning Committee meeting held earlier in the evening.

## **RECOMMENDATION**

**THAT Council authorize the issuance of Development Permit No. 400 for 1454 Oxford Street.**

### **10. CORRESPONDENCE**

#### **10.1. CORRESPONDENCE - RECEIVED FOR INFORMATION**

**Note:** Further action on the following correspondence items may be considered. Council may request that any item be brought forward for discussion, and may propose a motion of action on the matter.

## **RECOMMENDATION**

**THAT Council receive correspondence Items 9.1a - 9.1.g as circulated in the agenda.**

#### **10.1.a. MINISTRY OF ENVIRONMENT AND CLIMATE CHANGE STRATEGY 147**

Responding correspondence dated July 7, 2021 from Ministry of Environment and Climate Change Strategy, to the City's April 27, 2021 inquiry regarding enforcement on the Foreshore - Intertidal Area (Semiahmoo Bay).

**Note:** The correspondence informs that other municipalities have entered into agreements with the Conservation Officer Service for enhanced service level in this regard, whereby the municipality financially support enhanced compliance and enforcement operations.

#### **10.1.b. E-COMM BOARD OF DIRECTORS NOMINATION - 2021-2022 TERM 150**

Correspondence dated July 9, 2021 from E-Comm 9-1-1 requesting Council to put forward an E-Comm Board of Director designates for the 2021-2022 term. E-Comm is looking for direction through a recommendation on the White Rock representative to be appointed. The Annual General meeting will be held virtually on September 23, 2021.

The schedule for the shared seat on the E-Comm Board is as follows:

- City of Langley- two-year term (beginning at the 2019 AGM);
- City of White Rock- two-year term (beginning at the 2021 AGM); and
- Township of Langley - four-year term (beginning at the 2023 AGM).

**Note:** The City of White Rock Fire Chief may be a consideration for this role, in some municipalities this has been done for consistency and context.

**RECOMMENDATION**

**THAT Council appoint \_\_\_\_\_ as the City of White Rock Representative for a two-year term beginning with the E-Comm Annual General Meeting of 2021.**

**10.1.c. MINISTRY OF FORESTS, LANDS, NATURAL RESOURCE OPERATIONS AND RURAL DEVELOPMENT - MODERNIZING FOREST POLICY 0 LOCAL GOVERNMENT ENGAGEMENT SESSIONS 160**

Correspondence dated July 7, 2021 from Ministry of Forests, Lands, Natural Resource Operations and Rural Development providing an invitation for local government engagement sessions for the Modernizing Forest Policy. A regional virtual engagement session will be held until July 27, 2021 at 1:30 p.m. A link is provided within the correspondence to register.

**10.1.d. OPIOID RESPONSE TEAM, HEALTH CANADA - OPIOID OVERDOSE CRISIS IN CANADA 190**

Responding correspondence dated July 14, 2021 from the Opioid Response Team, Controlled Substances and Cannabis Branch, Health Canada in regard to the City's February 19, 2021 correspondence. Information is provided that outlines the current approach guided by federal drug strategy - the Canadian Drugs and Substances Strategy.



**CITY OF VANCOUVER - REQUEST FOR SUPPORT  
DECRIMINALIZATION EXEMPTION**

The City of Vancouver has requested the City of White Rock's support in their moving ahead so new approaches to the overdose crisis can be trialed with decriminalization of simple possession of illicit drugs (health-focused approach to substance use).

Link to the release: <https://www.newswire.ca/news-releases/mayors-from-seven-cities-across-british-columbia-call-on-the-government-of-canada-to-support-vancouver-s-application-to-decriminalize-simple-possession-891002970.html> [newswire.ca]

Link to the submission: <https://vancouver.ca/people-programs/decriminalizing-simple-possession-of-illicit-drugs-in-vancouver.aspx>

**Note:** Council requested that this item be deferred from the July 12<sup>th</sup> meeting to the next meeting. Staff Sargent Pauls will be in attendance to speak to this item should Council have questions.

**Note:** Council may wish to consider the following recommendation:

**RECOMMENDATION**

*THAT Council support the City of Vancouver's submission to Health Canada for a decriminalization of simple possession of illicit drugs (moving away from criminal sanctions and towards instead a health-focussed approach to substance use).*

**DRAFT METRO 2050: REFERRAL FOR COMMENT**

Correspondence dated July 14, 2021 from Metro Vancouver regarding the Draft Metro 2050 regional growth strategy.

To view the growth strategy please visit the following link:

<http://www.metrovancouver.org/services/regional-planning/PlanningPublications/DraftMetro2050.pdf>

**Note:** Metro Vancouver will be providing a presentation to Council on the Draft Metro 2050 regional growth strategy later this fall.

**RECOMMENDATION**

**THAT Council refer to staff the July 14, 2021 information provided by Metro Vancouver regarding the Draft Metro 2050 for their review and comments to bring forward for Council consideration.**

10.1.g. MP PETER JULIAN - CLIMATE CHANGE INITIATIVES

222

Correspondence dated July 20, 2021 from MP Peter Julian (New Westminster-Burnaby) requesting endorsement for two (2) legislative initiatives: Motion M-2 for a Green New Deal and Motion M-94 to stop the Trans Mountain pipeline project.

Note: Council may wish to make the following recommendation:

**RECOMMENDATION**

*THAT Council support proposed Motion M-1 for a Green New Deal and Motion M-94 to stop the Trans Mountain Pipeline Project , brought to their attention by MP Peter Julian.*

11. MAYOR AND COUNCILLOR REPORTS

11.1. MAYOR'S REPORT

11.2. COUNCILLORS REPORTS

12. MOTIONS AND NOTICES OF MOTION

12.1. MOTIONS

12.2. NOTICES OF MOTION

13. RELEASE OF ITEMS FROM CLOSED COUNCIL MEETINGS

14. OTHER BUSINESS

14.1. CLOSING THE WEST BEACH PARKADE TOP FLOOR (EXCLUDING LONG WEEKENDS IN THE SUMMER)

Councillor Manning requested that this item be placed on the agenda for discussion.

14.2. MARINE DRIVE FOLLOW-UP: SURVEY CONTENT AND FORMING WORKING GROUP/ TASK FORCE TO REVIEW AND RECOMMEND FUTURE IMPROVEMENTS

225

Councillor Manning requested that this item be placed on the agenda for discussion.

Note: The Draft Survey has been included on the agenda for review and opportunity for discussion.

15. CONCLUSION OF THE JULY 26, 2021 REGULAR COUNCIL MEETING

## Special Meeting of White Rock City Council

### Minutes



July 12, 2021, 4:00 p.m.

City Hall Council Chambers

15322 Buena Vista Avenue, White Rock, BC, V4B 1Y6

#### PRESENT:

Mayor Walker  
Councillor Chesney  
Councillor Fathers  
Councillor Johanson  
Councillor Kristjanson (entered at 4:05 p.m.)  
Councillor Manning  
Councillor Trevelyan

#### STAFF:

Jim Gordon, Director of Engineering and Municipal Operations  
Carl Isaak, Director of Planning and Development Services  
Shannon Johnston, Manager, Budgets and Accounting  
Eric Stepura, Director of Recreation and Culture  
Ed Wolfe, Fire Chief  
Debbie Johnstone, Deputy Corporate Officer  
Donna Kell, Manager of Communications and Government Relations  
Chloe Richards, Committee Clerk

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#### 1. **CALL MEETING TO ORDER**

The meeting was called to order at 4:01 p.m.

#### 2. **MOTION TO CONDUCT A SPECIAL COUNCIL MEETING WITHOUT THE PUBLIC IN ATTENDANCE**

**Motion Number: 2021-252...It was MOVED and SECONDED**

WHEREAS COVID-19 has been declared a global pandemic;

WHEREAS the City of White Rock has been able to continue to provide the public access to the meetings through live streaming;

WHEREAS holding public meetings in the City Hall Council Chambers, where all the audio/video equipment has been set up for the live streaming program, would not be possible without breaching physical distancing restrictions due to its size, and holding public meetings at the White Rock Community Centre would cause further financial impact to City Operations due to staffing resources and not enable live streaming;

WHEREAS Ministerial Orders require an adopted motion in order to hold public meetings electronically, without members of the public present in person at the meeting;

THEREFORE BE IT RESOLVED THAT Council authorizes the City of White Rock to hold the July 12, 2021 Special Council meeting to be video streamed and available on the City's website, and without the public present in the Council Chambers.

Absent (1): Councillor Kristjanson

**Motion CARRIED (6 to 0)**

**3. ADOPTION OF AGENDA**

**Motion Number: 2021-253 It was MOVED and SECONDED**

THAT the Corporation of the City of White Rock Council adopt the agenda for its special meeting scheduled for July 12, 2021, as circulated.

Absent (1): Councillor Kristjanson

**Motion CARRIED (6 to 0)**

**4. TEMPORARY ONE LANE CLOSURE ON MARINE DRIVE AND IMPACT ON THE WEST BEACH BUSINESSES**

Council present this as an opportunity to hear from the businesses of West Beach along Marine Drive. With the temporary one lane closure on Marine Drive to expand patio space, Council encourage the business owners/ operators to call into the meeting and share their experiences with the temporary one lane closure.

1. The Deputy Corporate Officer noted the following "On-Table" correspondence:

- There were **Eighteen (18)** pieces of correspondence forwarded to Council and placed on the City website that responded to a request for

submissions. Two (2) of these submissions were petitions, one (1) with a total of 32 responses, and the other with a total of 990 signatures (18 from West Beach Businesses).

2) The Mayor asked for Phone in Submissions to now begin:

- White Rock Boathouse Restaurant - 14925 Marine Drive White Rock, not in support of the temporary lane closure, noted impacts on transit makes it more challenging for employees to get to and from work.
- S. Preddy, Little Odies Mini Donut (Memorial Plaza), not in support, stating they have noticed a significant decrease in sales/ foot traffic. With indoor dining returning back to normal would make sense for two-way traffic to resume. Noted while the closure has been successful for some, it is not for all businesses.

Councillor Kristjanson entered the meeting at 4:05 p.m.

- G. Knight, Le Sasquatch, 150675 Marine Drive, supportive of the one-way closure, noted that they had obtained a patio licence through the City and have hired additional staff for increased business thinking the closure would be in place until September. Sales have increased during this time and would like to see the project continue. For businesses on West Beach who have invested in this project it has created more business and should be permitted to stay. It was also noted that one-way traffic reduces speeds along Marine Drive and adds to safety in the area for kids and families.
- FIVE Kitchen & Raw Oyster Bar - 15047 Marine Drive, supportive of the one-way closure, would like this to stay in place until September. For smaller restaurants on Marine Drive any outdoor patio seating is desirable, which helps business.
- S. McQuade, Primos Mexican Grill – 15069 Marine Drive, supportive of the one way closure, noted this pilot project has helped businesses and has created new life on Marine Drive. Stated that businesses have suffered on Marine Drive in the past from the pandemic, construction and the loss of the Pier. This is a project that – for those who have chose to invest in the project – has paid off. Would like to see this extended to September, and for Council to look at other ways to address issues with the closure, such as additional signage for the parkade and more communication on the closure.
- R. Khanna, SSWR Chamber of Commerce, noted she has received mixed reviews on the one-lane closure; however, the City has made a decision and businesses have put investments into the initiative, which would be pre-

mature to end now. Looking into ways to assist those businesses who are still struggling was encouraged – improve the permitting process and better communication.

- Bella's Miracle Shop 14841/ 14877 Marine Drive, in support of keeping the one-way lane closure for Marine Drive. Her husband, however, is not in support – would like things returned back to two-way traffic.
- A. Valtri, The Ocean Beach, 14995 Marine Drive, not in support of the one-way closure, spoke of concerns with traffic on Marine Drive. With indoor dining allowed for up to 50 people finding staff can be challenging, let alone for additional tables on the Street. Losses for East Beach businesses are concerning, and having only some restaurants benefit from this pilot project does not seem fair.
- G. Wait, Jan's on the Beach Restaurant, 14989 Marine Drive, in support of the one-way closure, noting that this has worked well for their restaurant and has been good for business to have additional outdoor tables.
- A. Hansen, Charlie Don't Surf - 15011 Marine Drive – in support of the one-way closure, noted that business is up about 25%. Concerns if this does not go ahead there would be lay offs and/ or having to cut hours for staff. Making Marine Drive pedestrian friendly is a good idea to increase foot traffic in the area. With respect to traffic, it was noted that there were concerns this could create gridlock, but traffic has always been an issue on Marine Drive.

At 4:32 p.m. the Mayor noted that Council appreciated those who have taken the time to participate by providing feedback from West Beach Businesses.

## **5. DISCUSSION BY COUNCIL IN REGARD TO THE TEMPORARY ONE LANE CLOSURE ON MARINE DRIVE**

After hearing from both West and East Beach business owners/ operators, Council discussed the temporary one lane closure on Marine Drive.

The following discussion points were noted:

- Cost to date for the barricades is \$195,000. If this project were to continue to September, the approximate cost would be \$250,000.
- Staff has been keeping in contact with the contractor, and it has been noted that the earliest they would be able to remove the barricades would be early August. Following that it would take another one (1) to two (2) days to return Marine Drive back to normal, subject to weather.

- Ways to maintain the closure while assisting East Beach businesses were discussed.
- Permits issued for patios had an expiry date of September 30<sup>th</sup> (this was on the original template). Was communicated this way and was done so prior to the subsequent motion from Council to have this end when restaurants are at full capacity.
- Funding for the partial temporary one-way Closure for Marine Drive will be addressed from the COVID-19 Recovery Grant.

**Motion Number: 2021-254 It was MOVED and SECONDED**

**THAT Council direct:**

1. **A survey take place for all residents in White Rock as well as businesses on Marine Drive regarding the impact that the one-way closure has had;**
2. **A Special Council meeting be held to review the results should this type of closure be needed in the future and how they can be improved in the future.**

Voted in the negative (1): Councillor Chesney

**Motion CARRIED (6 to 1)**

**Motion Number: 2021-255 It was MOVED and SECONDED**

**That Council continue with their commitment and continue the one way lane closure on Marine Drive on West Beach until September and defer to staff as to how to look into changing to revert back to two-way traffic for East Beach; and**

**THAT staff work with Zapoteca Mexican Grill and Seafood to help address their outdoor dining.**

Voted in the negative (5): Mayor Walker, Councillor Chesney, Councillor Fathers, Councillor Manning, and Councillor Trevelyan

**Motion DEFEATED (2 to 5)**

**Motion Number: 2021-256 It was MOVED and SECONDED**

**THAT Council reaffirms its last direction that once full indoor dining is restored the Marine Drive one-way traffic trial will be ended (no earlier than August 7<sup>th</sup>).**

Voted in the negative (3): Councillor Chesney, Councillor Johanson, and Councillor Kristjanson

**Motion CARRIED (4 to 3)**

**6. CONCLUSION OF THE JULY 12, 2021 SPECIAL COUNCIL MEETING**

The meeting was concluded at 5:04 p.m.



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Mayor Walker

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Debbie Johnstone, Deputy  
Corporate Officer



## Special to Close Meeting of White Rock City Council Minutes



July 12, 2021, 5:00 p.m.

City Hall Council Chambers

15322 Buena Vista Avenue, White Rock, BC, V4B 1Y6

PRESENT: Mayor Walker  
Councillor Chesney  
Councillor Fathers  
Councillor Johanson  
Councillor Kristjanson  
Councillor Manning  
Councillor Trevelyan

STAFF: Jim Gordon, Director of Engineering and Municipal Operations  
Debbie Johnstone, Deputy Corporate Officer  
Chloe Richards, Committee Clerk

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### 1. **CALL MEETING TO ORDER**

The meeting was called to order at 5:05 p.m.

### 2. **ADOPTION OF AGENDA**

**Motion Number: 2021-257 It was MOVED and SECONDED**

THAT the Corporation of the City of White Rock Council adopt the agenda for its special meeting scheduled for July 12, 2021, as circulated.

**Motion CARRIED**

3. **ADOPTION OF MINUTES**

**Motion Number: 2021-258 It was MOVED and SECONDED**

THAT the Corporate of the City of White Rock Council adopt the following minutes of the Special to Close meetings as circulated:

a. June 28, 2021.

**Motion CARRIED**

4. **MOTION TO CLOSE AND CONCLUDE THE SPECIAL TO CLOSE COUNCIL MEETING (OPEN SESSION) AND PROCEED TO A CLOSED MEETING**

**Note:** If there is any consideration of an amendment to the **closed agenda** of **July 12, 2021** please ensure the correct corresponding section of the *Community Charter* has been identified in the motion below, if not please state the additional section to be required (see attached for the legislated section numbers).

It was noted that at this time there have only been two (2) applications received for the Financial Planning Policies Task Force. As this is not enough interest to fulfill the Task Force mandate, Council expressed an interest to discuss next steps for the Task Force in an open meeting.

**Motion Number: 2021-259 It was MOVED and SECONDED**

**THAT Council does not endorse going into a closed meeting, and instead wants to discuss the Financial Planning Policies Task Force in an open meeting to determine how to re-assign the Task Force Terms of Reference to Council.**

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-260 It was MOVED and SECONDED**

**THAT Council:**

- **Dissolve the Financial Planning Policies Task Force;**
- **Merge the mandate of the Financial Planning Policies Task Force into the Finance and Audit Committee, for all members of Council to participate;**
- **Include public input into the budget planning process for the Finance and Audit Committee; and,**

- Thank the two (2) community members who have applied for the Task Force.

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-261 It was MOVED and SECONDED**

**THAT Council directs a Finance and Audit Committee meeting be convened on Wednesday, July 28, 2021 where the mandate of the proposed Financial Planning Policies Task Force be discussed.**

**Motion CARRIED (7 to 0)**

**5. CONCLUSION**

The meeting was concluded at 5:11 p.m.



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Mayor Walker

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Debbie Johnstone, Deputy  
Corporate Officer

## Regular Council Meeting of White Rock City Council

### Minutes



July 12, 2021, 7:00 p.m.

City Hall Council Chambers

15322 Buena Vista Avenue, White Rock, BC, V4B 1Y6

PRESENT: Mayor Walker  
Councillor Chesney  
Councillor Fathers  
Councillor Johanson  
Councillor Kristjanson  
Councillor Manning  
Councillor Trevelyan

STAFF: Jim Gordon, Director of Engineering and Municipal Operations  
Carl Isaak, Director of Planning and Development Services  
Eric Stepura, Director of Recreation and Culture  
Ed Wolfe, Fire Chief  
Shannon Johnston, Manager, Budgets and Accounting  
Donna Kell, Manager of Communications and Government Relations  
Debbie Johnstone, Deputy Corporate Officer  
Chloe Richards, Committee Clerk

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#### 1. **CALL MEETING TO ORDER**

The meeting was called to order at 7:02 p.m.

##### 1.1 **FIRST NATIONS LAND ACKNOWLEDGEMENT**

*We would like to recognize that we are standing/working/meeting on the traditional unceded territory of the Semiahmoo First Nation, and also wish to acknowledge the broader territory of the Coast Salish Peoples.*

**2. ADOPTION OF AGENDA**

**Motion Number: 2021-262 It was MOVED and SECONDED**

**THAT the Corporation of the City of White Rock Council adopt the agenda for its regular meeting scheduled for July 12, 2021 as circulated.**

**Motion CARRIED**

**3. ADOPTION OF MINUTES**

**Motion Number: 2021-263 It was MOVED and SECONDED**

**THAT the Corporation of the City of White Rock adopt the following meeting minutes:**

- **June 28, 2021 - Regular Council meeting;**
- **July 5, 2021 - Special Council meeting - East Beach Business Owners/ Operators; and**
- **July 5, 2021 - Public Hearing (PH1: Bylaw 2363 (CD-64, 1485 Fir Street and PH2: Liquor Primary Licence - 1515 Johnston Road).**

**Motion CARRIED**

**4. QUESTION AND ANSWER PERIOD**

Due to the COVID-19 global pandemic, in-person Question and Answer Period has been temporarily suspended until further notice. You may forward questions and comments to Mayor and Council by emailing [ClerksOffice@whiterockcity.ca](mailto:ClerksOffice@whiterockcity.ca) with Question and Answer Period noted in the subject line. Your questions and comments will be noted along with answers and placed on the City's website. You will be notified directly once this has been completed.

As of 8:30 a.m., July 7, 2021, there was one (1) Question and Answer period submissions received.

- **Question/ Comment submitted by M. Desmarius surrounding businesses and Marine Drive temporary one lane closure.**

**Motion Number: 2021-264 It was MOVED and SECONDED**

**THAT Council receive for information the correspondence submitted for Question and Answer Period by 8:30 a.m. July 12, 2021.**

**Motion CARRIED**

**5. DELEGATIONS AND PETITIONS**

**5.1 DELEGATIONS**

None

**5.2 PETITIONS**

None

**6. PRESENTATIONS AND CORPORATE REPORTS**

**6.1 PRESENTATIONS**

**6.1.a WHITE ROCK TOURISM UPDATE - EXPLORE WHITE ROCK**

Ange Chew, Executive Director of Explore White Rock, provided a PowerPoint presentation outlining tourism activities in White Rock for the remainder of 2021.

**6.2 CORPORATE REPORTS**

**6.2.a COVID-19 GLOBAL PANDEMIC VERBAL UPDATE**

The Fire Chief provided a verbal update regarding the COVID-19 global pandemic. It was noted that numbers continue to trend in the right direction throughout the region.

Staff reported that there would be a mobile vaccination clinic on Wednesday, July 14 at the East Beach Cypress Parking Lot.

**6.2.b RECOGNITION OF CANADIAN FORCES SNOWBIRDS 431 AIR DEMONSTRATION TEAM STORY BOARD ON WHITE ROCK PIER**

Corporate report dated June 28, 2021 from the Director of Recreation and Culture titled "Recognition of Canadian Forces Snowbirds 431 Air Demonstration Team Story Board on White Rock Pier".

**Note:** This corporate report was deferred from the June 28<sup>th</sup> Regular Council meeting.

Council discussed potential locations and the timeline for installation. It was suggested that other locations could be considered aside from the pier/waterfront area.

**Motion Number: 2021-265 It was MOVED and SECONDED**

**THAT Council approve the installation of a story board on the south side of the sidewalk between the grand staircase and the Plaza in Memorial Park (location option three (3)), with the unveiling of the plaque to take place at the next event for the snowbirds.**

Voted in the negative (6): Mayor Walker, Councillor Fathers, Councillor Johanson, Councillor Kristjanson, Councillor Manning, and Councillor Trevelyan

**Motion DEFEATED (1 to 6)**

**Note:** No action by Council was taken at this time in regard to the Snowbird 43 Air Demonstration Team Story Board on the White Rock Pier

**Motion Number: 2021-266 It was MOVED and SECONDED**

**THAT Council:**

- 1. Approve the installation of a story board at the south end of the White Rock Pier to recognize White Rock's longstanding relationship with the Canadian Forces Snowbirds 431 Air Demonstration Team; and**
- 2. Approve funding in the amount of \$1,500 from the City's contingency account to purchase and install the Canadian Forces Snowbirds 431 Air Demonstration Team recognition story board.**

Voted in the negative (4): Councillor Chesney, Councillor Johanson, Councillor Kristjanson, and Councillor Trevelyan

**Motion DEFEATED (3 to 4)**

**6.2.c STATUS UPDATE OF COUNCIL'S 2021-2022 TOP FIVE (5) PRIORITIES**

Council's 2021 - 2022 Top five (5) Priorities with new activity comments provided for information purposes.

- **One Way Marine Drive (Extend Restaurant Patio Space):**  
Processing of patio applications continues. Staff are working with HR in an attempt to bring in additional resources as development proposals affecting city right of way are on hold. Delays of additional 4-6 weeks for developers.  
  
Staff are also working on various scenarios for modified lane closures or return to the status quo. Staff are in continual contact with the contractor regarding future actions as at least a 2-3 week delay in bringing the contractor in once a decision is made as the contractor is working on other barrier projects for MOTI.
- **The Official Community Plan (OCP) Review:** - On June 21, 2021, a public hearing for OCP Amendment Bylaw No. 2387 was held regarding building heights and density allowed for new development. Council may consider giving third reading and adopting the bylaw on July 12, 2021, or amending



the bylaw (for aspects not related to land use or density) and then giving third reading and adopting the bylaw. Any changes to land use or density after the public hearing would require a new public hearing to be held

- **Solid Waste Pickup for Multi-Family: No New Updates:**
  - No new updates
- **Housing Needs / Affordable Housing:**
  - On June 21, 2021, a public hearing for OCP Amendment Bylaw No. 2387 was held regarding building heights and density allowed for new development, including a density bonus for projects with "affordable rental housing" in the Town Centre Transition area. The definition for "affordable rental housing" was developed with the input of the City's Housing Advisory Committee.- Council may consider giving third reading and adopting the bylaw on June 28, 2021, or amending the bylaw (for aspects not related to land use or density) and then giving third reading and adopting the bylaw. Any changes to land use or density after the public hearing would require a new public hearing to be held.
- **Community Amenity Contribution "Shovel-in-the-Ground" Projects:**
  - **Bay Street Beach Access:** Precast concrete panels are being manufactured and set to arrive in late July or early August. Construction scheduled to start in mid August and be completed by September-
  - **Emerson Park Playground Upgrades:** Project coordination assigned to Project Engineer with input from Park Manager-
  - **Maccaud Park Upgrade:** Consultant is updating the concept plans and cost estimate to include options for adult fitness equipment-
  - **Centre Street Walkway Upgrade:** The survey is completed and data being compiled before notices will be sent out to owners adjacent to encroachments. Preliminary design work continues with new survey information.
- **The City's Relationship with the Semiahmoo First Nation:-**
  - No new updates

The following discussion points were noted:

- Similar signage for the status update for East Beach access improvements should be implemented for the West Beach project. Staff noted this is in progress and that they will follow up on the request – will make sure the signage is implemented and is visible for the public.
- An interest was expressed to ensure that the consultant working on the Maccaud Park update is aware of Council's direction for the area to remain natural and green. Staff noted that the options on the space will come back to Council for their direction. It was further noted that fitness equipment has been donated to the City, and the consultant could look into seeing if this could be a fit for the Maccaud Park proposal.
- With respect for the status of solid waste pick up for multi family, staff noted there has been a case of resources impacting this priority.

**Motion Number: 2021-267 It was MOVED and SECONDED**

**THAT Council direct staff to bring forward a list of milestones and estimated dates for the solid waste pick up program.**

**Motion CARRIED (7 to 0)**

## **7. MINUTES AND RECOMMENDATIONS OF COMMITTEES**

### **7.1 STANDING AND SELECT COMMITTEE MINUTES**

**Motion Number: 2021-268 It was MOVED and SECONDED**

**THAT Council receive for information the following standing and select committee meeting minutes as circulated:**

- **Governance and Legislation Committee - June 14, 2021;**
- **Land Use and Planning Committee - June 28, 2021;**
- **Water Community Advisory Panel - June 8, 2021; and,**
- **At-Risk and Vulnerable Population Task Force - June 17, 2021.**

**Motion CARRIED (7 to 0)**

## **7.2 STANDING AND SELECT COMMITTEE RECOMMENDATIONS**

### **7.2.a GOVERNANCE AND LEGISLATION COMMITTEE (CHAIRPERSON COUNCILLOR TREVELYAN - FROM JUNE MEETING)**

#### **7.2.a.a Recommendation #1 - Lighting the White Rock Pier and Memorial Park Architectural Features**

**Motion Number: 2021-269 It was MOVED and  
SECONDED**

**THAT Council endorse Council Policy 168—  
Lighting of the White Rock Pier and Memorial  
Park Architectural Features.**

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-270 It was MOVED and  
SECONDED**

**THAT Council approve funding of \$6,000, plus  
applicable taxes, from the City's contingency  
account to purchase technology to enable City  
staff to program the White Rock Pier and other  
Memorial Park lighting features from a central  
point.**

**Motion CARRIED (7 to 0)**

#### **7.2.a.b TERMS OF REFERENCE - SELECT COMMITTEES (COMMUNITY BASED ORGANIZATIONS TO BE INCLUDED)**

**Motion Number: 2021-271 It was MOVED and  
SECONDED**

**THAT Council Policy 143 Terms of  
Reference: Arts and Cultural Advisory Committee  
be amended to include, within the membership,  
representatives from the following community-  
based organizations to participate at the meetings  
as non-voting members:**

- White Rock Museum and Achieves;
- The White Rock Library; and
- Semiahmoo Arts.

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-272 It was MOVED and SECONDED**

**THAT Council Policy 137 Terms of Reference: Economic Development Advisory Committee be amended to include, within the membership, representatives from the following community-based organizations to participate at the meetings as non-voting members:**

- White Rock Business Improvement Association (BIA);
- South Surrey White Rock Chamber of Commerce; and
- Explore White Rock

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-273 It was MOVED and SECONDED**

**THAT Council Policy 138 Terms of Reference: Environmental Advisory Committee be amended to include members from the Grassroots Environmental Club at Earl Marriott Senior Secondary (all members be given a change to attend on a rotating basis).**

Voted in the negative (2): Mayor Walker, and Councillor Fathers

**Motion CARRIED (5 to 2)**

Question was called on the main motion as amended:

**Motion Number: 2021-274 It was MOVED and SECONDED**

**THAT Council Policy 138 Terms of Reference Environmental Advisory Committee be amended to include representatives from the following community-based organizations to participate at the meetings as non-voting members:**

- **Semiahmoo First Nation; and**
- **Members from the Grassroots Environmental Club at Earl Marriott Senior Secondary (all members be given an opportunity to attend on a rotating basis).**

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-275 It was MOVED and SECONDED**

**THAT Council Policy 159 Terms of Reference: History and Heritage Advisory Committee be amended to include, within the membership, representatives from the following community-based organizations to participate at the meetings as non-voting members:**

- **Semiahmoo First Nation; and**
- **White Rock Museum and Achieves.**

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-276 It was MOVED and SECONDED**

**THAT Council Policy 164 Terms of Reference: Housing Advisory Committee be amended to include, within the membership, representatives from the following community-based**

organizations to participate at the meetings as non-voting members:

- Options (BC Housing);
- Homeless to Housing (Rick Byer);
- Member of Parliament Representative;
- Member of Legislative Assembly Representative; and
- Representative from Seniors Planning Table.

Note: In addition, the City would welcome a representative of Semiahmoo First Nation to bring their voice to the Committee.

Motion CARRIED (7 to 0)

Motion Number: 2021-277 It was MOVED and SECONDED

THAT Council Policy 147 Terms of Reference: Public Art Advisory Committee not be amended to include, within the membership, representatives from community-based organizations to participate at the meetings as non-voting members.

Motion CARRIED (7 to 0)

**7.2.b AT-RISK AND VULNERABLE POPULATION TASK FORCE  
(MAYOR WALKER - CHAIRPERSON)**

**7.2.b.a Recommendation #1 - Task Force Name Change**

Motion Number: 2021-278 It was MOVED and SECONDED

THAT Council change the name for the At-Risk and Vulnerable Population Task Force to be instead the "At-Risk and Priority Population Task Force".

Motion CARRIED (7 to 0)

## 8. **BYLAWS AND PERMITS**

### 8.1 **BYLAWS**

#### 8.1.a **BYLAW 2387 - OFFICIAL COMMUNITY PLAN BYLAW, 2017, NO. 2220, AMENDMENT NO. 2 (HEIGHT AND DENSITY REVIEW), 2021, NO. 2387**

Bylaw 2387- A Bylaw to amend the Official Community Plan (OCP). Bylaw 2387 was given first and second reading on May 31, 2021 and a Public Hearing was held on June 21, 2021. The bylaw is being presented for consideration for third and final reading at this time.

**Note:** If Council wish to consider any minimal amendment(s) (land use and density related items are not minimal amendments and this type of amendment would not permit the bylaw to move forward at this time) to the proposed bylaw this must be done at third reading.

Concerns were noted with mature buildings, such as the Silver Moon and Monticeto, being allowed to build up to four (4) stories, where previously they were only able to build up to three (3) under the Waterfront Village designation.

Staff noted that if it was Council's intention to keep those buildings at three (3) stories in height (with no change to use and density) that the bylaw could be amended as such without the requirement of a new public hearing.

**Motion Number: 2021-279 It was MOVED and SECONDED**

**THAT Council amend Bylaw 2387 to keep at three (3) stories (Urban Neighbourhood designation) for the Silver Moon and Montecito buildings - 1081 Martin Street and 1153 to 1169 Martin Street.**

**Motion CARRIED (7 to 0)**

**Motion Number: 2021-280 It was MOVED and SECONDED**

**THAT Council gives third reading for “*Official Community Plan Bylaw, 2017, No. 2220, Amendment No. 2 (Height and Density Review), 2021, No. 2387*” as amended.**

Voted in the negative (1): Councillor Chesney

**Motion CARRIED (6 to 1)**

**Motion Number: 2021-281 It was MOVED and SECONDED**

**THAT Council gives final reading for “*Official Community Plan Bylaw, 2017, No. 2220, Amendment No. 2 (Height and Density Review), 2021, No. 2387*” as amended.**

Voted in the negative (1): Councillor Chesney

**Motion CARRIED (6 to 1)**

**8.1.b BYLAW 2363 - WHITE ROCK ZONING BYLAW, 2012, NO. 2000, AMENDMENT (CD-64 - 1485 FIR STREET)**

Bylaw 2363 - A bylaw to amend the "White Rock Zoning Bylaw, 2012, No. 2000" as amended to permit the construction of a six-storey 80-unit rental residential building over two (2) levels of underground parking. The project / bylaw was given first and second reading at the October 19, 2020 Regular Council meeting. The public hearing was held January 18, 2021. The bylaw was defeated at third reading and was brought forward for reconsideration as part of the April 26, 2021 meeting agenda by Councillors Manning and Trevelyan. Council rescinded second reading at that time and a new second reading, as amended, was



provided on May 10, 2021. The Public Hearing on the amended Bylaw took place on July 5, 2021. The bylaw is now on the agenda for consideration of third reading.

The following discussion points were noted:

- Concerns with the height at six (6) stories, as well as whether or not this should be classified as affordable housing
- Staff confirmed a number of requirements would need to be met by the developer (goods and services agreement, housing agreement bylaw etc.) prior to final reading taking place.

**Motion Number: 2021-282 It was MOVED and SECONDED**

**THAT Council gives third reading to “*White Rock Zoning Bylaw, 2012, No. 2000, Amendment (CD-64 – 1485 Fir Street), 2020, No. 2363*”.**

Voted in the negative (2): Councillor Johanson, and Councillor Kristjanson

**Motion CARRIED (5 to 2)**

## **8.2 PERMITS**

### **8.2.a LIQUOR PRIMARY LICENCE FOR 1515 JOHNSTON ROAD (LL 21-016)**

This item was brought forward to a Public Hearing held on July 5, 2021.

Council discussed the application, noting that many residents had expressed concerns with the extended hours of service on Friday and Saturday nights (until 2:00 a.m.), even if this was only to be used for special events.

An inquiry was made if these hours were abused, if the City would be able to revoke the licence. Staff noted that as the Liquor Licence is not issued by the City, the City would be unable to revoke this. The City would be able to monitor the applicant through other measures, such as the Noise Control Bylaw.

**Motion Number: 2021-283 It was MOVED and SECONDED**

**THAT Council direct that the hours for liquor service for 1515 Johnston Road be amended to end at midnight (12 a.m.) rather than 2:00 a.m. on Friday and Saturday.**

Voted in the negative (2): Mayor Walker, and Councillor Chesney

**Motion CARRIED (5 to 2)**

**Motion Number: 2021-284 It was MOVED and SECONDED**

**THAT Council:**

**1) Endorse the Liquor Primary Licence for 1515 Johnston Road, subject to the hours of liquor service being amended to midnight on Friday and Saturday, for the lounge endorsement at the premises; and,**

**2) Authorize staff to forward a copy of the June 14, 2021 report and results of the public hearing to the Liquor and Cannabis Regulation Branch for the lounge endorsement at the premises.**

**Motion CARRIED (7 to 0)**

**9. CORRESPONDENCE**

**9.1 CORRESPONDENCE - RECEIVED FOR INFORMATION**

**Motion Number: 2021-285 It was MOVED and SECONDED**

**THAT Council receive Correspondence Items 9.1.a - e as circulated in the agenda.**

**Motion CARRIED (7 to 0)**

**9.1.a METRO VANCOUVER - BOARD IN BRIEF**

Information titled "Board in Brief" from Metro Vancouver for Friday, June 25, 2021.

**9.1.b CITY OF VANCOUVER - REQUEST FOR SUPPORT  
DECRIMINALIZATION EXEMPTION**

The City of Vancouver has requested the City of White Rock's support in their moving ahead so new approaches to the overdose crisis can be trialed with decriminalization of simple possession of illicit drugs (health-focussed approach to substance use).

Link to the release: <https://www.newswire.ca/news-releases/mayors-from-seven-cities-across-british-columbia-call-on-the-government-of-canada-to-support-vancouver-s-application-to-decriminalize-simple-possession-891002970.html> [newswire.ca]

Link to the submission: <https://vancouver.ca/people-programs/decriminalizing-simple-possession-of-illicit-drugs-in-vancouver.aspx>

Council noted that hearing feedback from the Staff Sargent on this topic may be useful prior to moving forward with a motion of support.

**Motion Number: 2021-286 It was MOVED and SECONDED**

**THAT Council defer discussion on this letter to the next scheduled meeting to obtain feedback on the request from staff.**

**Motion CARRIED (7 to 0)**

**9.1.c TRUTH AND RECONCILIATION COMMISSION'S CALL TO ACTION 75 - DISTRICT OF SQUAMISH**

Correspondence dated June 9, 2021 from the Mayor of the District of Squamish to the Honourable Justin Trudeau requesting an acceleration for Action 75 in partnership with Aboriginal communities, provincial and local governments as follows:

*Action 75 of the Commission's Calls to Action, as outlined below:*

*We call upon the federal government to work with provincial, territorial, and municipal governments, churches, Aboriginal communities, former residential school students, and current landowners to develop and implement strategies and procedures for the ongoing identification, documentation, maintenance, commemoration, and protection of residential school cemeteries or other sites at which residential school children were buried. This*

*is to include the provision of appropriate memorial ceremonies and commemorative markers to honour the deceased children.*

**Motion Number: 2021-287 It was MOVED and SECONDED**

**THAT Council support and encourage the acceleration by the federal government of Action 75 in partnership with Aboriginal communities.**

**Motion CARRIED (7 to 0)**

**9.1.d MOTION M-84 ANTI-HATE CRIMES AND INCIDENTS & PRIVATE MEMBER'S BILL C-313 BANNING SYMBOLS OF HATE ACT - PETER JULIAN, MP, NEW WESTMINSTER-BURNABY**

Correspondence dated June 17, 2021 from Peter Julian, MP, New Westminster-Burnaby, requesting support for Motion M-84 Anti-Hate Crimes and Incidents.

**Motion Number: 2021-288 It was MOVED and SECONDED**

**THAT Council endorse MP Peter Julian's private member's motion, Motion M-84 Anti-Hate Crimes and Incidents and his private member's bill Bill-C 313 Banning Symbols of Hate Act, as circulated in the agenda.**

**Motion CARRIED (7 to 0)**

**9.1.e COUNCIL RESOLUTION FOR UBCM - INVOICING FOR REQUIRED OFFICER ATTENDANCE AT HOSPITALS**

Request from J. Justason, Union of BC Municipalities providing suggested changes for the City of White Rock UBCM Resolution on Invoicing for the Required Officer Attendance at Hospitals.

**Motion Number: 2021-289 It was MOVED and SECONDED**

**THAT Council endorse the requested amendment, for clarification purposes, by the UBCM Resolution Board in regard to the City of White Rock's submitted resolution "Invoicing for Required Officer Attendance at Hospitals" to now read as follows:**

*Whereas the RCMP are required under the Mental Health Act (MHA) to remain at the hospital with a person that has been apprehended under the MHA until they can be presented to a physician;*

*And whereas wait times can range from two and one-half (2.5) hours to six (6) hours during which time a person suffering from a mental health condition is in the custody of the police, contributing to further stigmatization, and preventing the police officer from taking any other emergency calls for the provision of their services:*

*Therefore be it resolved that UBCM request that the Province implement a provision permitting local governments to invoice their local health authority for police officers that are required, under the Mental Health Act, to wait with hospital patients for more than 30 minutes, similar to the framework used for BC Ambulance Services.*

**Motion CARRIED (7 to 0)**

**10. MAYOR AND COUNCILLOR REPORTS**

**10.1 MAYOR'S REPORT**

Mayor Walker noted the following information:

- June 29, South Surrey & White Rock Chamber of Commerce “Chamber Chat” and City of White Rock Facebook Live session
- June 30, Judge at the White Rock Community Policing’s 2<sup>nd</sup> Annual Colouring Contest, and in the afternoon the At-Risk and Vulnerable Population Task Force
- July 5, Special Council meeting to hear from East Beach Businesses, and then after a Public Hearing on Proposed Bylaw Amendment No. 2363 for 1485 Fir Street and an application by 3 Dogs Brewing, doing Business as “Taps on Johnston” for a Liquor Primary License at 1515 Johnston Road
- July 7, Metro Vancouver’s Performance and Audit Committee and Metro Vancouver’s Housing Committee
- July 8, Translink Mayor’s Council
- July 9, Federal Funding Announcement at Surrey City Hall and Metro Vancouver’s Mayors’ Committee
- July 11, South Surrey/White Rock Community Action Team at an information booth located at the Farmers’ Market to raise

awareness related to the overdose crisis and reducing the stigma towards people who use substances

## **10.2 COUNCILLORS REPORTS**

Council Manning reported the following:

- June 30, At- Risk and Vulnerable Population Task Force
- July 8, Arts and Cultural Advisory Committee

Council Trevelyan reported the following:

- June 22, Evergreen Childcare Centre Kindergarten graduation event

## **11. MOTIONS AND NOTICES OF MOTION**

### **11.1 MOTIONS**

#### **11.1.a MOTIONS**

Councillor Chesney provided the following motion for consideration at this time:

*THAT Council endorses the speed limited on all streets in White Rock be lowered to 30 km/hr.*

**Motion Number: 2021-290 It was MOVED and SECONDED**

**THAT Council:**

**1. Defer consideration of the following Motion:**

*THAT Council endorses the speed limited on all streets in White Rock be lowered to 30 km/hr; and*

**2. Direct staff bring forward a corporate report, with feedback from the White Rock RCMP.**

**Motion CARRIED (7 to 0)**

### **11.2 NOTICES OF MOTION**

None

## **12. RELEASE OF ITEMS FROM CLOSED COUNCIL MEETINGS**

### **12.1 Released from the June 14, 2021 Closed Council Meeting for Information Purposes**

## **2021-2022 COMMITTEE APPOINTMENTS**

**THAT Council appoint the following community members to the Arts and Cultural Advisory Committee with their term to expire October 31, 2022:**

- **Jim Adams;**
- **Elaine Cheung;**
- **Patryk Stasieczek;**
- **Louise Taylor; and**
- **Denice Thompson.**

**THAT Council appoint the following community members to the Economic Development Advisory Committee with their term to expire October 31, 2022:**

- **Grace Cleveland;**
- **Gary Gumley;**
- **Doug McLean;**
- **Michele Partridge;**
- **Aroon Shah;**
- **Adam Smith; and**
- **Peter Zheng.**

**THAT Council appoint the following community members to the Environmental Advisory Committee with their term to expire October 31, 2022:**

- **Wilma Boyd;**
- **Phil Byer;**
- **Jeff Holm**
- **Ross Hynes**
- **John Lawrence;**
- **Ivan Lessner; and**
- **David Riley.**

**THAT Council appoint the following community members to the History and Heritage Advisory Committee with their term to expire October 31, 2022:**

- **Valerie Adolph;**
- **Moti Bali;**
- **Patti Ghuman;**
- **Gary Gumley;**
- **Ashok Gupta;**

- Toby Pascal; and
- Aroon Shah.

THAT Council appoint the following community members to the Housing Advisory Committee with their term to expire October 31, 2022:

- Stephen Crozier;
- Greg Duly;
- Brian Hagerman;
- Chris Harris;
- Abhishek Mamgain;
- Gary Quinn; and
- Marine Sabine.

THAT Council appoint the following community members to the Public Art Advisory Committee with their term to expire October 31, 2022:

- Jim Adams;
- Barbara Cooper;
- Yvonne Everson;
- Garry Kennedy;
- Patti Ghuman; and
- Patryk Stasieczek.

13. **OTHER BUSINESS**

None

14. **CONCLUSION OF THE JULY 12, 2021 REGULAR COUNCIL MEETING**

The meeting was concluded at 8:57 p.m.




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Mayor Walker

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Debbie Johnstone, Deputy  
Corporate Officer



THE CORPORATION OF THE  
**CITY OF WHITE ROCK**  
**CORPORATE REPORT**



**DATE:** July 26, 2021

**TO:** Mayor and Council

**FROM:** Eric Stepura, Director, Recreation & Culture

**SUBJECT:** 2021 Culture Days Welcome Back White Rock Special Event

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**RECOMMENDATION**

THAT Council receives for information the corporate report dated July 26, 2021, from the Director, Recreation & Culture, titled "2021 Culture Days Welcome Back White Rock Special Event."

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**EXECUTIVE SUMMARY**

This report is to update Council on the A Level special event being planned for September 24-26, 2021 following the lifting of Step 3 Provincial Health Restrictions for public gatherings.

The City had planned to host two virtual events in the fall of 2021 if Provincial Health Order restrictions on group gatherings were still in effect. These events could be adjusted from online to in-person, based on the Provincial Health Orders. The two approved events are an interactive scavenger hunt, and an arts festival.

The White Rock Business Improvement Association (BIA) has asked to enhance the arts festival with generous sponsorship and programming support. This sponsorship means that the organizing committee are able to offer many more event elements, with an added focus on the Uptown area, local businesses and promoting tourism.

The White Rock Arts Festival event is set to be held over the weekend of September 24 to 26, 2021, themed **Welcome Back White Rock**. The event carries on the tradition of an annual arts festival last held in White Rock in 2018 (formerly known as Culture Days).

**PREVIOUS COUNCIL DIRECTION**

Council adopted the 2021 Creative City by the Sea Cultural Strategic Plan which includes an objective to hold an annual arts festival. The 2021 Financial Plan included funding for an arts festival (Culture Days), and funding for an interactive gamification "Scavenger Hunt."

**INTRODUCTION/BACKGROUND**

Recreation and Culture staff, in discussion with the Executive Director of the BIA have discussed the idea of providing an opportunity to bring the community together and celebrate our strength and resiliency in overcoming the COVID-19 pandemic lockdown, Provincial Health Orders and other restrictions and challenges.

City staff will be organizing and hosting an in-person weekend celebration of arts, lively entertainment, and business engagement on the weekend of September 24, 25 and 26, 2021 with the theme “Welcome Back White Rock.”

This A Level (City produced) event is being supported and enhanced by the BIA through a major financial sponsorship. We anticipate activities across the City from the Waterfront to Five Corners, to Uptown in a variety of venues. Detailed programming including performance schedules will be finalized in late August.

### **FINANCIAL IMPLICATIONS**

Culture Days and the Scavenger Hunt were both approved as events in the 2021 Financial Plan. The BIA is also providing significant funding for the event.

### **LEGAL IMPLICATIONS**

Not applicable.

### **COMMUNICATION AND COMMUNITY ENGAGEMENT IMPLICATIONS**

The idea to provide an opportunity for the community to come together for a post pandemic celebration was anticipated as part of the 2021 Recreation and Culture special events operating budget. The City had planned to restore Culture Days and an interactive scavenger hunt. The BIA’s sponsorship means that the scope and quality of Culture Days in 2021 can be greatly expanded.

A detailed communications plan will ensure that community engagement is maximized including social media, earned media, and paid advertising.

Community engagement will also be optimized through a community planning table comprised of artists, Peninsula Arts and Culture Alliance (PACA) representatives and BIA staff, facilitated by the Recreation & Culture Department staff.

### **INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS**

Recreation and Culture will work closely with the Communications, Economic Development and IT staff to ensure that the event benefits are optimized. If any road, sidewalk or park use is required, Recreation and Culture will work with the Municipal Engineering and Operations Department staff to comply with regulations.

### **CLIMATE CHANGE IMPLICATIONS**

Recreation and Culture in partnership with the Municipal Engineering and Operations teams and community partners will assess ways to ensure sustainability elements are included (e.g., recycling, water stations, etc.).

### **ALIGNMENT WITH STRATEGIC PRIORITIES**

In addition to linking directly to Council’s 2021 Creative City by the Sea Strategic Plan, the event will align with the following Council strategic priorities:

#### **COVID-19:**

- The event celebrates our resilience and encourages a post-pandemic re-engagement. *“We will provide the best possible community outcomes and resilience to maximize recovery from COVID-19.”*

Community:

- The event includes community partners in decision making.  
*“We will make the best possible community decisions in collaboration with residents and stakeholders, providing an excellent quality of life.”*

Economy:

- The event will stimulate economic activity.  
*“We will support the prosperity and diversification of the City’s economic base.”*

**OPTIONS / RISKS / ALTERNATIVES**

The following option is available for Council’s consideration:

1. Cancel the 2021 Culture Days and Scavenger Hunt event and advise the BIA.

**CONCLUSION**

This exciting multi-faceted special event is planned for September 24-26, 2021. The activities will create vibrancy and a festive atmosphere throughout the City and provide an opportunity for the community to come together and, celebrate its resilience, showcase local and regional artistic talent, and re-invite visitors to our wonderful City following a difficult year and a half.

Our community partners in the “Welcome Back White Rock” event include the BIA, PACA, individual artists, arts groups and others in the creative sector. Detailed programming is underway and will be finalized in late August to be shared with Council and the community.

Respectfully submitted,



Eric Stepura  
Director, Recreation and Culture

**Comments from the Chief Administrative Officer**

This corporate report is provided for information purposes.



Guillermo Ferrero  
Chief Administrative Officer

THE CORPORATION OF THE  
**CITY OF WHITE ROCK**  
CORPORATE REPORT



**DATE:** July 26, 2021

**TO:** Mayor and Council

**FROM:** Shannon Johnston, Acting Director, Financial Services

**SUBJECT:** White Rock Lawn Bowling Club Loan Request

---

**RECOMMENDATIONS**

THAT Council:

1. Receive for information the corporate report dated July 26, 2021 from the Acting Director of Financial Services, titled "White Rock Lawn Bowling Club Loan Request;"
  2. Approve the Partnering & Loan Agreement and the Licence Extension Agreement with the White Rock Lawn Bowling Club substantially in the form attached as Appendix A;
  3. Provide direction to proceed with a public notice of the City's intent to lend \$62K to the White Rock Lawn Bowling Club, in accordance with Sections 24 and 94 of the *Community Charter*; and
  4. Authorize the Mayor and Director of Corporate Administration to sign the Partnering & Loan Agreement and the Licence Extension Agreement following the expiration of the notice period.
- 

**EXECUTIVE SUMMARY**

On January 13, 2020, Staff presented a Corporate Report, titled "White Rock Lawn Bowling Club Loan Request" attached as Appendix B, following which, Council endorsed the City entering into a partnering agreement with the White Rock Lawn Bowling Club (WRLBC), extending the license with the WRLBC and lending the WRLBC \$62K to assist in the financing of the replacement of its artificial turf. This corporate report provides the drafted Partnering & Loan Agreement and the Licence Extension Agreement, preapproved by the WRLBC, for Council's required approval before proceeding with a public notice of the City's intent to lend \$62K to the WRLBC.

**INTRODUCTION/BACKGROUND/LEGAL IMPLICATIONS**

Section 25 of the *Community Charter* prohibits the City from providing financial assistance to a business, subject to certain exemptions. Section 21 of the *Community Charter* permits the City to provide financial assistance once a partnering agreement is executed. Prior to the execution of an agreement, Section 24 of the legislation requires that public notice of the City's intention to lend money to an organization must be given, pursuant to Section 94, before the assistance is provided. Council must also approve the Partnering & Loan Agreement and the Licence

Extension Agreement with the WRLBC before public notice of the City's intent to lend \$62K to the WRLBC is undertaken. Once the public notice period is completed both agreements need to be executed and the City must approve all plans before construction proceeds and the funds are released to the WRLBC.

### **FINANCIAL IMPLICATIONS**

The WRLBC has agreed to reimburse the City for its associated legal and advertisement costs, estimated to be \$3K to \$5K.

### **COMMUNICATION AND COMMUNITY ENGAGEMENT IMPLICATIONS**

Communications staff will assist with advertisements being placed in the Peace Arch News for two (2) consecutive weeks immediately following Council's approval of the two (2) agreements.

### **INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS**

Engineering and Municipal Operations will need to review and approve the WRLBC's design and construction documents before construction proceeds.

### **CLIMATE CHANGE IMPLICATIONS**

Not applicable.

### **ALIGNMENT WITH STRATEGIC PRIORITIES**

Not applicable.

### **OPTIONS / RISKS / ALTERNATIVES**

The following option is available for Council's consideration:

1. Following review of the agreements, direct staff to make further revisions to the agreements for WRLBC's consideration and approval which is necessary before proceeding with a public notice.

### **CONCLUSION**

It is recommended that Council approve the attached agreements substantially in the form attached in Appendix A and direct staff to proceed with the public notice.

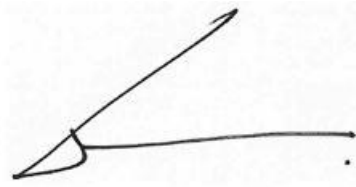
Respectfully submitted,



Shannon Johnston  
Acting Director, Financial Services

**Comments from the Chief Administrative Officer**

I concur with the recommendations of this corporate report.

A handwritten signature in black ink, consisting of a stylized 'G' followed by a horizontal line and a small dot at the end.

Guillermo Ferrero

Chief Administrative Officer

Appendix A: WRLBC Partnering and Loan Agreement

Appendix B: White Rock Lawn Bowling Club Loan Request Corporate Report dated  
January 13, 2020.

**PARTNERING & LOAN AGREEMENT**  
**FOR PROVISION OF LAWN BOWLING FACILITIES**

**THIS AGREEMENT** made this \_\_\_ day of \_\_\_\_\_, 2021

**BETWEEN:**

**THE CITY OF WHITE ROCK**, a municipal corporation incorporated pursuant to the *Local Government Act*, having offices at 15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

(the “**City**”)

**AND:**

**THE WHITE ROCK LAWN BOWLING CLUB** (Incorporation No. S0002248), a society incorporated pursuant to the laws of British Columbia, having offices at 1079 Dolphin Street, White Rock, BC V4B 4G4

(the “**Club**”)

**WHEREAS:**

- A. The City has authority under the *Community Charter* to enter into a partnering agreement, under which a person or public authority agrees to provide a service on behalf of the City.
- B. The Club operates a lawn bowling facility within the City on lands it licenses from the City at 1079 Dolphin Street, White Rock, BC (the “**Facility**”).
- C. The Club has requested a loan from the City of up to \$62,000 for the purpose assisting it to replace the artificial turf at the Facility and associated works (the “**Project**”).
- D. The City wishes to enter into this Agreement with the Club so that the Club may complete the Project as part of its desire to promote recreational and community facilities within the City and promote recreational and community activities amongst its residents;
- E. This is a partnering agreement under section 21 of the *Community Charter*.

**NOW THEREFORE THIS AGREEMENT WITNESSES** that in consideration of the premises, and the terms and conditions hereinafter contained, the sufficiency and receipt of which is hereby acknowledged, the parties covenant and agree each with the other as follows:

## **1.0 DEFINITIONS AND INTERPRETATION**

1.1 The following definitions apply in this Agreement:

- a. **“Agreement”** means this Agreement as from time to time supplemented or amended by one or more agreements entered into pursuant to the applicable provisions of this Agreement together with all other attachments to it and reference to a part or a section means the corresponding part or section of this Agreement;
- b. **“City’s Conditions Precedent”** has the meaning given in Section 8.1 of this Agreement;
- c. **“Event of Default”** has the meaning given in Section 11.1 of this Agreement;
- d. **“Facility”** has the meaning given in Recital B of this Agreement;
- e. **“Governmental Authority”** means any federal, provincial, territorial or municipal government, and any government agency, tribunal, commission or other authority exercising executive, legislative, judicial, regulatory or administrative functions of, or pertaining to, government;
- f. **“Interest Rate”** means the prime interest rate set by the Bank of Canada for the previous calendar year;
- g. **“Loan”** has the meaning given in Section 2.1 of this Agreement;
- h. **“License Agreement”** means the agreement by which the City licenses to the Club the Facility;
- i. **“License Extension”** has the meaning given in Section 7.1 of this Agreement;



- j. **“Loan Advance Date”** has the meaning given in Section 2.1 of this Agreement;
  - k. **“Person”** means any individual, corporation, limited-liability company, partnership, firm, joint venture, association, trust, or other entity or organization, including a Government Authority;
  - l. **“Project Completion”** means the stage of construction where the Project is complete, as certified by the representatives of both parties, acting reasonably and in writing;
  - m. **“Project Documents”** means all design, construction and financial and planning budgeting documents related to the Project.
  - n. **“Segregated Account”** has the meaning given in Section 8.1(d) of this Agreement; and
  - o. **“Security”** has the meaning given in Section 6.1 of this Agreement;
- 1.2 **Interpretation** – For the purposes of this Agreement, except as otherwise expressly provided or as the context otherwise requires:
- a. the word **“including”**, when following any general term or statement, is not to be construed as limiting the general term or statement to the specific terms or matters set forth or to similar items or matters, but rather as permitting the general term or statement to refer to all other items or matters that could reasonably fall within the broadest possible scope of the general term or statement;
  - b. an accounting term not otherwise defined in this Agreement has the meaning assigned to it, and except as otherwise directed in this Agreement, every calculation to be made under this Agreement is to be made in accordance with generally accepted accounting principles;
  - c. except as otherwise expressly provided, all references to currency mean Canadian currency;

- d. words in the singular include the plural and words importing a corporate entity include individuals and vice-versa;
- e. reference in this Agreement to a particular numbered paragraph, article or section, or lettered schedule is a reference to the correspondingly numbered paragraph, article, or section, or lettered schedule of this Agreement;
- f. reference in this Agreement to an enactment is a reference to an enactment as defined in the *Interpretation Act* (British Columbia), and includes a reference to an enactment of Canada, British Columbia or White Rock, as applicable;
- g. reference in this Agreement to an enactment is a reference to that enactment as amended, revised, consolidated or replaced; and
- h. reference in this Agreement to a party is a reference to a party of this Agreement.

1.3 **Governing Law** - This Agreement will be governed by and interpreted in accordance with the laws of the Province of British Columbia and the laws of Canada.

1.4 **Headings** - The headings given to paragraphs, articles and sections in this Agreement are for convenience of reference only and do not form part of this Agreement and must not be used in the interpretation of this Agreement.

1.5 **Invalidity of clauses** - If any clause or portion of this Agreement is declared or held invalid for any reason, the invalidity does not affect the validity of the remainder of that clause or this Agreement, and the terms and provisions of this Agreement continue to be in force and in effect and are to be construed as if the Agreement had been executed without the invalid portion.

1.6 **Import of Words** - If the context so requires, words importing number shall be deemed to include a greater or lesser number, words importing gender shall be deemed to include the other gender or the body corporate, and words importing the body corporate shall be deemed to include either gender.

## **2.0 AMOUNT OF LOAN**

- 2.1 Subject to the provisions of this Agreement, the City will make available to the Club a loan in the sum of \$62,000 (the “**Loan**”). The City will advance to the Club \$59,000 of the Loan on the date that is 5 business days after the Club has satisfied the City’s Conditions Precedent in Section 8.1 of this Agreement or the City has waived the City’s Conditions Precedent in writing to the Club (the “**Loan Advance Date**”).
- 2.2 Subject to the provisions of this Agreement, the City will advance to the Club the remaining \$3,000 of the Loan on the date that is five business days after Project Completion.

## **3.0 PURPOSE OF LOAN**

- 3.1 The Club will only use the Loan for the purposes of the Project, and such other purposes as the City may agree to, in the City’s sole discretion and in writing.

## **4.0 INTEREST RATE, CALCULATION AND PAYMENT**

- 4.1 **Payment of Interest** – The Club will pay interest from the Loan Advance Date, at the Interest Rate, calculated on the outstanding balance of the Loan, annually, with the first interest payment due one year after the Loan Advance Date, and every one year thereafter on the anniversary of the Loan Advance Date.
- 4.2 **Notice** – The City will advise the Club of the amount of interest due for each payment at least five business days before the due date of that payment.

## **5.0 REPAYMENT OF LOAN**

- 5.1 **Repayment** – The Club will repay the Loan, together with interest, as follows:
- a. interest at the Interest Rate is payable as provided for under Section 4.0;
  - b. the principal in ten equal, annual installments based on a 10 year amortization and term with the first payment due one year after the Loan Advance Date, and every one year thereafter on the anniversary of the Loan Advance Date.

5.2 **Early Payment** – The Club may make greater or earlier payments than required under Section 5.1 without penalty or bonus.

5.3 **Place & Method of Payment** – The Club will make all payments pursuant to this Agreement at the City’s address set out in Section 13.1 and by certified cheque.

## 6.0 **SECURITY**

6.1 **Loan Security** – The Club will execute and deliver, or cause to be executed and delivered, to the City the following:

- a. a security interest in registrable form satisfactory to the City over all its present and after acquired personal property, including but not limited to its equipment, furnishings, and accounts, details of which are described on **Schedule A**.

(the “**Security**”).

## 7.0 **LICENSE AGREEMENT**

7.1 The Parties will replace with the existing License Agreement with a new agreement, or amend the License Agreement, such that the term of the Club’s license over the Facility is no shorter than the Loan term (the “**License Extension**”), and the Club will execute and deliver, or cause to be executed and delivered, the License Extension agreement to the City.

## 8.0 **CONDITIONS PRECEDENT TO ADVANCE OF LOAN**

8.1 The City will have no obligation to advance the Loan unless:

- a. the Club provides, or causes the provision of, Project Documents to the City;
- b. in the discretion of the City, acting reasonably, the Club is financially capable of completing the Project and the Project is appropriately designed;
- c. the Parties complete the License Extension, including the delivery or execution of any documents required under that process;

- d. the Club opens a separate bank account for the purposes of holding the Loan (the **"Segregated Account"**);
- e. the Club has executed and delivered, or caused the execution and delivery of all Security and all other documents required by the City in form and substance satisfactory to the City;
- f. each of the representations and warranties contained in this Agreement is true and correct in all material respects as if made on the dates of the advance of the Loan; and
- g. no Event of Default has occurred;

(Collectively, the **"City's Conditions Precedent"**).

8.2 The City's Conditions Precedent are for the sole benefit of the City and only the City may waive, in whole or in part, the City's Conditions Precedent by giving notice of waiver to the Club.

## **9.0 REPRESENTATIONS AND WARRANTIES**

9.1 The Club represents and warrants to the City that:

- a. the Club has full power, authority and capacity to enter into this Agreement and to carry out its obligations and covenants under this Agreement and that all actions in respect of this Agreement by the Club have and will have been duly and validly authorized by all required signing authorities;
- b. there is no provision in the Club's constating documents, or any other agreement to which the Club is a party, that restricts or limits the Club's powers to borrow and to secure such borrowing in the manner contemplated by the Security;
- c. the Club is not insolvent, and the execution and delivery of this agreement will not render the Club insolvent; and
- d. there are no actions, suits or proceedings pending, or to its knowledge, threatened against the Club in any court or before any Governmental

Authority that are likely to have a material adverse impact on the financial condition of the Club;

## **10.0 CLUB COVENANTS**

**10.1 Positive Covenants of the Club** – Until the Club fully repays the Loan, interest and any other amounts owing under this Agreement, the Club covenants and agrees with the City that it will:

- a. administer, manage, control and operate the Facility in a proper and efficient manner;
- b. provide a service on behalf of the City, namely to complete the Project as part of its desire to promote recreational and community facilities within the City and promote recreational and community activities amongst its residents;
- c. make all reasonable efforts to collaborate with other lawn bowling clubs in the City, including the Mann Park Lawn Bowling Club, to jointly sponsor the following events at the Facility;
  - i. Lower Mainland competitions as approved by the BC Lawn Bowling Association; and
  - ii. other events approved by the boards of both clubs.
- d. promptly inform the City of any fact it becomes aware of that could materially and adversely impact the Club, its financial condition, or the Facility;
- e. give the City prompt notice of any Event of Default or any event which, with notice or lapse of time or both, would consist of an Event of Default;
- f. maintain and keep the Facility and lands licensed from the City in good and proper order and repair, to the City's satisfaction;
- g. maintain all Loan advances it receives in the Segregated Account;

- h. provide to the City, within 10 business days of a written request, all bank records and accounting information regarding the Segregated Account; and
- i. maintain its good standing with any applicable Governmental Authority, such that it continues to be a validly incorporated society;

10.2 **Negative Covenants** – Until the Club fully repays the Loan, interest and any other amounts owing under this Agreement, the Club covenants and agrees with the City that it will:

- a. not obtain any additional financing, or incur additional financial liabilities without the City's prior, written consent, which the City may withhold in its sole discretion.

## 11.0 **DEFAULT**

11.1 Any one or more of the following events will constitute an event of default under this Agreement ("**Event of Default**"):

- a. the Club fails to pay to the City, at the time due, any principal, interest or other amount owing pursuant to the Loan;
- b. the Club fails to perform or comply with any of its covenants to the City contained in Section 10.0 of this Agreement;
- c. the Club sells all, or substantially all, of its assets;
- d. the Club commits an act of bankruptcy; becomes insolvent (as such term is defined pursuant to the *Bankruptcy and Insolvency Act (Canada)*), makes an assignment for the benefit of creditors, files a notice of intention to file a proposal or makes a proposal under the *Bankruptcy and Insolvency Act (Canada)*, admits the material allegations of any petition filed against it in any bankruptcy, reorganization or insolvency proceeding, petitions or applies to any tribunal for the appointment of any receiver, trustee or similar liquidator of it or all or a substantial part of its assets, or if any action shall be taken by the Club for the purpose of effecting any of the foregoing, or if any Person takes possession of all or

a substantial portion of the property of the Club by way of or in contemplation of enforcement of security, or a distress, execution or similar process is levied or enforced against any such property;

- e. any petition in bankruptcy is filed or any other proceeding is commenced against the Club or any part of its property under any law relating to reorganization, arrangement or re-adjustment of debt, dissolution, winding-up or similar law, unless there is a bona fide defence to such proceeding and such proceeding is diligently contested by all appropriate action; or an order, judgment or decree shall be entered by any court of competent jurisdiction approving a petition seeking reorganization of the Club or appointing a receiver, trustee or liquidator of the Club, or of all or a substantial part of its assets;
- f. damage to or destruction of the Facility by fire or other casualty and the loss, in the City's opinion, is not adequately insured, and the Club on demand by the City fails to deposit forthwith with the City an amount equal to the loss sustained;
- g. the Club obtains any additional financing, or incurs additional financial liabilities without the City's prior, written consent, which the City may withhold in its sole discretion.

**11.2 Consequences** – If any Event of Default occurs and is continuing:

- a. the City may declare the outstanding Loan balance, together with any accrued interest and other costs, to be immediately due and payable;
- b. the Club will immediately take all necessary actions to repay the Loan;
- c. the City will be entitled to enforce all Security and exercise any and all other rights it may have against the Club by agreement or law; and
- d. immediately after the City declares under this the outstanding Loan balance, together with any accrued interest and other costs, is immediately due and payable, interest calculations will be made using the Interest Rate plus 2%.



## **12.0 INDEMNIFICATION**

12.1 The Club will indemnify and hold harmless the City, its elected officials, officers, employees and agents from and against any losses, damages, expenses (including legal fees on a solicitor and own client basis) and liabilities (including those arising from any litigation or other proceeding) with respect to any breach or default by the Club of this Agreement or any document contemplated by or delivered under or in connection with this Agreement.

## **13.0 NOTICE**

13.1 Any notices hereunder or documents or deliveries required hereby may be served or made on the City and Club by personal delivery, registered mail or e-mail from within the Province of British Columbia to the following addresses:

<b>To the City:</b>	City of White Rock 15322 Buena Vista Avenue, White Rock, BC V4B 1Y6 C/O: Tracey Arthur, Director of Corporate Administration Email: tarthur@whiterockcity.ca
<b>To the Club:</b>	1079 Dolphin Street, White Rock, BC V4B 4G4 C/O: Gayle Saunders Email: gaylesaunderswr@gmail.com

or at such other address as the City and Club may from time to time notify in writing. Any delivery or service as aforesaid which is made by registered mail shall be deemed to have been received when actually delivered.

## **14.0 DISPUTE RESOLUTION**

- 14.1 The Parties will promptly notify each other of any dispute arising under this Agreement and will attempt to negotiate, promptly and in good faith, a resolution to such disputes prior to commencing any legal proceeding regarding such dispute.

## **15.0 GENERAL PROVISIONS**

- 15.1 **Assignment** – No party may assign its rights under this Agreement without the prior written consent of the other party.
- 15.2 **Entire Agreement** – This Agreement constitutes the entire agreement between the parties with respect to the matters herein and may not be modified except by subsequent agreement in writing.
- 15.3 **Time is of the Essence** – Time is of the essence of this Agreement.
- 15.4 **Enurement** – This Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and permitted assigns
- 15.5 **Counterparts** – This Agreement may be executed in counterpart with the same effect as if both parties had signed the same document. Each counterpart shall be deemed to be an original. All counterparts shall be construed together and shall constitute one and the same Agreement.
- 15.6 **Further Assurances** – Each party will perform all such other acts and things and execute all such other documents as are necessary or desirable in the reasonable opinion of the other to evidence or carry out the terms or intent of this Agreement.
- 15.7 **Remedies Cumulative** – The rights and remedies under the Agreement are cumulative and are not in addition to and not in substitution for any other rights and remedies available at law or in equity or otherwise. No single or partial exercise by a party of any right or remedy precludes or otherwise affects the exercise of any other right or remedy to which that party may be entitled.
- 15.8 **No Fettering** – Nothing in this Agreement shall affect or limit the discretion, rights, duties or powers of the City under any enactment or at common law.

**EXECUTED BY the City** at White Rock, BC, this \_\_\_\_ day of \_\_\_\_\_, 2021  
by its authorized signatories:

---

**Darryl Walker, Mayor**

---

**Tracey Arthur, Director of Corporate  
Administration**

**EXECUTED BY the White Rock Lawn Bowling Club** at White Rock, BC, this \_\_\_\_  
day of \_\_\_\_\_, 2021  
by its authorized signatories:

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**Name: Gayle Saunders, President**

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**Name: Trudy Gordon, Vice President**

**SCHEDULE A**  
**PROPERTY OF THE CLUB**

<b>Item</b>	<b>Quantity</b>	<b>Value (\$)</b>
Industrial dishwasher	1	\$ 5,000
Kitchen refrigerator	1	\$ 2,000
Bar refrigerator	1	\$ 1,500
Stoves	2	\$ 3,000
Tables/chairs	For 100 people	\$12,000
Kitchen utensils	For 100 people	\$ 5,000
Television	1	\$ 1,500
Locker room equipment	40	\$ 2,000
Outside benches and awnings	16	\$ 3,600
Lawn mowers	2	\$ 500
Power washers	2	\$ 800
Leaf blower	1	\$ 200
Industrial carpet vacuum	1	\$ 8,000
<b>TOTAL:</b>		<b>\$45,100</b>

## LICENCE EXTENSION AGREEMENT

This LICENCE EXTENSION AGREEMENT (“Extension Agreement”) is made and entered into to be effective as of the \_\_\_\_ day of \_\_\_\_\_, 2021 (the “Effective Date”) by and between **CORPORATION OF THE CITY OF WHITE ROCK** (the “City”) and **WHITE ROCK LAWN BOWLING CLUB** (the “Licensee”).

### WHEREAS:

- A. The City and the Licensee entered into a Licence of Occupation Agreement dated August 1, 2018 (the “Licence”);
- B. By the terms and provisions of the Licence, the City licenses to the Licensee the occupation and use of that certain property located in White Rock, Province of British Columbia, as more particularly described in the Licence (the “Licensed Area”);
- C. The Term of the Licence commenced on August 1, 2018, and will expire on July 31, 2023;
- D. The Licensee now seeks to upgrade certain improvements within the Licensed Area and The City, pursuant to a separate agreement, has agreed to loan the Licensee funds to facilitate those upgrades to be repaid within a ten (10) year period (the “Loan Agreement”); and
- E. The City and the Licensee seek to extend the Term of the Licence to match the term of the Loan Agreement pursuant to the terms set forth below in this Extension Agreement.

NOW, THEREFORE, in consideration of the mutual covenants, premises, and agreements contained in this Extension Agreement and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

- 1. The City and the Tenant hereby extend the Term of the Licence for a period of ten (10) years (the “Extended Term”) under the same terms and conditions set forth in the Licence except as otherwise provided herein.
- 2. The Extended Term will commence on \_\_\_\_\_, 2021, and will expire on \_\_\_\_\_, 2031.
- 3. The Licence is hereby amended by deleting Section 3 in its entirety.
- 4. The Licensee agrees that the City has complied fully and completely with all of the City’s obligations under the Licence with the result that the Licensee is fully obligated to perform, and is performing, all of the other obligations of the Licensee under the Licence.

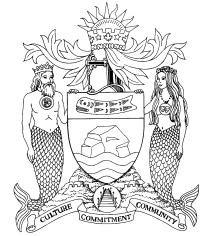
5. Unless otherwise provided herein, all capitalized and defined terms herein shall have the same meaning given to such capitalized and defined terms in the Licence.
6. Except as amended hereby, or by other previous amendments signed by the parties, all of the terms and provisions of the Licence are hereby reaffirmed and remain in full force and effect. In the event there is a conflict between the terms and provisions of the Licence and the terms and provisions of this Extension Agreement, the terms and provisions of this Extension Agreement shall prevail.

IN WITNESS WHEREOF, the parties hereto have executed this Extension Agreement to be effective as of the day and year first set forth above.

**CORPORATION OF THE CITY OF** )  
**WHITE ROCK,** )  
by its authorized signatories: )  
 )  
 )  
\_\_\_\_\_)  
Name: Darryl Walker, Mayor )  
 )  
 )  
\_\_\_\_\_)  
Name: Tracey Arthur, Director of )  
Corporate Administration )

**WHITE ROCK LAWN BOWLING** )  
**CLUB,** by its authorized signatories: )  
 )  
 )  
\_\_\_\_\_)  
Name: Gayle Saunders, President )  
 )  
 )  
\_\_\_\_\_)  
Name: Trudy Gordon, Vice President )

THE CORPORATION OF THE  
**CITY OF WHITE ROCK**  
CORPORATE REPORT



**DATE:** January 13, 2020

**TO:** Mayor and Council

**FROM:** Sandra Kurylo, Director of Financial Services

**SUBJECT:** White Rock Lawn Bowling Club Loan Request

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**RECOMMENDATIONS:**

THAT Council consider the information presented in this corporate report and:

1. Confirm if Council intends to:
    - a. Enter into a partnering agreement with the White Rock Lawn Bowling Club;
    - b. Extend the licence with the White Rock Lawn Bowling Club; and
    - c. Lend the White Rock Lawn Bowling Club an amount of \$62,000 to assist in the financing of the replacement of its artificial turf, subject to undertaking the legislative processes described in this corporate report; and
  2. If Council intends to lend \$62,000 to the White Rock Lawn Bowling Club for this purpose, direct staff to proceed with the next steps as outlined in this corporate report.
- 

**INTRODUCTION:**

At the Council meeting of December 16, 2019, the White Rock Lawn Bowling Club (WRLBC) requested that the City lend it \$62,000 to assist in financing the replacement of its artificial turf. This report provides background information and the required legislative process should Council wish to pursue providing WRLBC with a loan.

**PAST PRACTICE/POLICY/LEGISLATION:**

Section 25 of the Community Charter prohibits the City from providing financial assistance to a business, subject to certain exemptions. Section 21 of the Community Charter permits the City to provide financial assistance if a partnering agreement is entered into. Section 24 of the legislation requires that public notice of the City's intention to lend money to an organization must be given, in accordance with Section 94, before the assistance is provided.

Lending money to organizations is rare for a municipality. As far as staff is aware, the City has lent money to non-profit tenants on two occasions in the past. In 2008, the City provided a 10-year loan to the White Rock Lawn Bowling Club for the initial purchase and installation of its artificial turf. In 2012, the City provided a 10-year loan to the Peace Arch Curling Club to assist in financing the purchase of new kitchen equipment for their leased premises in the Centre for Active Living.

### **ANALYSIS:**

As stated above, lending money to organizations is not a common practice for municipalities. This is because there could be a financial risk of the loan not being repaid, and the money being lent belongs to the taxpayers. As well, the City has many partners and tenants who require financial assistance from time to time. If this becomes a common practice of the City, more partner organizations or tenants may request loans from the City and it may be difficult not to approve them. This may not necessarily be in the best interests of the taxpayers.

The current licence between the City and the WRLBC is for the five years, August 1, 2018 to July 31, 2023. It contains one renewal clause of one (1) additional five (5) year term. It should be noted that the WRLBC promptly made all principal and interest payments on its previous loan from the City. The loan was fully repaid ahead of schedule, in 2016.

Attached, as Appendices A and B, is correspondence from the WRLBC, providing background and financial information. The estimated cost of purchasing and installing the new carpet is \$180,000. The financial statements provided note that as of September 30, 2018, the Club had internally restricted funds on hand for this purpose of \$94,425. The President of the WRLBC provided an update that \$118,000 has now been raised for this purpose, leaving an outstanding amount of \$62,000. It is noted that the financial statements provided have not been audited or reviewed by an independent certified accountant. However the Club has advised they have been prepared by a Club member who is a certified accountant, and reviewed by the Financial Committee of the Board.

### **Legislative Requirements**

Should the City wish to pursue lending the WRLBC the money, it first must enter into a partnering agreement pursuant to Section 21 of the Charter, whereby the Club would provide services on behalf of the City and the loan would be authorized under that agreement. This is necessary as it permits the City to provide financial assistance, which may otherwise be prohibited under section 25 of the legislation.

The steps required are as follows:

1. Prepare a partnering agreement with the WRLBC, as described above;
2. Prepare a loan agreement, including all of the terms and conditions of the loan. In this case, staff recommend a 10-year term with interest being charged annually at the average prime interest rate for the previous calendar year. Further detailed terms and conditions, such as the form of security, will be provided in the agreement;
3. Prepare an extension to the WRLBC licence, so it ends no earlier than the term of the loan;
4. Obtain Council's approval of the above documents and its direction to proceed with public notice of its intent to lend the money to the WRLBC, in accordance with Sections 24 and 94 of the Community Charter. Execute the partnering agreement prior to placing the public advertisement;
5. Execute the loan agreement and licence amendment after the notice period; and
6. Approve all plans before construction proceeds.

Staff have advised the WRLBC that should Council confirm its intent to proceed as described, the WRLBC would be required to reimburse the City for associated legal and advertisement costs, estimated to be \$3,000 to \$5,000. The Club has agreed to reimburse these costs.



**CONCLUSION:**

It is recommended that Council consider the information presented in this corporate report and provide direction to staff on whether or not Council intends for the City to enter into a partnering agreement with the White Rock Lawn Bowling Club, extend its licence, and lend it \$62,000 to assist in the financing of the replacement of its artificial turf.

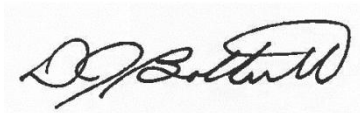
Respectfully submitted,



Sandra Kurylo  
Director of Financial Services

**Comments from the Chief Administrative Officer:**

I concur with the recommendations in this corporate report.



Dan Bottrill  
Chief Administrative Officer

Appendix A: Correspondence dated December 16, 2019 from the White Rock Lawn Bowling Club

Appendix B: Correspondence dated May 23, 2019 from the White Rock Lawn Bowling Club

December 16, 2016

We are here today to ask the City of White Rock for a loan of \$62,000 to help fund the replacement of our ageing artificial green. The City is the registered owner of the land and the premises which is the White Rock Lawn Bowling Club. The estimated cost of this project is \$180,000 and the club has saved \$118,000 towards this project, leaving a short fall of \$62,000.

We owned and operated our club from 1934 to 1974, at which time the property was sold to the City for \$40,000. By 2008 the natural green was no longer playable due to serious drainage problems so we approached the City for financial assistance. With a loan from the City, a Government grant and our own savings we were able to replace the existing grass green with an artificial green allowing year round play. This loan was paid in full in November 2017.

Constant wear on a daily basis for over eleven years has caused the surface great stress and deterioration. Without a properly functioning green we won't have a bowling club. The green is the lifeline and mainstay of a bowling club. We feel the only option for our club to continue to provide a viable playing surface is to replace the existing carpet.

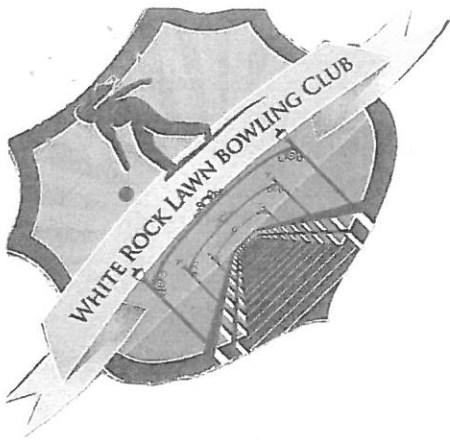
What started out as a bowling club is much more today. Our membership is strong and growing with over 155 members between 58 and 99 years old. We provide a safe and welcoming environment for all members who want to enjoy an active and healthy lifestyle, meet and socialize, or just be there to offer support for those who need it. If time permitted I could provide you with 155 stories of just how important this club is to its members.

We are a very active club with daily drop in games, leagues, tournaments, and various competitions with clubs from all over the lower mainland.

Each year we work with the local schools to provide qualified coaches to introduce the students to the game of bowls as a part of their physical education program. Not only do the students learn to bowl, they enjoy meeting and interacting with our members, but just as important, it gives our members an opportunity to connect with students and hopefully inspire them to enjoy and play this wonderful game.

Please help us to guarantee the future of this amazing community asset by supporting us in sustaining this prestigious sports and social club. Thank you.

Gayle Saunders, President  
Paul Beaumont, Project Manager  
White Rock Lawn Bowling Club



WHITE ROCK LAWN BOWLING CLUB  
1079 Dolphin Street  
White Rock, B.C.  
V4B 4B4

RECEIVED

MAY 24 2019

May 23, 2019

CITY OF WHITE ROCK  
ADMINISTRATION

Corporation of the City of White Rock  
15322 Buena Vista Avenue  
White Rock, British Columbia, V4B 1Y6

Attention: Mayor Darryl Walker

Please find enclosed herewith our request for financial assistance in replacing our existing artificial bowling carpet. I have included a brief history of who we are and why we are approaching the City of White Rock with this request.

- 1) Who are we? We are a sports club that began as a group of neighbours, who in 1934 first played the "sport of bowls" in their back yard, evolving into a bowling club that has produced many fine athletes who not only have excelled in the Lower Mainland, but have competed in the Provincial, National and International arenas. Our athletes are widely respected not only for outstanding play but their fine sportsmanship. The club has hosted Local, District, Provincial and National Tournaments, as well as visitations from other cities. We took the White Rock Lawn Bowling Club to the world and invited the world back to the City of White Rock.
- 2) Brief History: We owned and operated our club from 1934 to 1974 at which time the property was sold to the City of White Rock for \$40,000.00. The club continued to grow in membership throughout the years but the greens became more and more unplayable due to serious drainage problems. In 2008 we approached the City of White Rock for financial assistance. With the \$100,000 our club raised, a \$110,000 Government grant and a \$100,000 interest bearing loan from the City we were able to replace the existing grass green with an artificial green. The final repayment of this loan was submitted November 2017.
- 3) With this new all-weather artificial green we were able to play year round. We started a winter bowling season and invited our "sister" club at Mann Park to participate, strengthening the bond between both clubs. Our membership is strong with a current roster of over 160 members and our club continues to prosper. Our youngest member is 52 years old and our oldest member will be celebrating his 98th birthday in 2019. We are 100% managed by volunteers with in excess of 2000 volunteer hours recorded each year. We provide a safe, welcoming, healthy interactive lifestyle for our community. The importance of the social aspects of the club, dinners, dances, afternoon card games and various social activities during the year cannot not be over emphasised. We are not just a bowling club, we are a "people" club.
- 4) We are committed to our community. The club in conjunction with our local schools, facilitates workshops in the spring. We have provided this service for the past number of years. This is a

positive direction for the club as this gives us the opportunity to showcase our club, what we are all about, and to broaden our community membership base. Our greens are well used year round with various leagues, tournaments and daily drop-in games. The existing green is now in it's eleventh year and is in dire need of replacement. We feel the only option for our club to continue to provide a viable playing surface is to replace the existing carpet.

- 5) The City is the registered owner of the land and the premises which is the White Rock Lawn Bowling Club. In August 2018 we renewed our Licence of Occupation for a term of five (5) years, expiring July 31, 2023 with a renewal of this licence for one (1) additional term of five (5) years providing we give such notice to the City ninety (90) days prior to the end of the existing term.
- 6) We request a loan not to exceed \$86,000 so that we can make the necessary arrangements to have the carpet replaced in the spring of 2020.

We look forward to discussing this with you in further detail and answering any questions you might have.

Sincerely,



Gayle Saunders, President

Phone: 604-385-1154.

email: [gaylesaunderswr@gmail.com](mailto:gaylesaunderswr@gmail.com)

Attached:   Budget 2018 – 2019  
              Balance Sheet, September 2018  
              Statement of Receipts and Disbursements, September 2018  
              Total estimated cost of carpet replacement

**STATEMENT OF RECEIPTS AND DISBURSEMENTS  
BUDGET 2018-2019**

	<u>Actual 2017-2018</u>	<u>Budget 2018- 2019</u>
<b><u>Receipts/Income</u></b>		
Membership Annual Fees	24,765.00	25,000
Locker Rentals	1,005.00	1,000
Aggregate Fees (Tues, Thurs, Sat)	1,037.00	1,000
Aggregate Drop ins	343.00	300
Tournaments; Inter-club & V&D fees	1,687.00	1,700
League	575.00	600
Winter Membership	1,200.00	1,200
Bar Sales - Liquor	11,307.00	11,000
Bar Sales - pop	428.20	400
Social/Hospitality	3,054.00	3,000
Bowl Supplies	-	-
Grants	1,700.00	1,700
Interest	425.25	500
50/50 Draws	537.50	500
Club House Rentals	2,905.00	3,000
Sponsorship Contributions/Donations	350.00	300
	-	
<b>Total Receipts</b>	<u>51,318.95</u>	<u>51,200</u>



# WHITE ROCK LAWN BOWLING CLUB

## BALANCE SHEET

As at September 30, 2018

### ASSETS

Bank - Chequing	6,423.20	
Bank - Savings	12,814.72	
Internally Restricted Controlled Funds / Carpet - Note 1	94,424.91	
Gaming Account - Restricted re 50/50	1,676.58	
GIC/Liquor Security/Oct 19/18 @ 1.2%	1,581.23	
Accounts Receivable -Community Events	943.00	
Liquor Inventory - Sept 30/2018	602.00	
Pop and Snacks Inventory - Sept 30, 2018	100.00	
Bar Float - Sept 30/2018	147.10	
House Cleaning Float	200.00	
Membership Shares / Coast Capital	5.00	
	<u>118,917.74</u>	<u>118,917.74</u>

### LIABILITIES AND NET WORTH

#### Liabilities

Accounts Payable	-	-
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#### Net Worth

Balance - Beginning of period	117,790.66	
Current period surplus / deficit	<u>1,127.08</u>	
Balance - End of Period	<u>118,917.74</u>	<u>118,917.74</u>
		<u><u>118,917.74</u></u>

#### NOTE 1

Internally Restricted Controlled Funds / Carpet consist of the following:

	Maturity Date	Interest Rate	Amount
GIC - better-than-cash	17-Oct-18	1.65%	22,078.13
GIC/Rising rate - redeemable annually	13-Jun-20	1.15/1.25/3.0	21,854.62
35 month term (locked in)	21-Aug-20	2.35%	30,280.60
GIC - better-than-cash	26-Feb-19	1.40%	10,211.56
GIC - redeemable annually	15-May-20	2.25%	<u>10,000.00</u>
			94,424.91

**STATEMENT OF RECEIPTS AND DISBURSEMENTS**  
**MONTH OF SEPTEMBER 2018**

	<u>Current Month</u>	<u>Year To Date</u>	<u>Annual Budget</u>
<b><u>Receipts/Income</u></b>			
Membership Annual Fees	-	24,765.00	22,000
Locker Rentals	-	1,005.00	900
Aggregate Fees (Tues, Thurs, Sat)	-	1,037.00	1,100
Aggregate Drop ins	-	343.00	200
Tournaments; Inter-club & V&D fees	847.00	1,687.00	1,800
League	-	575.00	600
Winter Membership	-	1,200.00	1,400
Bar Sales - Liquor	1,637.00	11,307.00	8,800
Bar Sales - pop	82.10	428.20	450
Social/Hospitality	1,512.00	3,054.00	2,100
Bowls Supplies	-	-	100
Grants	-	1,700.00	100
Interest	2.80	425.25	1,100
50/50 Draws	200.00	537.50	450
Club House / Community Event Rentals	900.00	2,905.00	1,500
Sponsorship Contributions/ Donations	200.00	350.00	-
Accounts Receivable	-	-	
<b>Total Receipts</b>	<b>5,380.90</b>	<b>51,318.95</b>	<b>42,600</b>
<b>Less: non-revenue receipts</b>	<b>-</b>	<b>-</b>	
<b>Total Revenue</b>	<b>5,380.90</b>	<b>51,318.95</b>	<b>42,600</b>

**STATEMENT OF RECEIPTS AND DISBURSEMENTS  
BUDGET 2018-2019**

	<u>Actual 2017-2018</u>	<u>Budget 2018- 2019</u>
<b><u>Disbursements/Expenses</u></b>		
Administrative	678.89	600
Internally restricted fund(carpet)	15,000.00	17,000
Electricity, Water, Natural Gas, Phone	3,255.38	3,300
Aggregate / Tues/Thurs/Sat - Prizes	1,037.00	1,000
Tournament (V&D/Inter-Club) expenses	752.16	800
Regular League	575.00	600
Social/Hospitality	2,809.24	2,800
Buildings: Clubhouse Maintenance	2,236.69	2,500
Grounds: Maintenance & Landscaping	1,063.61	1,300
Property & Liability Insurance. W.R.	880.49	925
Liability Insurance: BC Bowls	450.00	450
Liquor Purchases and PST	8,533.37	8,600
Liquor License / Register new directors	555.05	570
Bar Supplies	481.53	600
Membership dues - BC Bowls/Bowls Canada/	4,432.00	4,600
Publicity	154.50	500
Bowl Supplies	-	1,000
Engraving	252.35	250
Property taxes - Sewage	1,160.00	1,200
Website Design Maintenance	20.24	250
Grant Expenditure	1,689.31	1,500
<b>Total Disbursements</b>	<u>46,016.81</u>	<u>50,345</u>
<b>Less: Internally Restricted funds/savings</b>	<u>(15,000.00)</u>	<u>(17,000)</u>
<b>Operating expenses</b>	<u>31,016.81</u>	<u>33,345</u>
<b>Net Surplus / Deficit</b>	<u>20,302.14</u>	<u>17,855</u>



**STATEMENT OF RECEIPTS AND DISBURSEMENTS**  
**MONTH OF SEPTEMBER 2018**

	<u>Current Month</u>	<u>Year To Date</u>	<u>Annual Budget</u>
<b><u>Disbursements/Expenses</u></b>			
Administrative	49.60	678.89	500
Internally restricted fund(carpet)	-	15,000.00	15,000
Electricity, Water, Natural Gas, Phone	262.74	3,255.38	3,300
Aggregate / Tues/Thurs/Sat - Prizes	-	1,037.00	1,100
Tournament (V&D/Inter-Club) expenses	-	752.16	800
Regular League	575.00	575.00	550
Social/Hospitality	1,173.74	2,809.24	2,700
Buildings: Clubhouse Maintenance	687.54	2,236.69	2,500
Grounds: Maintenance & Landscaping	74.09	1,063.61	1,100
Property & Liability Insurance. W.R.	-	880.49	850
Liability Insurance: BC Bowls	450.00	450.00	450
Liquor Purchases and PST	747.43	8,533.37	6,300
Liquor License / Register new directors	-	555.05	570
Bar Supplies	8.94	481.53	650
Membership dues - BC Bowls/Bowls Canada/V&D	-	4,432.00	4,100
Publicity	-	154.50	600
Bowls Supplies	-	-	100
Rules Books/Score Cards	-	-	150
Engraving	120.74	252.35	85
Property taxes - Sewage	104.00	1,160.00	1,190
Website Design Maintenance	-	20.24	250
Purchase of AED Plus	-	1,689.31	-
<b>Total Disbursements</b>	<b>4,253.82</b>	<b>46,016.81</b>	<b>42,845</b>
<b>Less: Internally Restricted funds/savings</b>	<b>-</b>	<b>(15,000.00)</b>	<b>(15,000)</b>
<b>Operating expenses</b>	<b>4,253.82</b>	<b>31,016.81</b>	<b>27,845</b>
<b>Net Surplus / Deficit</b>	<b>1,127.08</b>	<b>20,302.14</b>	<b>14,755</b>

White Rock Lawn Bowling Club

Proposed Remedial Works to Playing Surface

Breakdown of Cost Estimate for Works

<u>Item Description</u>	<u>Cost</u>
1. Lift and dispose of existing carpet	10,000.00
2. Supply, deliver and install Mastergreen or Pro Green Plus World Bowls Approved carpet including Re-installation of existing underlay Cover bankings Mark out rinks Live bowls and jack markers, delivery mats and jacks	88,110.00
3. Installation of 10mm cap on e-layer	45,000.00
4. Dales Pro-weave Sports Vacuum incl PST and GST	5,017.60
5. Independent survey of new e-layer surface	1,500.00
6. Contingency for tax and duty, etc.	15,000.00
7. Contingency for unforeseen issues - allow 10%	16,000.00
<u>Total estimated cost</u>	<u>\$180,627.60</u>

THE CORPORATION OF THE  
**CITY OF WHITE ROCK**  
**CORPORATE REPORT**



**DATE:** July 26, 2021

**TO:** Mayor and Council

**FROM:** Jim Gordon, P. Eng., Director, Engineering and Municipal Operations

**SUBJECT:** Oxford Street Assessment

---

**RECOMMENDATIONS**

THAT Council:

1. Receive for information the corporate report dated July 26, 2021 from the Director of Engineering and Municipal Operations Department, titled "Oxford Street Assessment;"
  2. Direct Staff to further research HFST and supplier availability before potential inclusion in an upcoming Financial Plan; and
  3. Direct Staff to process and proceed with the installations of signs.
- 

**INTRODUCTION/BACKGROUND**

On May 24, 2021, during a heavy rain occurrence, a pickup truck lost control on Oxford Street between Roper Avenue and Prospect Avenue and slid down the hill, causing damages. There have been reported incidents of other vehicles sliding during slippery heavy rain occurrences. The homeowner expressed concerns about the safety of the road. Staff investigated existing safety measures and explored potential improvements (refer to Appendix A).

**DISCUSSION/ANALYSIS**

Following natural topography, Oxford Street has steep slopes. The overall grade is approximately 20%, and some sections exceed 25%.

Short-term options are the relocation of and addition of warning signs to improve road safety. Staff will initiate the procurement of these improvements.

Staff considered the feasibility of closing Oxford Street during heavy rain. In consideration of the staffing required, access needed for emergency vehicles, and the unpredictability of inclement rain occurrences, this option is not feasible.

Staff explored medium-term options such as a High Friction Surface Treatment (HFST) and speed humps. HFST is a pavement surfacing system and a new product that is used in the USA. This system involves the application of very high- quality aggregate to the pavement using a polymer binder to restore and/or maintain pavement friction at existing or potential high frequency crash areas. The average expected life of HFST is five to seven (5- 7) years under

heavy traffic use. The cost to install and maintain this system for Oxford Street is estimated to be \$100,000 every seven (7) years. HFST is not widely used in BC and contractors with experience in the installation of HFST are in the USA. More research and review are necessary to determine if this product is effective in BC climates and on steep hills.

Speed humps were also reviewed, and it was determined that installation of humps is feasible only for slopes between 4% and 10%; Oxford Street slope is approximately 20% and exceeding 25% in some sections.

City staff explored two long-term options to improve the grade of Oxford Street. One option is to regrade Oxford Street by closing adjoining side streets; this option may involve closing driveway accesses. A second option is to convert Oxford Street into a one-way southbound street. A further detailed investigation would be needed to determine if the challenges for either of these options can be mitigated to the extent that the options are feasible.

### **PREVIOUS COUNCIL DIRECTION**

Not applicable.

### **FINANCIAL IMPLICATIONS**

Funding is available in the Operating budget to install traffic signs.

### **COMMUNICATION AND COMMUNITY ENGAGEMENT IMPLICATIONS**

Improvements to Oxford Street could be a comprehensive, long-term plan requiring the commitment and involvement of the City, community, and adjacent property owners. Any road configuration change on Oxford Street, either grade or traffic direction, will require extensive public engagement.

## **CONCLUSION**

Staff assessed Oxford Street and reviewed potential short-term, medium-term, and long-term improvement options. Short-term improvements include installation of new warning signs, and this work is scheduled to begin immediately. Road closures during heavy rain occurrences were also considered and it was determined to not be feasible given the staffing required and the unpredictability of heavy rain occurrences.

Medium-term options considered were speed humps and HFST. As noted, speed humps are not feasible because they cannot be installed on steep roads. HFST is a new product, has high installation costs with replacement costs, and has limited experienced installation contractors in BC. Staff will continue monitoring the effectiveness of this product in BC.

Potential long-term Oxford Street improvements could include regrading or converting Oxford Street to one-way. Comprehensive review, design, and public engagement will be necessary to determine the feasibility of this option.

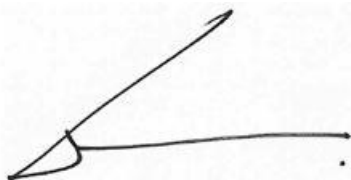
Respectfully submitted,



Jim Gordon, P.Eng.  
Director, Engineering and Municipal Operations

## **Comments from the Chief Administrative Officer**

This corporate report is provided for information purposes.



Guillermo Ferrero  
Chief Administrative Officer

Appendix A: Oxford Street Assessment



# TECHNICAL MEMO

## Oxford Street Assessment

Prepared by: L. He, P. Eng., Project Engineer  
Reviewed by: R. Choy, P. Eng., Manager of Engineering  
Approved by: J. Gordon, P. Eng., Director of  
Engineering & Operations Department  
877 Keil Street  
White Rock, BC V4B 4V6  
OPERATIONS@WHITEROCKCITY.CA

2021-06-25

## Executive Summary

An accident occurred on May 24, 2021, where a northbound truck on Oxford Street lost control and slid back into a private property. The homeowner and community members expressed concern about the safety of the road. Staff investigated existing safety measures and explored potential improvements.

Oxford Street follows a natural topography. The average grade on Oxford Street between Oxenham Avenue and Gordon Avenue is approximately 20% although some sections have been measured at up to 25%. New roadways with a similar classification in the Lower Mainland are designed to 12%, but there are much steeper sections of older streets such as Oak Street south of 6th Avenue in Vancouver. Several Streets in San Francisco and Los Angeles have grades between 30% and 35%.

An option of regrading Oxford Street to flatten the grades is explored in this report but involves closing the adjoining streets and possibly driveway accesses as well. A second option of converting Oxford Street to one way southbound is also investigated but would reduce access to the City road network. A further detailed investigation would be needed to see if the challenges for either of these options can be mitigated to the extent that they are feasible.

Immediate improvements to the existing safety measures and warning signs are identified in this report and scheduled to be implemented. The road surface traction can be improved with High Friction Surface Treatment (HFST), which can be integrated into the City's capital program as medium-term actions.

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## 1. Background

On May 24, 2021, a pickup truck could not climb up Oxford Street hill during a heavy rain event, lost control between Roper Avenue and Prospect Avenue, reversed into the garage of an adjacent property and caused damages.

## 2. Existing Conditions

### 2.1 Road classification and configurations

Oxford Street is classified as a primary connector in the City's transportation network. It connects City's waterfront to the regional major road network (King George Boulevard and Highway 99).

Oxford Street is a two-way street with a 3.5 m wide travel lane for each direction. There is a 1.5 m wide sidewalk on the east side of the street. The posted speed is 30 km/h from Thrift Avenue to Marine Drive, and trucks over 5400 kg are not permitted from Thrift Avenue to Marine Drive. Transit buses also run along Oxford Street between North Bluff Road and Thrift Avenue.

Street parking is allowed on the east side of the street from North Bluff Street to Thrift Avenue. The City provides paid parking on the east side of the street from Marine Drive to Buena Vista Avenue.

The City's GIS shows a 20-meter ROW for Oxford Street. There are six side roads, two lanes, and approximately ten driveways connecting to Oxford Street from Thrift Avenue to Buena Vista Avenue.

Following the natural topography, Oxford Street has steep slopes within the corridor. The overall grade is approximately 20% from Oxenham Avenue to Gordon Avenue, and some sections exceed 25%. A topographical survey is required to identify the accurate slope of the subject corridor for further actions.

### 2.2 Utilities

There are storm sewers, sanitary sewers, and water mains along the street.

Hydro poles are on the east side of the street and streetlights on the west side of the street.

### 2.3 Safety features and devices

The following safety measures are provided on Oxford Street (See Appendix 1 for details):

- ✓ Warning signs;
- ✓ Raised concrete medians and traffic circles;
- ✓ W-beam guardrail;
- ✓ Concrete barrier;
- ✓ Barrier curb; and
- ✓ Laddered sidewalk with handrails.

### 3. Design Guidelines

#### 3.1 Transportation Association of Canada (TAC)

*Geometric Design Guide for Canadian Roads* from TAC provides the design guide for highway and roadway design throughout Canada. According to the Design Guide, the maximum grade of an UCU (Urban Collector Undivided) is 12% as shown in the following table:

**Table 3.3.1: Maximum Gradients<sup>56</sup>**

Design Speed (km/h) Topography	30/40/50		60		70		80		90		100		110		120/130	
	R	M	R	M	R	M	R	M	R	M	R	M	R	M	R	M
RLU	7	11	7	11	6	9	6	8	5	7	5	7	-	-	-	-
RCU	-	-	6	10	6	9	5	8	5	7	5	7	-	-	-	-
RCD	-	-	-	-	6	9	5	8	5	7	5	7	-	-	-	-
RAU	-	-	-	-	-	-	4	7	4	6	3	6	3	6	3	5
RAD	-	-	-	-	-	-	4	7	4	6	3	6	3	5	3	5
RFD	-	-	-	-	-	-	-	-	-	-	3	5	3	5	3	5
ULU-Residential	8	15	-	-	-	-	-	-	-	-	-	-	-	-	-	-
ULU-Industrial-Commercial	6	12	-	-	-	-	-	-	-	-	-	-	-	-	-	-
UCU- Residential	8	12	7	11	7	10	-	-	-	-	-	-	-	-	-	-
UCU-Industrial-Commercial	6	12	6	11	6	9	6	8	-	-	-	-	-	-	-	-
UCD	6	10	6	9	5	8	5	7	-	-	-	-	-	-	-	-
UAU	6	10	6	6	5	8	5	7	-	-	-	-	-	-	-	-
UAD	-	-	3	6	3	6	3	6	3	6	3	5	-	-	-	-
UED	-	-	-	-	-	-	5	6	4	5	4	5	4	5	3	5
UFD	-	-	-	-	-	-	-	-	4	5	3	5	3	5	3	5

- Notes:
1. Short grades less than 150 m in length, and one-way downgrades may be 1% higher on urban roads, and 2% higher on low volume rural roads
  2. R refers to rolling topography
  3. M refers to mountainous topography.

#### 3.2 Practices of other municipalities in Lower Mainland

A grade of 12% is specified as the maximum for city roads in the design criteria by the City of Surrey, Burnaby and Vancouver.

### 4. Discussion of Oxford Street Improvements

In response to the safety concern on Oxford Street, we are preparing the following options for consideration:

#### 4.1 Potential immediate actions

##### Road closure

Adding to the current policy of road closure on snowy days, the City could expand road closure in bad weather including heavy rain events. However, the action can hardly be implemented effectively in a timely manner due to the difficulty in the consensus of “bad weather” or “heavy rain” mostly based on personal preference and driving skills, the unpredictability of when rain events will start and stop, and the costs and practicality of having a labourer on standby to close and open the roadway given the frequency of rain event.

##### Traffic signs

A warning sign “steep slope” is recommended to be installed before the intersection at Buena Vista Avenue for northbound uphill traffic although the steep signs are normally installed for downslope traffic.

This warning sign will remind drivers of a steep slope ahead and give them a chance to turn right into Buena Vista Avenue instead of heading up the steep slope.

For a better visibility, relocate the existing warning sign “steep slope” ahead of the intersection at Thrift Avenue for the southbound traffic. Also, the advanced warning information would remind drivers of a steep slope ahead and give them a chance to make a left turn into Thrift Avenue instead of heading down the steep slope.

#### 4.2 Potential medium-term actions

##### Speed bumps/humps

Speed bumps/humps have been suggested for Oxford Street Improvements.

According to *Urban Street Design Guide*, “Speed humps are parabolic vertical traffic calming devices intended to slow traffic speeds on low volume, low-speed roads”. “Speed humps should be designed to the criteria that slopes should not exceed 1:10 (10%) or be less steep than 1:25 (4%)”.

Given the steep slope along Oxford Street and the maximum slope for speed bumps, speed bumps are not suitable for the situation. Instead, the speed bumps may cause the southbound vehicles down the street to lose control; on the other hand, they also add extra difficulty for northbound vehicles to climb up the hill. Speed bumps will create more risks for vehicles up/down Oxford Street and for the adjacent properties. Additionally, the speed bumps will slow emergency vehicle responses, and increase noise and pollution within the subject corridor.

In terms of traffic calming, the existing curved road edge/curb line, and the raised concrete median are measures to control and slow down the traffic speed. Please refer to Appendix 1 for details.

##### High Friction Surface Treatments (HFST)

Oxford street was treated with transverse grooving in the asphalt pavement in the past to increase traction. The recent accident implicated that the previous treatment didn’t work well. Oxford Street could be improved with a new High Friction Surface Treatment (HFST).

HFST is a pavement surfacing system with exceptional skid-resistance properties. It involves the application of very high-quality aggregate to the pavement using a polymer binder to restore and/or maintain pavement friction at existing or potential highly crash areas. The higher pavement friction helps motorists maintain better control in both dry and wet driving conditions. The average expected life of HFST is 5-7 years under heavy traffic.

According to Federal Highway Administration (FHA), HFST provides a significant increase in friction for spot application to counter pavement friction reduction due to wet conditions, or high friction demand due to vehicle speed and/or roadway geometrics. Research published by FHWA shows HFST is estimated to reduce wet crashes by 83% and total crashes by 57%. In BC, the Ministry of Transportation and Highways also issued a Technical Bulletin dated September 12, 2018, to guide the application of HFST. According to Ministry’s application of HFST in the Lower Mainland, the Oxford Street improvements will require approximately \$100,000 for installation of HFST for 800 m<sup>2</sup> at a unit price of \$100/m<sup>2</sup> (including contingency) plus additional consulting services for design/tender and testing if required.

#### 4.3 Potential long-term options

The essence of the improvements on Oxford Street is to reduce the grades. The following two options are for discussion:

##### Re-grading Oxford Street

There are noticeable humps along Oxford Street between Oxenham Avenue to Buena Vista Avenue. These humps resulted mostly by creating a flat landing area for the intersections connecting side roads. The grades can be ameliorated between Hardie Avenue and Buena Vista Avenue by removing these humps. Adding to this removal, the grades can be effectively improved by further excavation supported with retaining walls. To enable this improvement, as shown in the following Figure 1, this option requires closing a few side roads to Oxford Street, including Roper Avenue, MacDonald Avenue, Prospect Lane, Prospect Avenue, and Gordon Avenue. These side roads can be accessed either by Anderson Street from Marin Drive or by Everall Street from Buena Vista Avenue.

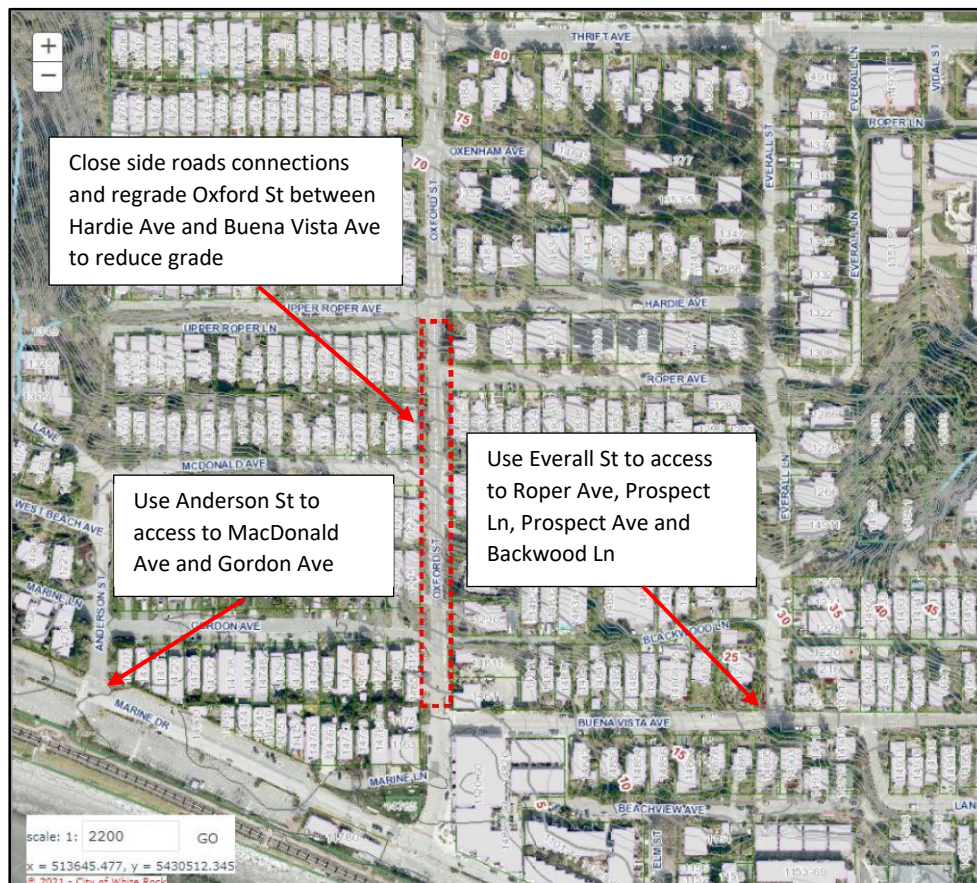


Figure 1-Regrading Oxford Street

The major challenge of this option is the driveway regrading and driveway tie-ins. It may not be possible to regrade the road and maintain driveway access to a number of properties at the same time. Emergency access for fire, police, and ambulance may also be affected. A further study is required to determine the feasibility.



#### One-way southbound scenic drive

This option converts Oxford Street into a one-way street for the southbound traffic only. The conversion will narrow Oxford Street down to one travel lane, and the one-lane Oxford Street will meander within the 20 m wide road ROW to stretch the length of the street and accordingly reduce the grade. The closed northbound lane can be used to upgrade the sidewalk amenities such as adding a treed boulevard with street furniture and viewpoints for ocean view. This option could create a scenic drive of Oxford Street as exemplified in Figure 2.

As a result, the City's transportation network will lose a direct connection for northbound traffic from City's waterfront to the regional transportation major road network. Consequently, the northbound traffic has to take an eastbound detour along Marine Drive and get back to the regional transportation network (King George Boulevard and Highway 99) through Stayte Street; Marine Drive would be busy with more eastbound traffic while Stayte Street would be filled with more northbound traffic.

To mitigate the impacts, a further study is required to identify an alternative route to divert the northbound traffic on Oxford Street from City's waterfront to the regional transportation major road network. For example, Johnston Road (152 Street) can be extended through to the City's Waterfront, or Finlay Street (156 Street) can be upgraded to accommodate a northbound traffic.

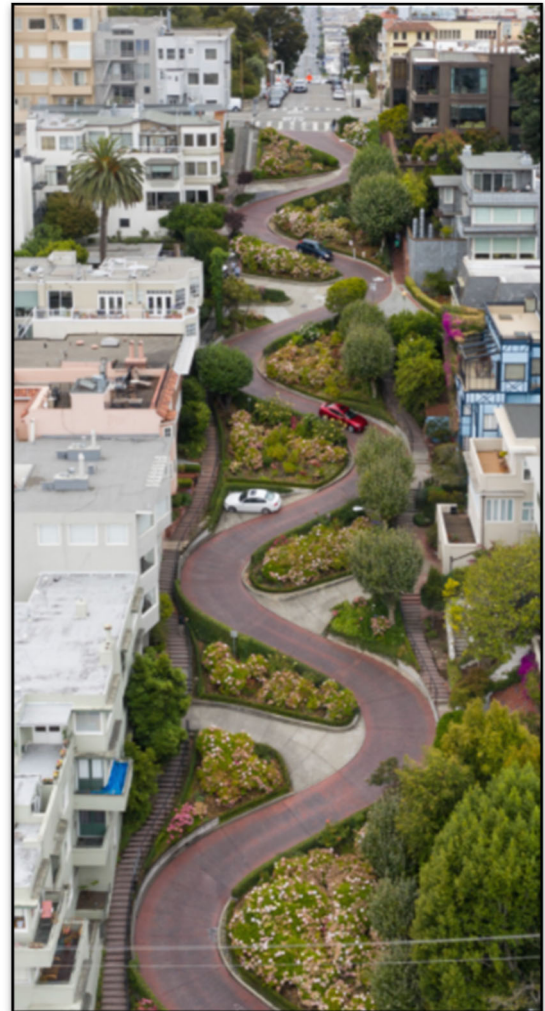


Figure 2-Meandering Scenic Drive (San Francisco Lombard Street from en.wikipedia.org)

## 5. Conclusions

In this report, the following options have been considered and evaluated in an order of ease of implementation:

Traffic signs installation;

Expanding road closure in bad weather;

Highway Friction Surface Treatments;

Re-grading Oxford Street; and

One-way southbound scenic drive.

For the time being, traffic signs installation is recommended for the action.

## Appendix 1: Existing Safety Features and Devices



Figure 1-1 Raised median & warning sign

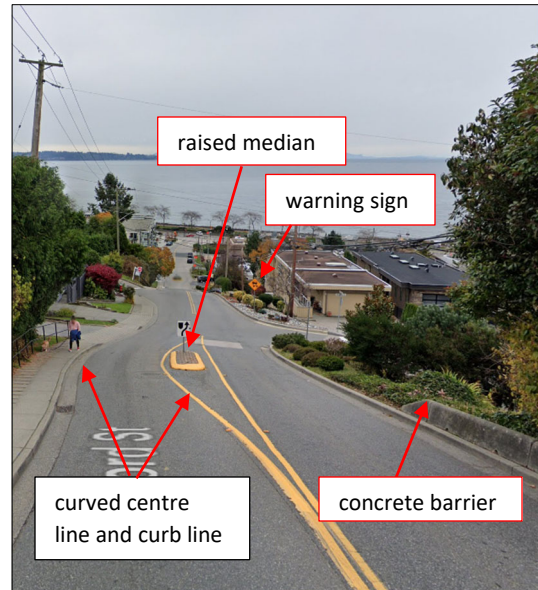


Figure 1-4 Raised median & warning sign

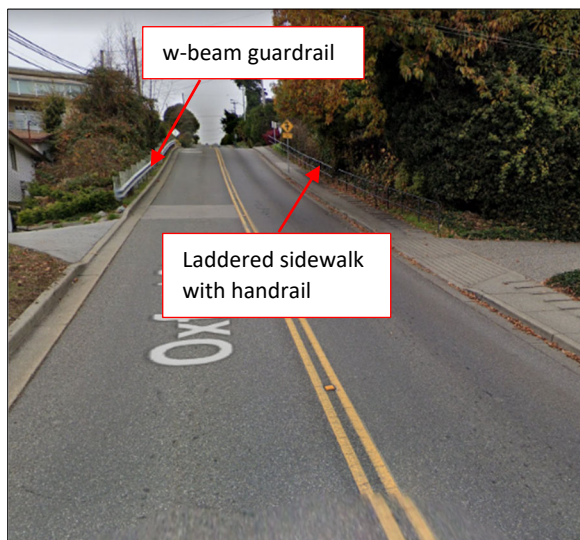


Figure 1-2 W-beam guardrail & ladder sidewalk c/w handrail

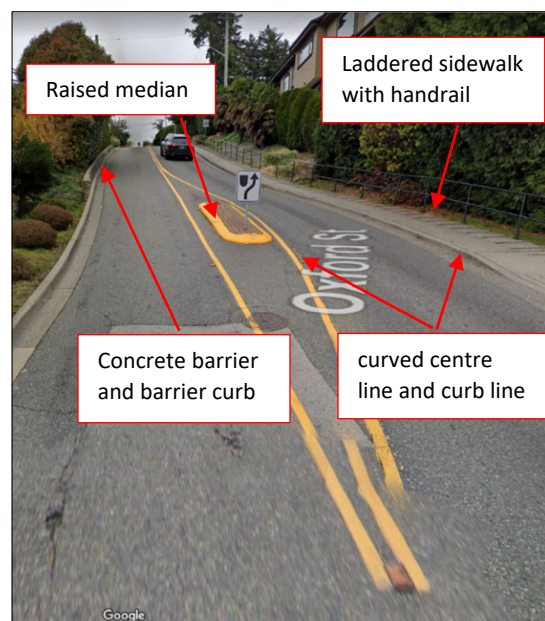


Figure 1-5 Concrete barrier & curved curb line

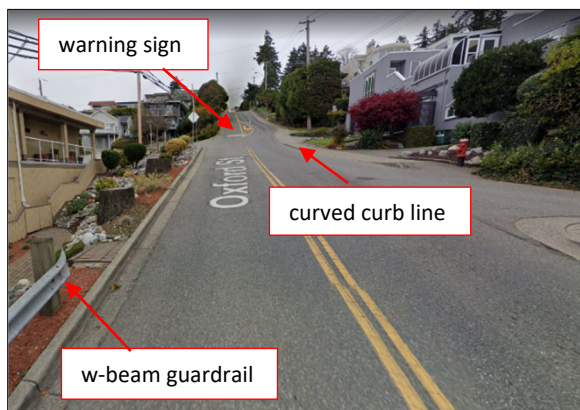


Figure 1-3 W-beam guardrail and curved curb line



## **Governance and Legislation Committee**

### **Minutes**

July 12, 2021, 5:30 p.m.

City Hall Council Chambers

15322 Buena Vista Avenue, White Rock, BC, V4B 1Y6

PRESENT: Mayor Walker  
Councillor Chesney  
Councillor Fathers  
Councillor Johanson  
Councillor Kristjanson  
Councillor Manning  
Councillor Trevelyan

STAFF: Jim Gordon, Director of Engineering and Municipal Operations  
Carl Isaak, Director of Planning and Development Services  
Eric Stepura, Director of Recreation and Culture  
Shannon Johnston, Manager of Budgets and Accounting  
Donna Kell, Manager of Communications  
Debbie Johnstone, Deputy Corporate Officer  
Chloe Richards, Committee Clerk

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#### **1. CALL TO ORDER**

Councillor Trevelyan, Chairperson

The meeting was called to order at 5:31 p.m.

**2. MOTION TO CONDUCT GOVERNANCE AND LEGISLATION COMMITTEE MEETING WITHOUT THE PUBLIC IN ATTENDANCE**

**Motion Number: 2021-G/L-068**

It was MOVED and SECONDED

**WHEREAS COVID-19 has been declared a global pandemic;**

**WHEREAS the City of White Rock has been able to continue to provide the public access to the meetings through live streaming;**

**WHEREAS holding public meetings in the City Hall Council Chambers, where all the audio/video equipment has been set up for the live streaming program, would not be possible without breaching physical distancing restrictions due to its size, and holding public meetings at the White Rock Community Centre would cause further financial impact to City Operations due to staffing resources and not enable live streaming;**

**WHEREAS Ministerial Orders require an adopted motion in order to hold public meetings electronically, without members of the public present in person at the meeting;**

**THEREFORE BE IT RESOLVED THAT the Governance and Legislation Committee (including all members of Council) authorizes the City of White Rock to hold the July 12, 2021 meeting to be video streamed and available on the City's website, and without the public present in the Council Chambers.**

**Motion CARRIED**

**3. ADOPTION OF AGENDA**

**Motion Number: 2021-G/L-069**

It was MOVED and SECONDED

**THAT the Governance and Legislation Committee adopt the agenda for July 12, 2021 as circulated.**

**Motion CARRIED**



4. **ADOPTION OF MINUTES**

**Motion Number: 2021-G/L-070**

It was MOVED and SECONDED

**THAT the Governance and Legislation Committee adopt the meeting minutes from June 14, 2021 as circulated.**

**Motion CARRIED**

5. **ENCROACHMENTS**

Councillor Manning requested this item be brought to the Committee for discussion.

The Director of Engineering and Municipal Operations notes that *"staff continue to administer the Street and Traffic Bylaw provisions as per Council direction in November 2019. Specifically, we **"administer the Street and Traffic Bylaw with respect to new encroachments as well as at the time of property redevelopment."***

Discussion ensued, and the following points were noted:

- Staff clarified that having clear direction from Council on this topic would be helpful in terms of enforcement.
- Types of encroachments were discussed. For example, differences were noted in adding a fence around an encroachment compared to the planting of a small shrub.
- Encroachments that impact Council priorities, such as Centre Street Walkway project, would need to be enforced. Communication surrounding why this is happening (beatification of the City) may help residents understand this process.
- Want to stop the proliferation of new encroachments, hard to take back old encroachments unless there is a project underway that could effect this.
- Road ends should be prioritized and re-utilized/ promoted by the City.
- Having consistency with enforcement for encroachments is important.
- Harder to restore previous encroachments, but can draw a line with new encroachments to ensure that these are not permitted moving forward. Staff clarified that currently no encroachment are "permitted".

- The definition of encroachments in the City needs to be reviewed and discussed. For those residents with an encroachment on their property, they need to be aware that this is City property and as such the City has the right to remove it if required.
- New wording within the Street and Traffic bylaw was encouraged, which provides guidance as to what is acceptable and what is not. Also suggested that an application process/ permitting process be considered for exceptions. If there is a permit there is wording to notify that the City still has the right to take back the land at any time at their expense.

**Motion Number: 2021-G/L-071**

**It was MOVED and SECONDED**

**THAT the Governance and Legislation Committee direct staff to bring forward a corporate report that reviews the definition of encroachments, consideration of small bushes, irrigation being excluded as an encroachment, if the encroachment bring beauty for the City, as well as any safety/ legal concerns.**

**Motion CARRIED (7 to 0)**

**6. CONCLUSION OF THE JULY 12, 2021 GOVERNANCE AND LEGISLATION COMMITTEE MEETING**

The meeting was concluded at 6:02 p.m.

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Mayor Walker



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Debbie Johnstone,  
Deputy Corporate Officer



## **At Risk and Vulnerable Population Task Force**

### **Minutes**

June 30, 2021, 4:00 p.m.

Via Microsoft Teams

PRESENT:	Mayor Walker, Co-Chairperson Councillor Patton, Co-Chairperson (City of Surrey) (left at 5:07 p.m.) Councillor Guerra, Co-Vice-Chairperson (City of Surrey) (left at 5:00 p.m.) Councillor Manning, Co-Vice-Chairperson (arrived at 4:05 p.m.) Kathy Booth, Peninsula United Church Bruce Strom, Options David Young, Sources Adrianna Spyker, PH2H Tsitsi Watt, BC Housing Becky Dorothy, Fraser Health (arrived at 5:10 p.m.)
NON-VOTING ADVISORS:	Aileen Murphy, City of Surrey Social Planner Chloe Good, HSABC Jonquil Hallgate, Friendship Blvd Foundation Rick Bayer, PH2H (arrived at 4:27 p.m. and left at 5:30 p.m.)
STAFF:	Eric Stepura, Director of Recreation and Culture Kale Pauls, Staff Sargent (RCMP) Debbie Johnstone, Deputy Corporate Officer

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Councillor Patton assumed the role of Chairperson.

1. **CALL TO ORDER**

The Chairperson called the meeting to order at 4:02 p.m.

2. **ADOPTION OF AGENDA**

**Motion Number 2021-ARVPTF-004:** It was MOVED and SECONDED

THAT the COVID-19 Recovery Task Force adopt the agenda for June 30, 2021 as circulated.

**Note:** The Task Force name change from "At-Risk and Vulnerable Population Task Force" to "At-Risk and Priority Population Task Force" will be reflected on all future meeting documents.

**Motion CARRIED**

3. **ADOPTION OF MINUTES**

**Motion Number 2021-ARVPTF-005:** It was MOVED and SECONDED

THAT the COVID-19 Recovery Task Force adopts the minutes of the June 17, 2021 meeting as circulated.

**Motion CARRIED**

4. **DISCUSSION OF WORK PLAN**

Task Force members continued their discussion on the work plan.

Councillor Manning entered the meeting at 4:05 p.m.

A. Murphy provided background information on the Emergency Weather Response (EWR) program, 24/7 Emergency Shelters and Supportive Modular Housing.

Task Force members discussed potential locations for a shelter and the type of shelter that should be created. Examples of current shelters in Surrey and Vancouver were shared. It was noted that operators play a large role in the success of a shelter.

Items 5, 6 and 7 were discussed under Item 4: Discussion of Work Plan.

R. Bayer entered the meeting at 4:27 p.m.

Councillor Guerra departed the meeting at 5:00 p.m.

Councillor Patton departed the meeting at 5:07 p.m. and Mayor Walker assumed the role of Chairperson.

B. Doherty entered the meeting at 5:10 p.m.

R. Bayer departed the meeting at 5:30 p.m.

**5. PERMANENT MODULAR HOUSING LOCATION**

Item 5, *Permanent Modular Housing Location*, was discussed under Item 4, *Discussion of Work Plan*.

**6. ONGOING WARMING SHELTER AND HEALTHCARE FACILITY LOCATION**

Item 6, *Ongoing Warming Shelter and Healthcare Facility Location*, was discussed under Item 4, *Discussion of Work Plan*.

**7. PERMANENT EMERGENCY WARMING SHELTER LOCATION**

Item 7, *Permanent Emergency Warming Shelter Location*, was discussed under Item 4, *Discussion of Work Plan*.

**8. OTHER BUSINESS**

It was noted that the Homelessness Services Association of British Columbia is no longer to be considered a voting member and will be considered as a non-voting advisor moving forward.

**9. INFORMATION**

**9.1 COMMITTEE ACTION TRACKING**

Corporate Administration provided an action-tracking document to the Task Force for information. This spreadsheet will be updated after each meeting and provided to members for information.

10. **2021 MEETING SCHEDULE**

The following meeting schedule was approved by the Task Force and is provided for information purposes:

- Thursday, July 15, 2021
- Thursday, July 29, 2021
- Thursday, September 2, 2021
- Thursday, September 16, 2021
- Wednesday, September 29, 2021
- Wednesday, October 13, 2021
- Wednesday, October 27, 2021
- Wednesday, November 10, 2021
- Wednesday, November 24, 2021

All meeting times are scheduled to take place from 4:00 p.m. to 6:00 p.m.

11. **CONCLUSION OF THE JUNE 30, 2021 AT RISK AND VULNERABLE POPULATION TASK FORCE MEETING**

Co-Chairperson Mayor Walker declared the meeting concluded at 5:36 p.m.

Approved at the July 16, 2021 meeting

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Councillor Patton, Chairperson



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C. Richards, Committee Clerk



## Arts and Cultural Advisory Committee

### Minutes

July 8, 2021, 4:00 p.m.

Via Microsoft Teams

PRESENT:	Jim Adams, Community Member Elaine Cheung, Community Member Louise Taylor, Community Member Denice Thompson, Community Member
COUNCIL:	Councillor Anthony Manning, Vice-Chairperson (non-voting)
STAFF:	Eric Stepura, Director of Recreation and Culture Elizabeth Keurvorst, Manager, Cultural Development Debbie Johnstone, Deputy Corporate Officer Janessa Auer, Committee Clerk

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Councillor Manning assumed the role of Chairperson

1. **CALL TO ORDER**

The meeting was called to order at 4:01 p.m.

2. **ADOPTION OF AGENDA**

**Motion Number: 2021-ACAC-001** It was MOVED and SECONDED

THAT the Arts and Cultural Advisory Committee adopt the agenda for July 8, 2021 as circulated.

**Motion CARRIED**

3. **ADOPTION OF MINUTES**

**Motion Number: 2021-ACAC-002** It was MOVED and SECONDED

THAT the Arts and Cultural Advisory Committee adopts the minutes of the March 23, 2021 meeting as circulated.

**Motion CARRIED**

4. **INTRODUCTIONS**

**Note:** The Director of Recreation and Culture entered the meeting at 4:03 p.m. Roundtable introductions were conducted.

5. **REVIEW OF COMMITTEE TERMS OF REFERENCE AND COMMITTEE MANDATE**

The Director of Recreation and Culture provided an overview of the Committee Terms of Reference and mandate.

6. **2021-2022 WORK PLAN**

The Manager of Cultural Development reviewed the Cultural Strategic Plan, which was endorsed by Council in April, 2021. It was noted that financial requests within the Cultural Strategic Plan would be discussed during the 2022 financial planning process.

Tasks identified through the Cultural Strategic Plan document as items within the 'time horizon' for 2021/ 2022 were identified as potential items for the Committee work plan.

**Motion Number: 2021-ACAC-003** It was MOVED and SECONDED

**THAT the Arts and Cultural Advisory Committee recommend that the following items be identified as priority items within their 2021/ 2022 work plan:**

- **1.3.1 - Explore the options for creating an Arts Endowment Fund to provide a pool of arts development money available to groups;**
- **2.1.1 - Conduct an Arts and Culture Opportunity and Needs Assessment (including City owned, leased or privately owned dedicated arts spaces). As well as the possibility of merging a new seniors'**



programming facility with arts and cultural needs. Access grants if possible; and,

- **2.1.2 - Follow up the Needs Assessment with a concept plan and construction drawings for the provision of an Arts and Cultural Facility to meet community requirements including the possibility of merging a new seniors' programming facility with arts and cultural needs. Be shovel ready and access grants and create budget.**

**Motion CARRIED**

**Motion Number: 2021-ACAC-004** It was MOVED and SECONDED

**THAT the Arts and Cultural Advisory Committee recommend that the Advisory Design Panel incorporate arts and cultural space, whether public art and/or arts programming space in new developments aligned to the Creative City by the Sea Cultural Strategic Plan.**

**Motion CARRIED**

## **7. OTHER BUSINESS**

The Committee discussed the potential for the continuation of electronic meetings following the pandemic. It was noted that this would be something Council would be reviewing through the Council and Committee Procedure Bylaw. Information on this will be provided back to all Committee members when available.

## **8. INFORMATION**

The following local events were noted:

- Pop-Up Gallery exhibit, runs to the end of July (from 11:00 a.m. to 5:00 p.m.);
- White Rock Museum and Archives exhibit "The Long Pier: White Rock, its pier & community identity" runs through to September; and,
- Vancouver Art Gallery exhibit "Vancouver Special" - which includes work from local artist Jim Adams.

## 8.1 COMMITTEE ACTION TRACKING

This item was provided for information purposes.

## 9. 2021 MEETING SCHEDULE

**Motion Number: 2021-ACAC-005** It was MOVED and SECONDED

THAT the Arts and Cultural Advisory Committee approves the following schedule of meetings (taking place from 4:00 p.m. to 6:00 p.m.) as follows:

- July 8, 2021;
- September 9, 2021;
- October 14, 2021; and,
- November 4, 2021.

**Motion CARRIED**

## 10. CONCLUSION OF THE JULY 8, 2021 ARTS AND CULTURAL ADVISORY COMMITTEE MEETING

The meeting was concluded at 6:00 p.m.



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Councillor Manning, Vice-  
Chairperson

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Debbie Johnstone, Deputy  
Corporate Officer



## **Public Art Advisory Committee**

### **Minutes**

July 13, 2021, 4:00 p.m.  
Via Microsoft Teams

**PRESENT:** B. Cooper, Committee Member  
G. Kennedy, Committee Member  
J. Adams, Committee Member  
P. Ghuman, Committee Member  
Y. Everson, Committee Member

**COUNCIL:** Councillor C. Trevelyan, Chairperson (non-voting)

**GUESTS:** J. Ballard, Ballard Fine Arts  
A. Meredith, Ballard Fine Arts

**ABSENT:** P. Stasieczek, Committee Member

**STAFF:** E. Stepura, Director of Recreation and Culture  
E. Keurvorst, Manager of Cultural Development  
D. Johnstone, Deputy Corporate Officer  
J. Auer, Committee Clerk

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#### **1. CALL TO ORDER**

The Chairperson called the meeting to order at 4:13 p.m.

**2. ADOPTION OF AGENDA**

**Motion Number: 2021-PAAC-001**

It was MOVED and SECONDED

THAT the Public Art Advisory Committee adopt the agenda for July 13, 2021 meeting as circulated.

**Motion CARRIED**

**3. ADOPTION OF MINUTES**

**Motion Number: 2021-PAAC-002**

It was MOVED and SECONDED

THAT the Public Art Advisory Committee adopt the minutes of the March 25, 2021 meeting as circulated.

**Motion CARRIED**

**4. REVIEW OF COMMITTEE TERMS OF REFERENCE AND COMMITTEE MANDATE**

**Note:** Informal roundtable introductions took place prior to commencing discussion around Item 4.

Jim Adams joined the meeting at 4:17 p.m.

The Director of Recreation and Culture provided an overview of the Committee Terms of Reference and mandate.

**5. INTERSECTION PROJECT PLANNING**

The Manager of Cultural Development provided a brief introduction of the Intersection Project. It was noted that Jan Ballard and Alison Meredith, representatives from Ballard Fine Arts, are the successful proponents who will work with the City to complete the Intersection Project by October 2022.

The Ballard Fine Arts representatives provided a presentation on the Intersection Project, including their goals in alignment with the City's vision for public art. They hope to receive input and feedback from the Committee that they can incorporate into their final, detailed plan, which they aim to present to the Committee in September 2021.

A roundtable discussion took place.

It was noted that Council has its own policy concerning public art and working with local artists.

**6. WHITE ROCK OUTDOOR SCULPTURE EXHIBIT - TRIAL PROJECT**

The Director of Recreation and Culture introduced the Committee to the White Rock Outdoor Sculpture Exhibit trial project and asked for feedback from the group about their interest in adding it to their 2021-2022 Work Plan.

A roundtable discussion took place.

**ACTION ITEM:** The Committee to explore and analyze the viability of the idea of a sculptural festival with the ACAC and the White Rock Events Society, starting with an invitation for the White Rock Events Society to attend a future meeting and provide a presentation on the viability of a temporary outdoor sculptural exhibit.

**7. 2021-2022 WORK PLAN**

The Manager of Cultural Development provided an overview of outstanding and potential items for the 2021-2022 Work Plan. She gave an update about the Public Art and Placemaking Policy which needs to be finalized to send to Council for September.

**ACTION ITEM:** Manager of Cultural Resources to send a draft copy of the Public Art and Placemaking Policy to the Committee in August for final thoughts and feedback, with the goal of presenting it to Council in September.

**ACTION ITEM:** Committee to invite Planning and Development Services to attend a future meeting to discuss a plan for working more collaboratively on future projects.

**Motion Number: 2021-PAAC-003**

It was MOVED and SECONDED

THAT the Public Art Advisory Committee extend the meeting end time by 5 minutes, ending the meeting at 6:05 p.m.

**Motion CARRIED**

8. **OTHER BUSINESS**

None

9. **INFORMATION**

Committee Action Tracking document provided in agenda package for information purposes.

10. **2021 MEETING SCHEDULE**

**Motion Number: 2021-PAAC-004**

It was MOVED and SECONDED

THAT the Public Art Advisory Committee approves the following schedule of meetings (taking place from 4:00 p.m. to 6:00 p.m.) as follows:

- September 14, 2021
- October 12, 2021
- November 9, 2021


**Motion CARRIED**

11. **CONCLUSION OF THE JULY 13, 2021 PUBLIC ART ADVISORY COMMITTEE MEETING**

The Chairperson declared the meeting concluded at 6:01 p.m.

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Councillor C. Trevelyan, Chairperson



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J. Auer, Committee Clerk



## **Economic Development Advisory Committee**

### **Minutes**

July 14, 2021, 4:00 p.m.

Via Microsoft Teams

PRESENT:	Councillor Fathers, Chairperson (non-voting) Councillor Manning, Vice-Chairperson (non-voting) Michele Partridge, Community Member Gary Gumley, Community Member Grace Cleveland, Community Member Doug McLean, Community Member Aroon Shah, Community Member Adam Smith, Community Member Peter Zheng, Community Member
GUEST:	Mayor Walker
NON-VOTING ADVISORS:	Ange Chew, Representative from White Rock Tourism/Explore White Rock Ritu Khanna, Representative from South Surrey/White Rock Chamber of Commerce
STAFF:	C. Isaak, Director of Planning and Development Services Carolyn Latzen, Economic Development Officer C. Richards, Committee Clerk

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#### **1. CALL TO ORDER**

The Chairperson called the meeting to order at 4:00 p.m.

2. **ADOPTION OF AGENDA**

**Motion Number 2021-EDAC-001:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee adopt the agenda for the July 14, 2021 meeting as circulated.

**Motion CARRIED**

3. **ADOPTION OF MINUTES**

**Motion Number 2021-EDAC-002:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee adopts the minutes of the March 10, 2021 as circulated.

**Motion CARRIED**

4. **INTRODUCTIONS**

Roundtable introductions took place.

5. **REVIEW OF COMMITTEE TERMS OF REFERENCE AND COMMITTEE MANDATE**

The Director of Planning & Development Services provided a presentation on the Committee Terms of Reference and mandate.

**Motion Number 2021-EDAC-003:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee members have received and acknowledged the presentation.

**Motion CARRIED**

6. **ECONOMIC DEVELOPMENT STRATEGIC PLAN UPDATE - STATUS AND TIMELINE**

The Economic Development Officer provided an update on the Economic Development Strategic Plan, followed by a group discussion on the topic.

**Motion Number 2021-EDAC-004:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee have received and acknowledged the presentation and discussion.



## **Motion CARRIED**

### **7. 2021-2022 WORK PLAN**

The Committee discussed potential items for the 2021-2022 Economic Development Advisory Committee Work Plan. This information will be provided to Council for their endorsement.

Ideas for potential work plan items included:

- Marine Drive
- West Warf
- A tech hub in White Rock
- A larger hotel/meeting/convention space

It was noted that the Committee should be cognisant of the businesses coming out of a post pandemic mode. Diversity in White Rock should also be taken into consideration when finalizing the Work Plan.

It was noted that the outstanding action tracking document items would be added to the new work plan.

**Motion Number 2021-EDAC-005:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee have received and discussed Item 7, *2021-2022 Work Plan*.

## **Motion CARRIED**

### **8. OTHER BUSINESS**

No other business.

### **9. INFORMATION**

#### **9.1 COMMITTEE ACTION TRACKING**

Corporate Administration provided the action-tracking document to the Committee for information. The attached spreadsheet template is updated after each meeting and provided to members for information.

## 10. **2021 MEETING SCHEDULE**

The Committee approved their meeting schedule for 2021.

All meeting times are scheduled to take place from 4:00 p.m. to 6:00 p.m.

**Motion Number 2021-EDAC-006:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee endorse the 2021 meeting schedule as presented:

- September 15, 2021;
- October 20, 2021; and
- November 17, 2021.

**Motion CARRIED**

**Motion Number 2021-EDAC-007:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee amend Motion to approve the 2021 meeting schedule to the following meeting dates:

- September 7, 2021;
- October 20, 2021; and
- November 17, 2021.

**Motion CARRIED**

**Motion Number 2021-EDAC-008:** It was MOVED and SECONDED

THAT the Economic Development Advisory Committee members email work plan ideas to staff by September 1, 2021.

**Motion CARRIED**

Additional work plan items can be brought forward to the September 7<sup>th</sup> meeting prior to the work plan being finalized.

11. **CONCLUSION OF THE JULY 14, 2021 ECONOMIC DEVELOPMENT  
ADVISORY COMMITTEE MEETING**

The Chairperson declared the meeting concluded the meeting at 5:34 p.m.

---

Councillor Fathers



---

Chloe Richards, Committee Clerk

UNAPPROVED



## **At Risk and Vulnerable Population Task Force**

### **Minutes**

July 15, 2021, 4:00 p.m.

Via Microsoft Teams

**PRESENT:** Mayor Walker, Co-Chairperson  
Councillor Patton, Co-Chairperson (City of Surrey)  
Councillor Guerra, Co-Vice-Chairperson (City of Surrey) (left at 5:00 p.m.)  
Councillor Manning, Co-Vice-Chairperson  
Cheryl Lightowlers, Peninsula United Church  
Bruce Strom, Options BC  
David Young, Sources BC  
Adrianna Spyker, Peninsula Homeless to Housing Task Force  
Tsitsi Watt, BC Housing

**GUEST:** Neil Arao, Options BC (entered at 4:10 p.m.)

**ABSENT:** Becky Dorothy, Fraser Health

**NON-VOTING ADVISORS:** Aileen Murphy, City of Surrey Social Planner  
Jonquil Hallgate, Friendship Blvd Foundation

**STAFF:** Eric Stepura, Director of Recreation and Culture  
Kale Pauls, Staff Sargent (RCMP)  
Chloe Richards, Committee Clerk

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#### **1. CALL TO ORDER**

The Chairperson called the meeting to order at 4:00 p.m.

## **2. ADOPTION OF AGENDA**

It was noted that the Task Force name change from "At-Risk and Vulnerable Population Task Force" to "At-Risk and Priority Population Task Force" will be reflected on all future meeting documents.

**Motion Number 2021-ARVPTF-006:** It was MOVED and SECONDED

THAT the At-Risk and Vulnerable Population Task Force adopt the agenda for July 15, 2021 as circulated.

**Motion CARRIED**

## **3. ADOPTION OF MINUTES**

**Motion Number 2021-ARVPTF-007:** It was MOVED and SECONDED

THAT the At-Risk and Vulnerable Population Task Force adopts the minutes of the June 30, 2021 meeting as circulated.

**Motion CARRIED**

## **4. WORK PLAN - FURTHER DISCUSSION**

Task Force members further discussed the Work Plan.

It was determined that the Work Plan would consist of the three (3) priority items:

1. Location of a shelter for this fall, in time for when extreme weather may be experienced;
2. Exploring grant funding options; and
3. Exploring the idea of a full-time shelter in the South Surrey and White Rock area.

N. Arao entered the meeting at 4:10 p.m.

An Emergency Weather Response shelter could operate in the area when required in the colder months this season.

It was noted that due to the COVID-19 Pandemic, extra cleaning and other required temporary procedures have affected how BC Housing funding has been distributed.

There is Federal funding and BC Housing's Rapid Response to Housing program, however, funding comes in cycles and may not always be available.

It is important to determine a location where there is no pushback from the neighbours and where there is access to transit. To have a successful operation, land opportunities would have to fit such criteria.

**5. SHELTER LOCATION DISCUSSION**

Item 5, *Shelter Location Discussion*, was discussed under Item 4, *Work Plan - Further Discussion*.

**6. OTHER BUSINESS**

No other business.

**7. INFORMATION**

**7.1 COMMITTEE ACTION TRACKING**

Corporate Administration provided an action-tracking document to the Task Force for information. This spreadsheet will be updated after each meeting and provided to members for information.

E. Stepura noted he would be able to provide further information and share the engagement summary of the City of White Rock's Housing Needs Report potentially at the next meeting. The Housing Needs Report is expected to be completed and provided to the Housing Advisory Committee and Council later this year.

**8. 2021 MEETING SCHEDULE**

The following meeting schedule was approved by the Committee and was provided for information purposes:

- Thursday, July 29, 2021
- Thursday, September 2, 2021
- Thursday, September 16, 2021
- Wednesday, September 29, 2021
- Wednesday, October 13, 2021

- Wednesday, October 27, 2021
- Wednesday, November 10, 2021
- Wednesday, November 24, 2021

All meeting times are scheduled to take place from 4:00 p.m. to 6:00 p.m.

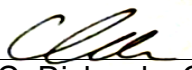
Councillor Guerra departed the meeting at 5:00 p.m.

9. **CONCLUSION OF THE JULY 15, 2021 AT RISK AND VULNERABLE  
POPULATION TASK FORCE MEETING**

The Chairperson declared the meeting concluded at 5:01 p.m.

---

Mayor Walker, Chairperson



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C. Richards, Committee Clerk

**THE CORPORATION OF THE  
CITY OF WHITE ROCK**



**DEVELOPMENT PERMIT NO. 400**

1. This Development Permit No. 400 is issued to **IOM Nautilus Views Ltd., Inc. No. BC1288361** as the owner and shall apply only to ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description:

Lot A Section 10 Township 1 New Westminster District Plan EPP63510  
PID: 031-395-805

Civic Address:

1454 Oxford Street

The property subject to this Development Permit No. 400, described legally above, is indicated on Schedule A ("the Lands").

2. This Development Permit No. 400 is issued pursuant to the authority of Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, the "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, and in conformity with the procedures prescribed by "City of White Rock Planning Procedures Bylaw, 2017, No. 2234" as amended.
3. The terms, conditions and guidelines as set out in "White Rock Official Community Plan Bylaw, 2017, No. 2220" as amended, that relate to the "Multi-family Development Permit Area" and the "Environmental (Ravine Lands and Significant Trees) Development Permit Area" shall apply to the Lands.

4. Permitted Uses of Land, Buildings and Structures

Land, buildings, and structures on the Lands shall only be used in accordance with the provisions of the "CD-46 Comprehensive Development Zone" as established in Schedule "B" to "City of White Rock Zoning Bylaw, 2012, No. 2000" as amended.

5. Terms and Conditions:

- a) All buildings, structures, and landscape features to be constructed, repaired, renovated, or sited on the Lands, in addition to pedestrian connections and a Public Access Pathway, shall be in substantial compliance with the architectural designs prepared by Chris Dikeakos Architects, dated June 9, 2021, attached hereto as Schedule B, in accordance with the provisions of Section 491 of the *Local Government Act*.



- b) All site landscaping on the Lands, including hard and soft landscape features, irrigation controls, site furnishing and other materials shall be in substantial compliance with the landscape designs prepared by ETA Landscape Architecture, dated September 14, 2015 (Issue No. “S”, dated June 8, 2021), attached hereto as Schedule C in accordance with the provisions of Section 491 of the *Local Government Act*.
  - a. The permittee must submit to the City a cost estimate and related securities for the above-described landscape works prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of landscaping works was \$1,053,147.38, being 150 percent of the cost of landscaping works.
  - b. The release of all or a portion of these securities can be requested no sooner than 12 months following the receipt of a letter from the landscape architect or other qualified person confirming that the landscaping works tied to the securities have been installed in accordance with the landscape designs included as Schedule C.
- c) Sediment and erosion controls within the Lands shall be implemented and maintained throughout construction in substantial compliance with the Erosion and Sediment Control Plan prepared by GeoPacific, dated March 12, 2021, attached hereto as Schedule D in accordance with the provisions of Section 491 of the *Local Government Act*.
  - a. The permittee must submit to the City a cost estimate and related securities for the above-described controls prior to the issuance of a building permit. At the time of preparing this Development Permit the estimated costs of these controls was \$173,250, being 150 percent of the cost of landscaping works.
  - b. The release of all or a portion of these securities can be requested following the receipt of final building permit approval.
- d) Rooftop mechanical equipment shall be screened from view to the acceptance of the Director of Planning and Development Services;
- e) The hydro kiosk is to be located on site to the acceptance of the Director of Planning and Development Services;
- f) The owner is advised that in 2012 nine vacant Great Blue Heron (‘heron’) nests were observed within the wooded area immediately east of the Lands. These nests are protected under Section 34 of the BC *Wildlife Act*. Any activities that have the potential to disturb active heron nesting sites, shall be evaluated alongside the implementation of mitigative controls as recommended by a Qualified Environmental Professional (QEP).
- g) The applicant shall provide an updated Arborist Report and obtain a Tree Management Permit from the City as required by the “White Rock Tree Management Bylaw, 2008, No. 1831,” as amended.
- h) The applicant will be required to provide a detailed geotechnical assessment, prepared by a Registered Geotechnical Engineer, in support of a building permit application tied to the architectural designs included as Schedule B to this permit. Note that the City may require the registration of a covenant, pursuant to Section 219 of the Land Titles Act, as a means of implementing the recommendations of the assessment.

6. In the interpretation of the Development Permit all definitions of words and phrases contained in Sections 490 and 491 of the *Local Government Act, R.S.B.C. 2015, Chapter 1* as amended, and the “White Rock Official Community Plan Bylaw, 2017, No. 2220”, as amended, shall apply to this Development Permit and attachments.
7. Where the holder of this Permit does not obtain the required building permits and commence construction of the development as outlined in this Development Permit within two years after the date this Permit was authorized by Council, the Permit shall lapse, unless the Council, prior to the date the Permit is scheduled to lapse, has authorized further time extension of the Permit.
8. This permit does not constitute a subdivision approval, a tree management permit, a demolition permit, or a building permit.

Authorizing Resolution passed by the Council for the City of White Rock on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

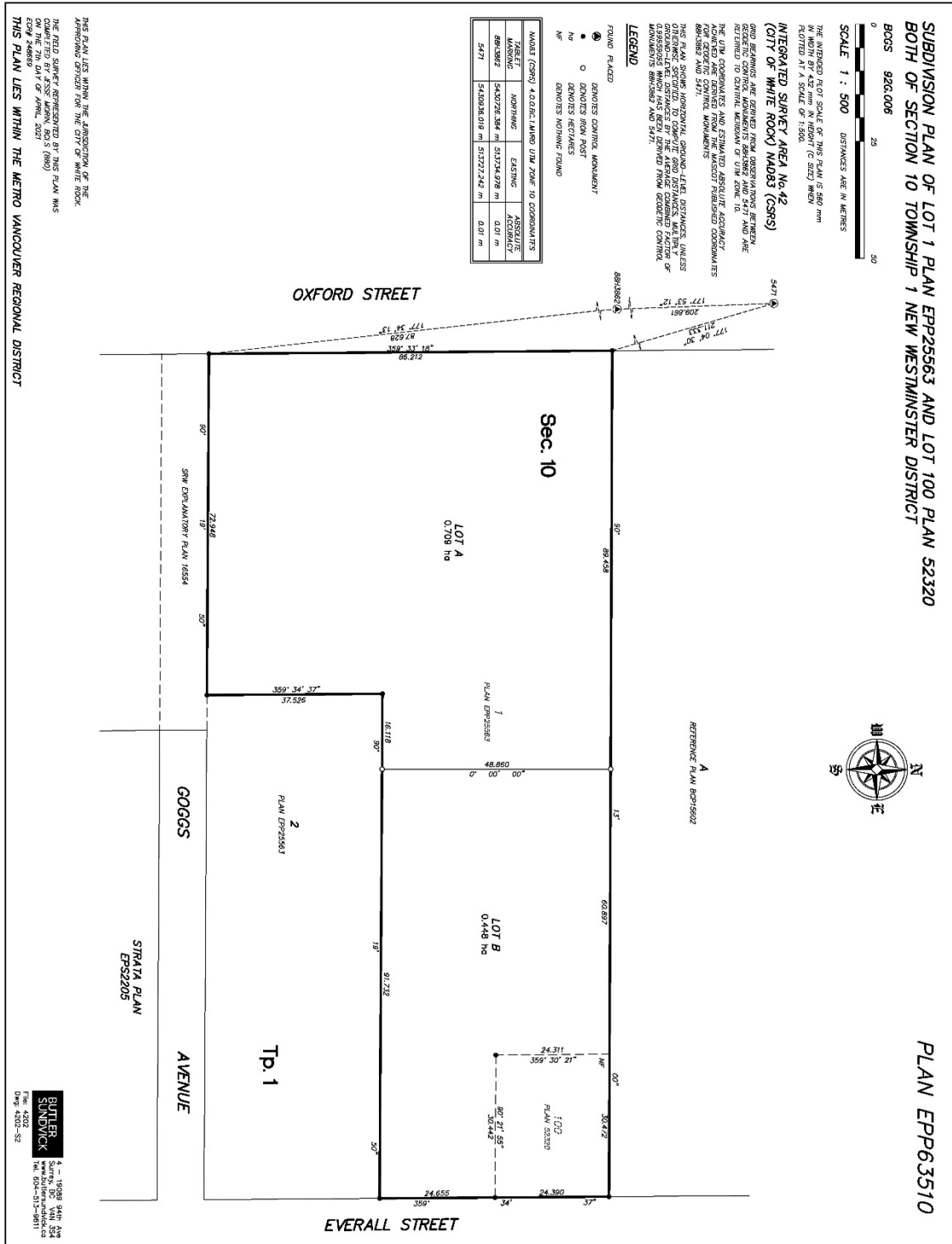
This development permit has been executed at White Rock, British Columbia on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

The Corporate Seal of THE CORPORATION  
OF THE CITY OF WHITE ROCK was hereunto  
affixed in the presence of:

\_\_\_\_\_  
Mayor - Authorized Signatory

\_\_\_\_\_  
Director of Corporate Administration - Authorized Signatory

Filed NW EPP63510 EPP63510 161-799-5561 RCVD:2021-05-10 RQST:2021-05-21 03:06 White Rock, The Corporation of the City of



**Schedule B – Architectural Designs**

**[attached separately]**

**Schedule C – Landscape Plans**

**[attached separately]**

**Schedule D – Erosion and Sediment Control (ESC) Plans**

**[attached separately]**





1 ARCHITECTURAL PAINTED CONCRETE  
BENJAMIN MOORE - CREAM YELLOW 2155-60



2 GLUE-LAMINATED WOOD



4 GLASS WINDOW WALL  
SPANDREL GLASS - #3-1373 BLACKTHORN  
OPACI-COAT ON 6MM PILKINGTON CLEAR



6 GREY STONE VENEER



5 PAINTED MULLION  
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER

**MATERIAL LEGEND:**

1 ARCHITECTURAL PAINTED CONCRETE  
BENJAMIN MOORE - CREAM YELLOW 2155-60

2 GLUE-LAMINATED WOOD

3 GLASS WINDOW WALL  
CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE

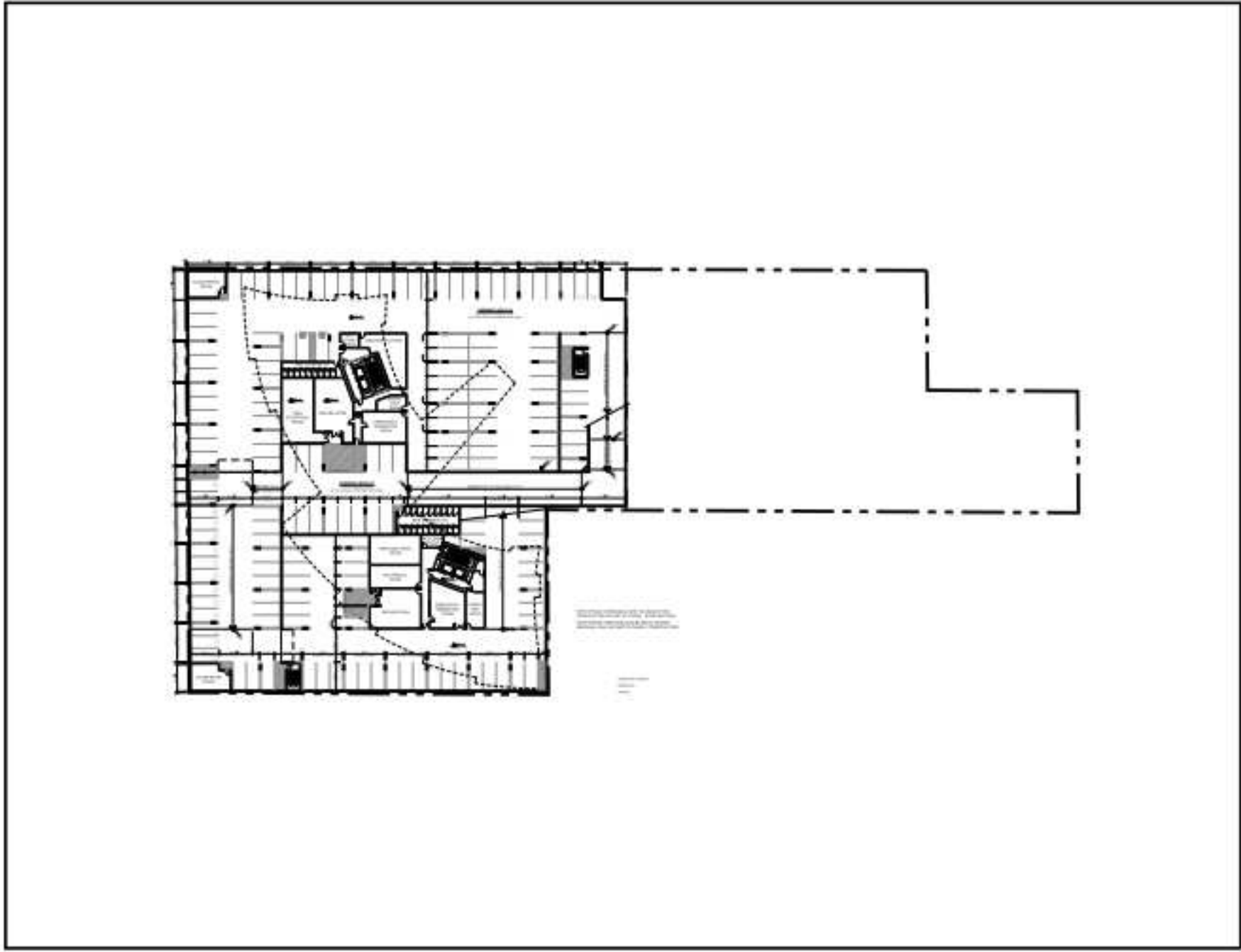
4 GLASS WINDOW WALL  
SPANDREL GLASS - #3-1373 BLACKTHORN  
OPACI-COAT ON 6MM PILKINGTON CLEAR

5 PAINTED MULLION  
AKZO NOBEL INTERPON POWDER COATING - STANDARD SILVER

6 GREY STONE VENEER

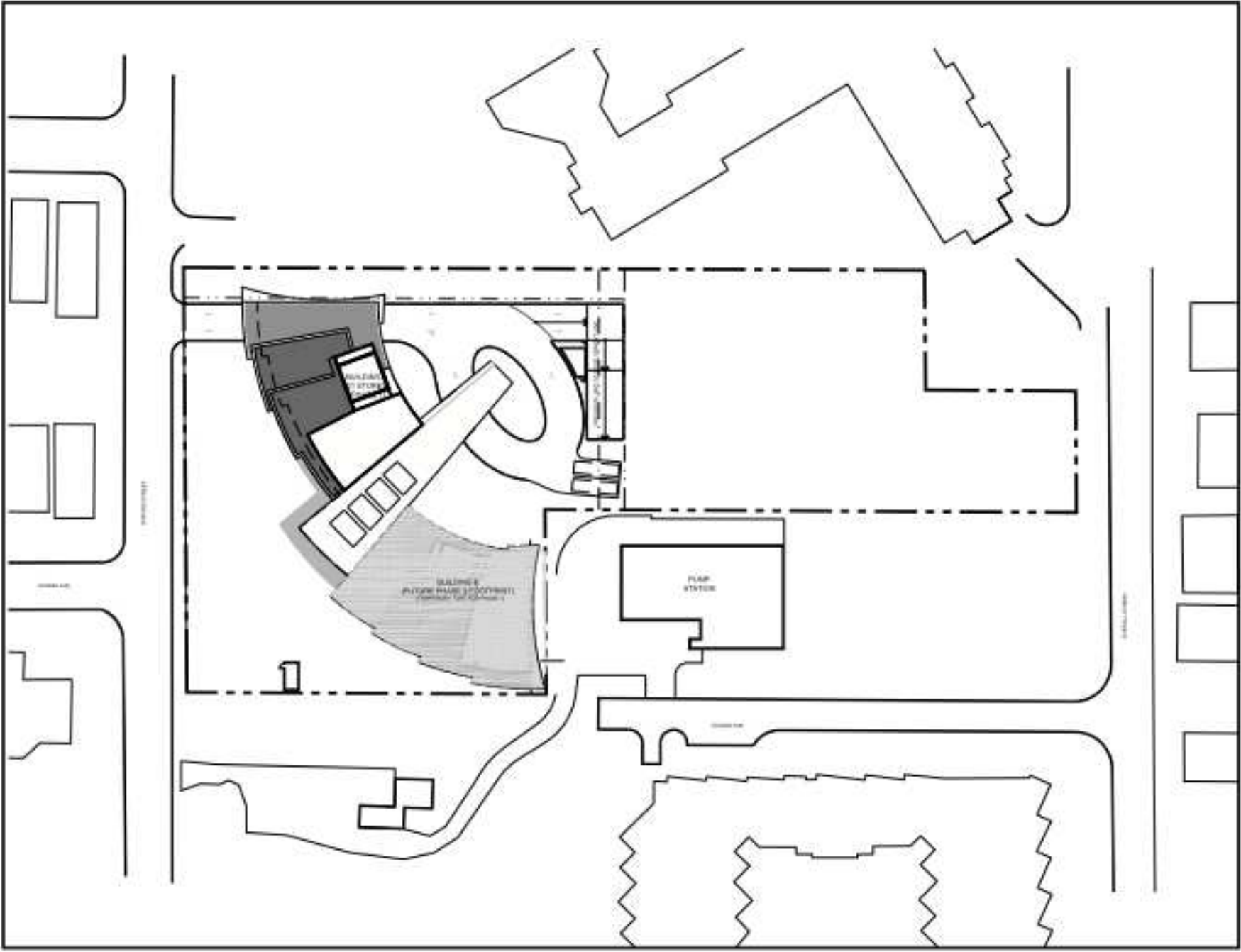


PHASE 1



PHASE 1: BELOW GRADE

DURING THE CONSTRUCTION OF PHASE 1 THE ENTIRE BELOW GRADE PARKING STRUCTURE WILL BE BUILT UP TO GRADE. THIS INCLUDES CORE AND STRUCTURE FOR BOTH BUILDINGS. THE BELOW-GRADE PORTION OF BUILDING B WILL ALSO BE BUILT UP TO GRADE AND WILL BE COVERED AND TEMPORARILY TURFED UNTIL THE CONSTRUCTION OF PHASE 2 COMMENCES.



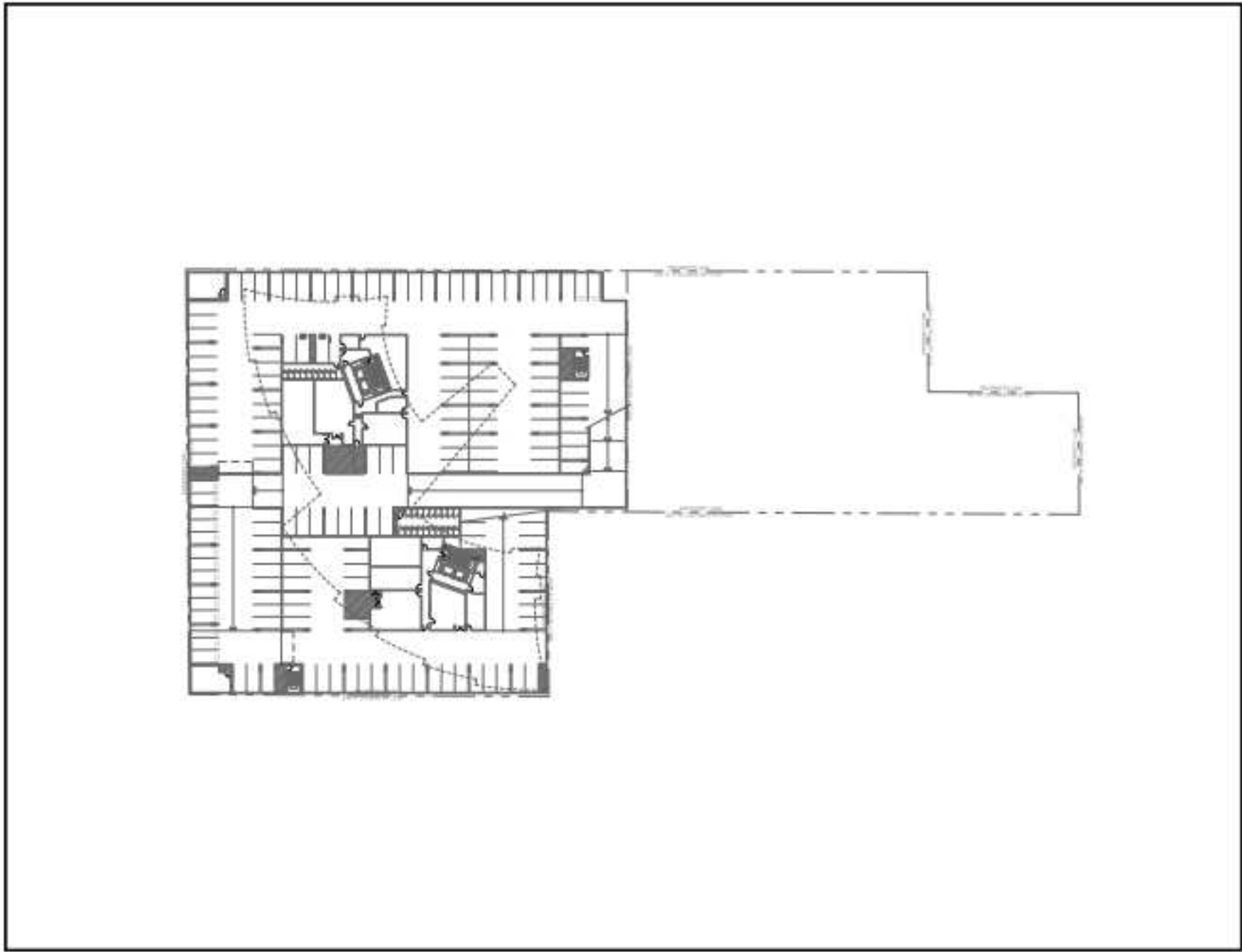
PHASE 1: ABOVE GRADE

THE ENTIRE BUILDING A WILL BE BUILT DURING PHASE ONE INCLUDING THE SURROUNDING LANDSCAPING, ROAD & PARKADE ENTRY. THE BUILDING FOOTPRINT OF BUILDING B WILL BE TEMPORARILY TURFED UNTIL THE COMMENCEMENT OF THE CONSTRUCTION OF PHASE 2.



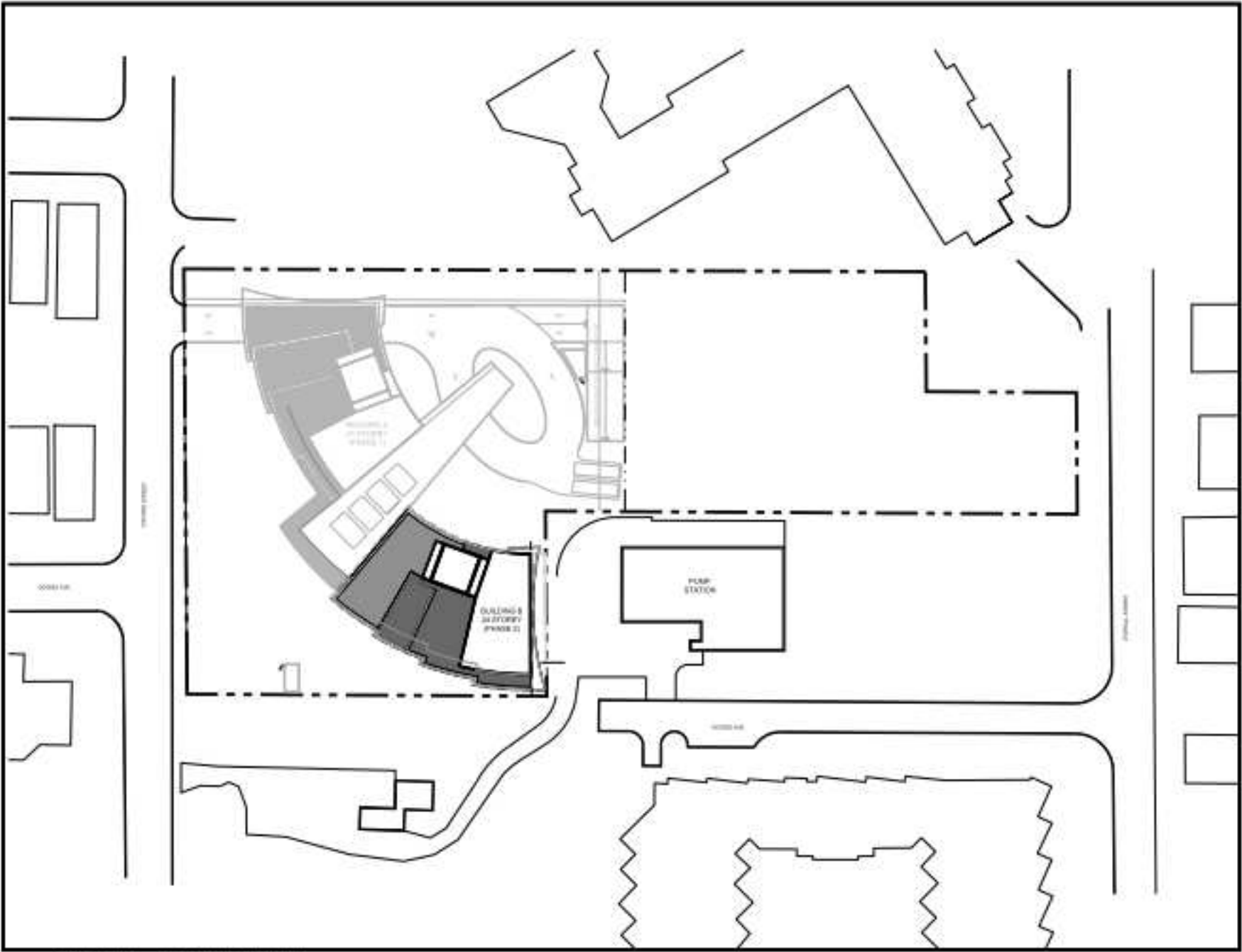
FUTURE PHASE 2 - BUILDING B

PHASE 2



PHASE 2: BELOW GRADE

THERE WILL BE NO PORTION OF BELOW GRADE ASSOCIATED WITH PHASE 2. ALL BELOW-GRADE CONSTRUCTION WILL OCCUR WITH PHASE 1



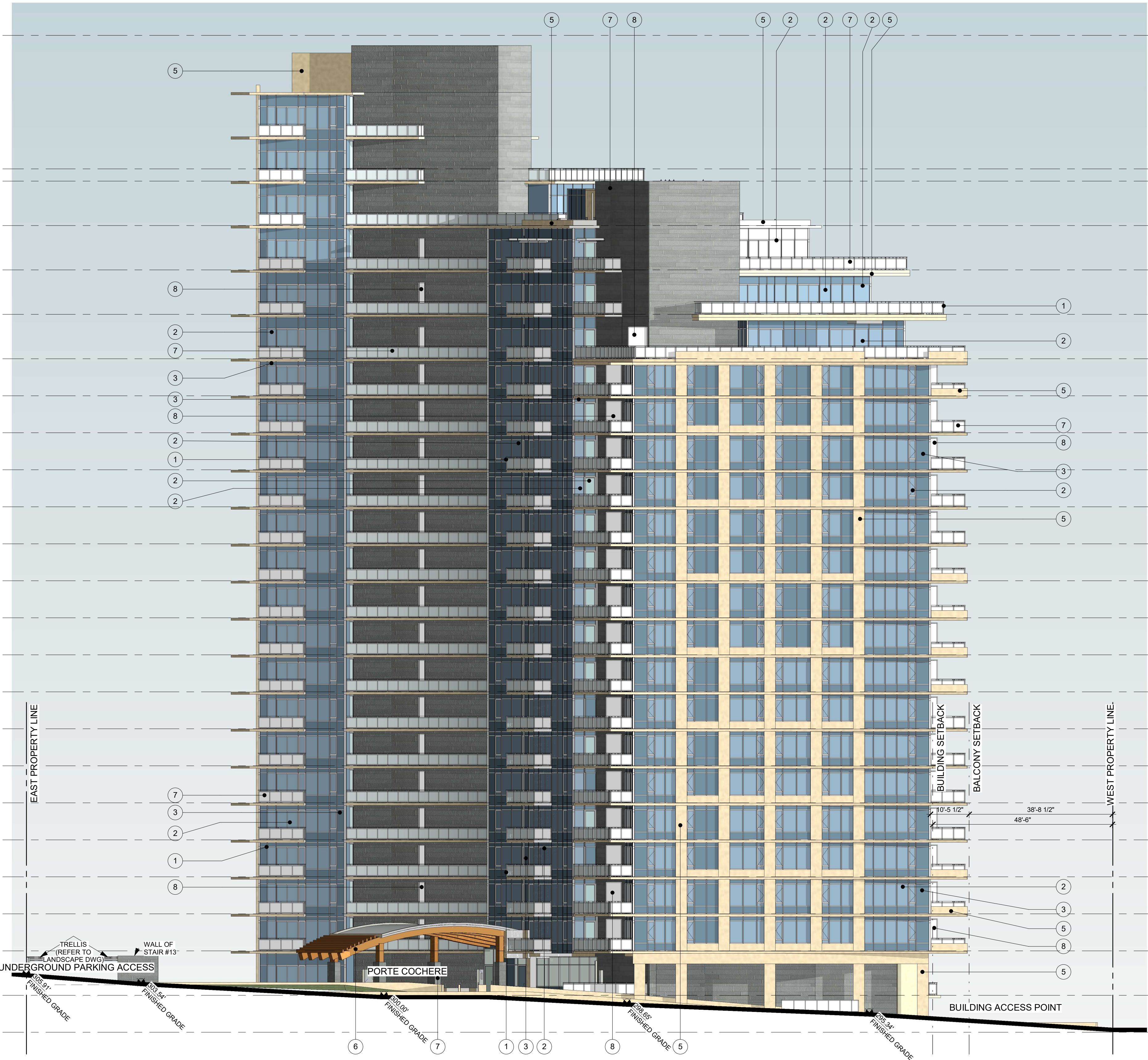
PHASE 2: ABOVE GRADE

THE CONSTRUCTION OF PHASE 2 WILL ONLY INVOLVE THE CONSTRUCTION OF BUILDING B STARTING FROM GROUND LEVEL. THE TURF THAT WAS IN THIS LOCATION WILL BE REMOVED.

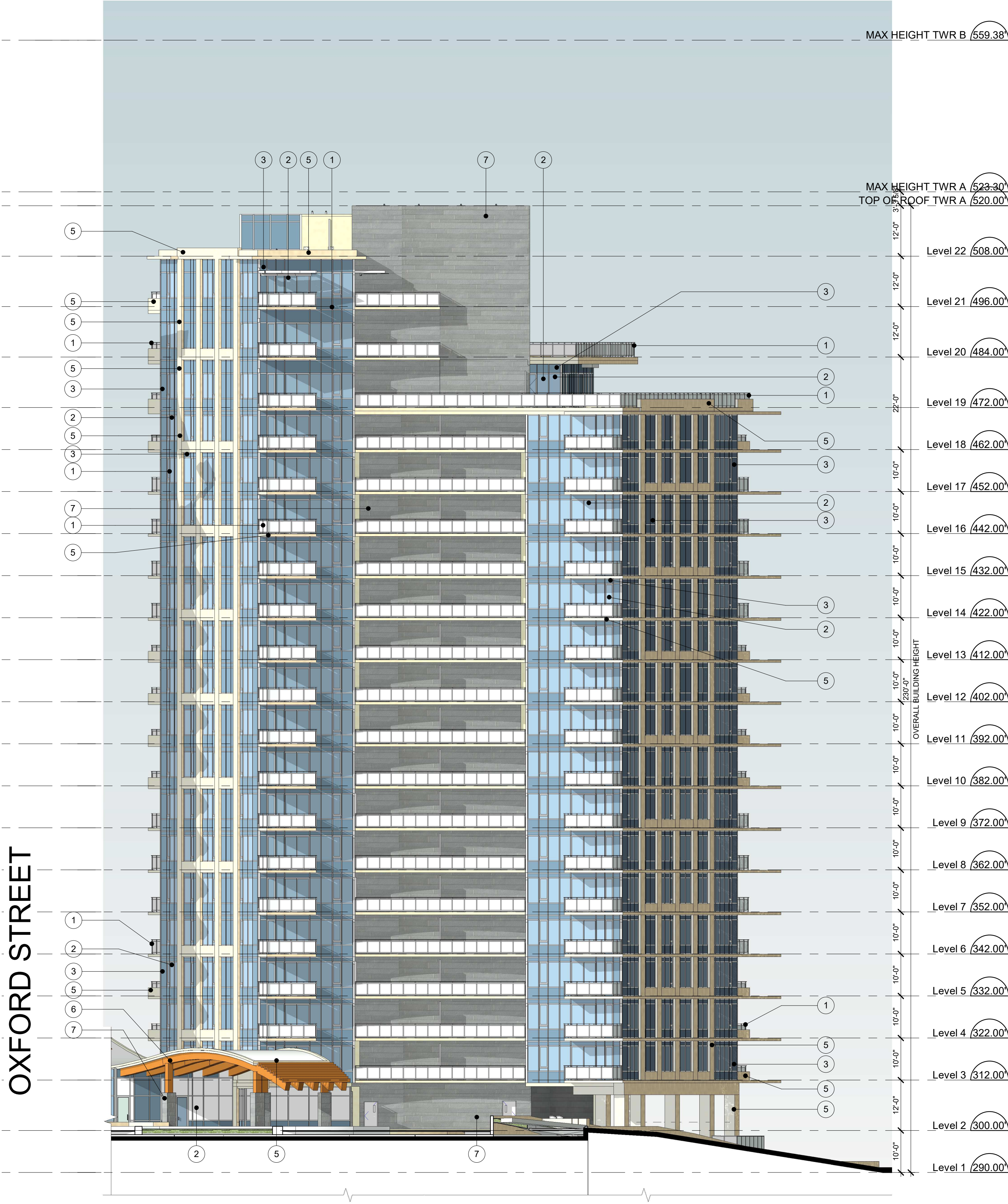




MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



1 TOWER A NORTH ELEVATION (DP)  
1/16" = 1'-0"



2 TOWER A NORTH EAST ELEVATION (DP)  
1/16" = 1'-0"



MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



1 TOWER A SOUTH EAST ELEVATION  
1/16" = 1'-0"



2 TOWER A SOUTH WEST ELEVATION  
1/16" = 1'-0"



MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



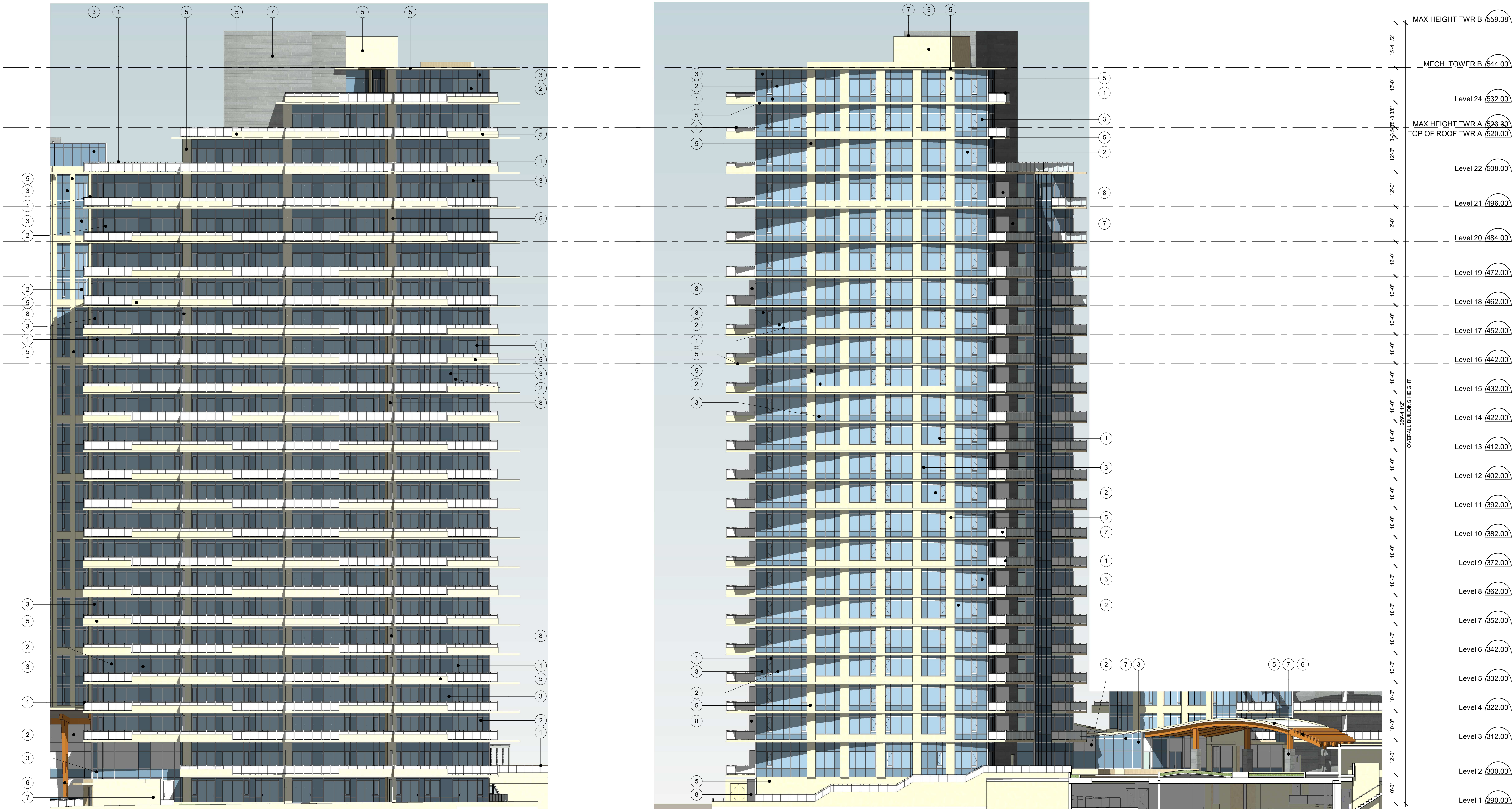
1 Tower B NE Elevation (DP)  
1/16" = 1'-0"



2 Tower B NW Elevation (DP)  
1/16" = 1'-0"



MATERIAL LEGEND			
1	ALUMINUM WINDOW WALL FRAME, GUARDRAIL: AZKO NOBEL INTERPON POWDER COATING- STANDARD SILVER	5	ARCH. PAINTED CONCRETE: BENJAMINE MOORE - CREAM YELLOW 2155-60
2	TOWER VISION GLASS - TINTED SEALED UNIT: CLEAR VISION GLASS - SOLARBAN 60 (2) STARPHIRE	6	GLUE-LAMINATED WOOD
3	SPANDREL GLASS - OPACI-COAT 300 #3-1373 BLACKTHORN OPACI-COAT ON 6MM PILKINGTON CLEAR	7	GREY STONE VENEER
4	METAL PANEL: BENJAMINE MOORE - CREAM YELLOW 2155-60	8	PRIVACY SCREEN



1 Tower B SW Elevation (DP)  
1/16" = 1'-0"

2 Tower B E Elevation (DP)  
A502 1/16" = 1'-0"

















1 Landscape Plan  
Scale: 3/32" = 1'-0"

Revision		
No.	Date	Revision Notes

Issue		
No.	Date	Issue Notes
R	2021-06-08	Re-Issued for DP
S	2021-06-09	Re-Issued for DP

Professional Seal

**eta** landscape architecture

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Vancouver, BC, Canada V6J 1H3  
t | 604.683.1456  
f | 604.683.1459  
w | www.etalala.com

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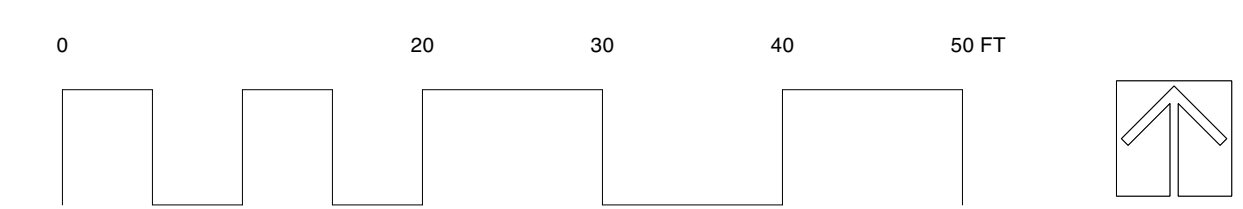
Project  
**OXFORD STREET  
RESIDENTIAL**  
1500 OXFORD STREET  
White Rock, BC

Drawing Title  
**Landscape Plan**

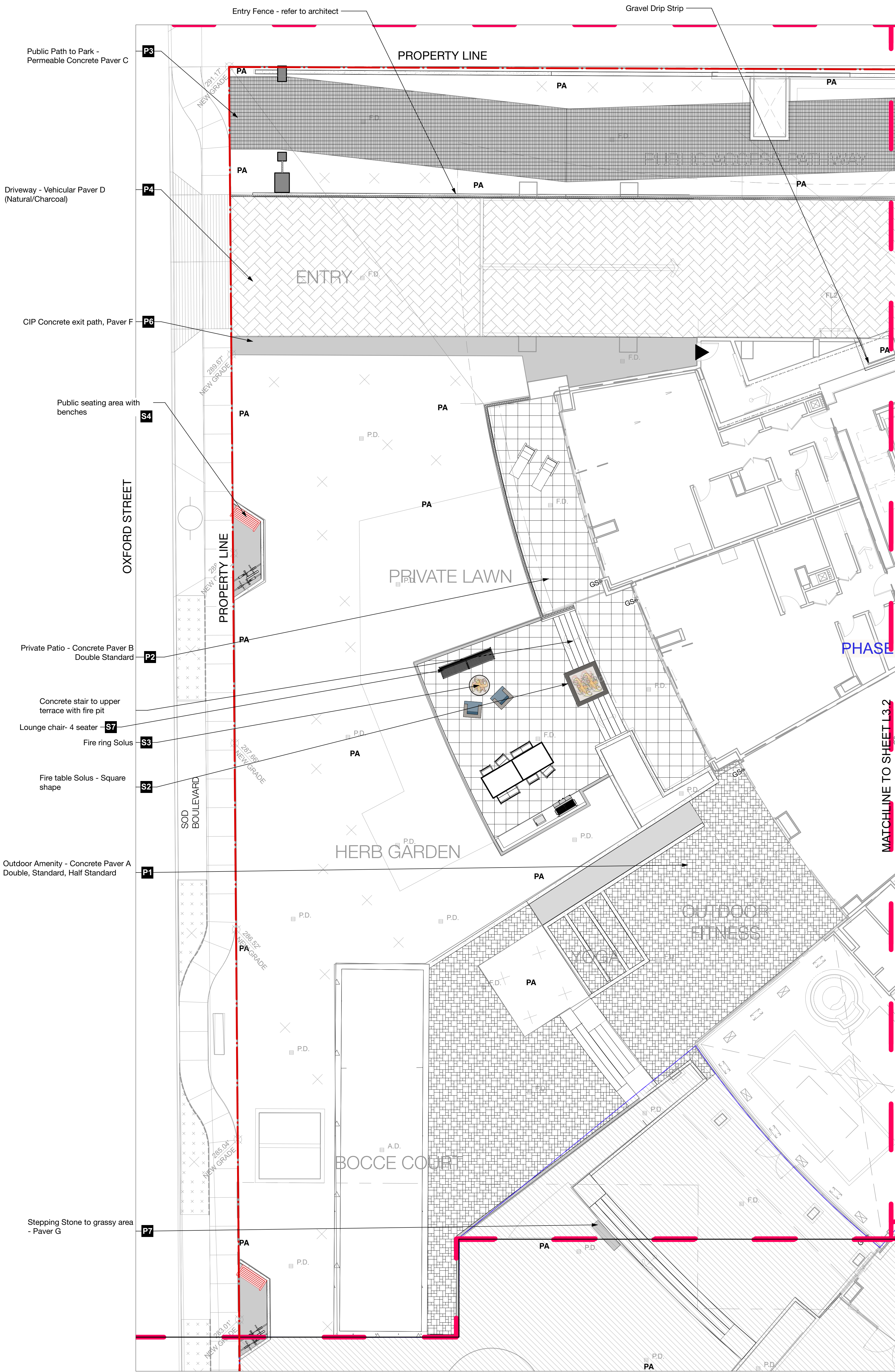
Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L0.2</b> of 36

Plot Date:  
21 6-9  
21752 Oxford St Residential\_BP-view

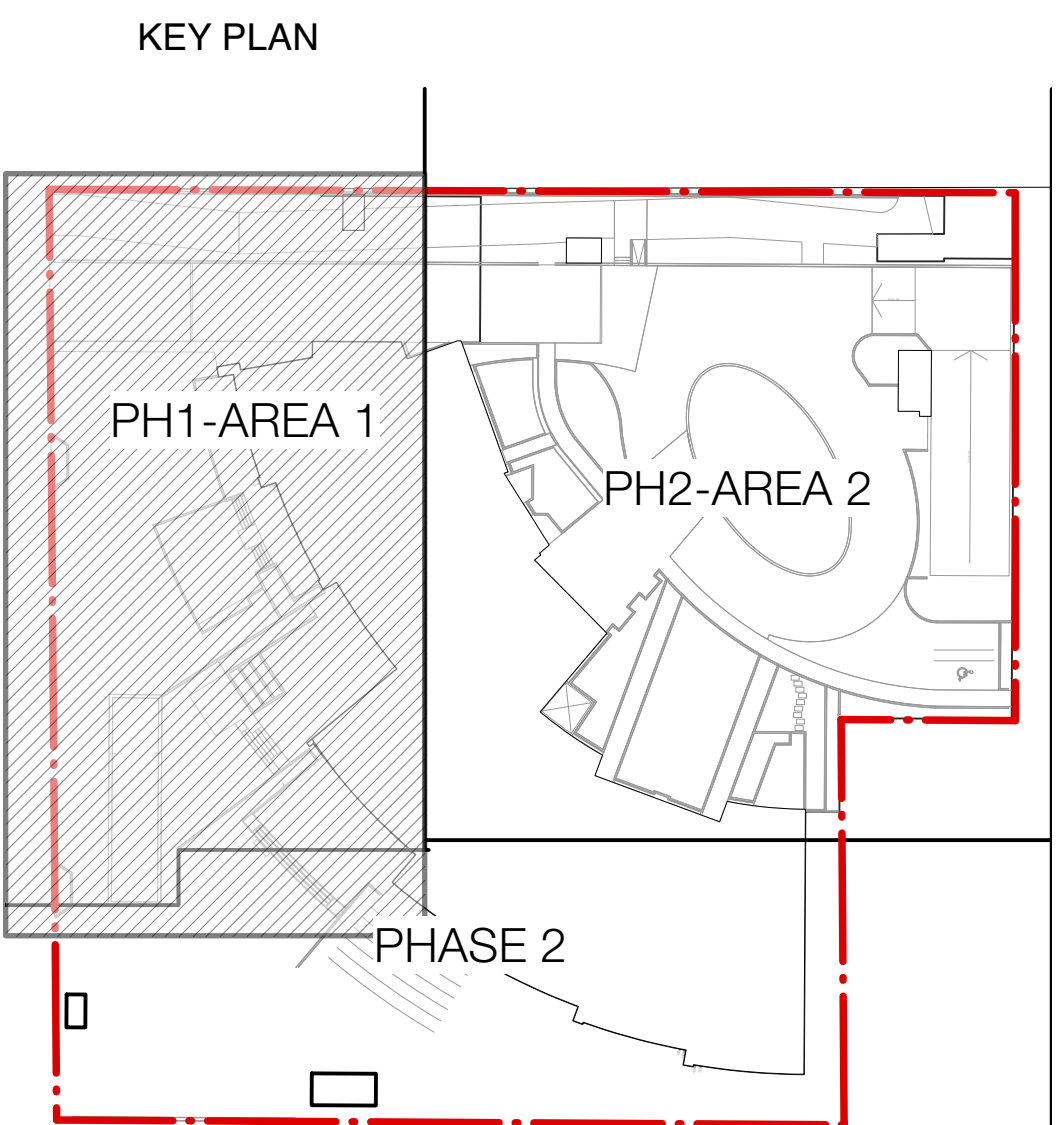
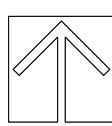






1 Area 1: Hardscape Materials Plan  
Scale: 1/8" = 1'-0"

0 20 30 40 50 FT



#### LEGEND:

- P1** Concrete Paver A, Model: Pacific Slate, Manufacturer: Abbotsford Concrete, Size: Standard, Double & Half Standard, Color: Granite Blend
- P2** Concrete Paver B, Model: Pacific Slate, Manufacturer: Abbotsford Concrete, Size: Double Standard, Color: Granite Blend
- P3** Concrete Paver C, Model: AquaPave Old Country Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Color: Tan Brown Blend
- P4** Concrete Paver D, Model: V/S Exposed, Manufacturer: Belgard, Size: 6"x12", Color: Natural/Charcoal
- P5** Concrete Paver E, Model: Decomposed Granite, Manufacturer: Custom, Size: 6"x12", Color: Charcoal
- P6** Concrete sidePath Paver F, Color: Grey concrete
- P7** Stepping Stone Paver G, Model: Texas, Manufacturer: Abbotsford Concrete, Size: 12"x24", Color: Charcoal
- 6" Concrete Retaining Curb
- Raised CIP Concrete Planter Wall
- Drip Strip with Timber Edger
- Metal Fence - refer to architect
- Timber edger for Bocce Court
- CIP Stairs
- S1** Firetable Solus, Rectangle shape
- S2** Firetable Solus, Square shape
- S3** FireRing Solus
- S4** Bench - Public Realm Maglin MLB970-W Silvertop
- S5** Bench Maglin MLB1050-W Matte Finish - Core-Ten Powder Coat/pe
- S6** Chaise Lounge Equipment EP 1974 Ipe/Colour co-ord with ID
- S7** Lounge Sofa Hausen Loft Sofa CHS6203 WT Colour Co-ord with ID
- S8** Club chair Hausen Loft Sofa CHS6201 WT Colour co-ord with ID
- S9** Outdoor Coffee table Equipment EP 1051 Ipe/Colour co-ord with ID
- S10** Outdoor Umbrella
- S11** 2 No. Dining Table + 2 No. 2 seater chair + 4 No. 1 seater chair
- S12** Bistro table & Chairs Maglin Kontour RIAL 2009
- S13** Public drinking Fountain w/Dog Bowl HAWS
- S14** Bike Rack Equipment EP 5990 Embedded Concrete pad below pavers
- S15** Amenity area with BBQ
- Tree trunk
- PA Planted area
- Limit of Work

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2018-06-11	Issue for DP
L	2020.03.02	Re-Issue for DP
N	2021-03-10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-Issued for DP

Professional Seal

**eta** landscape architecture

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Vancouver, BC, Canada V6J 1H3

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f | 604.683.1459  
w | www.etalala.com

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Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

### Materials - AREA 1

Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.

Date  
2015-09-14

**L3.1**

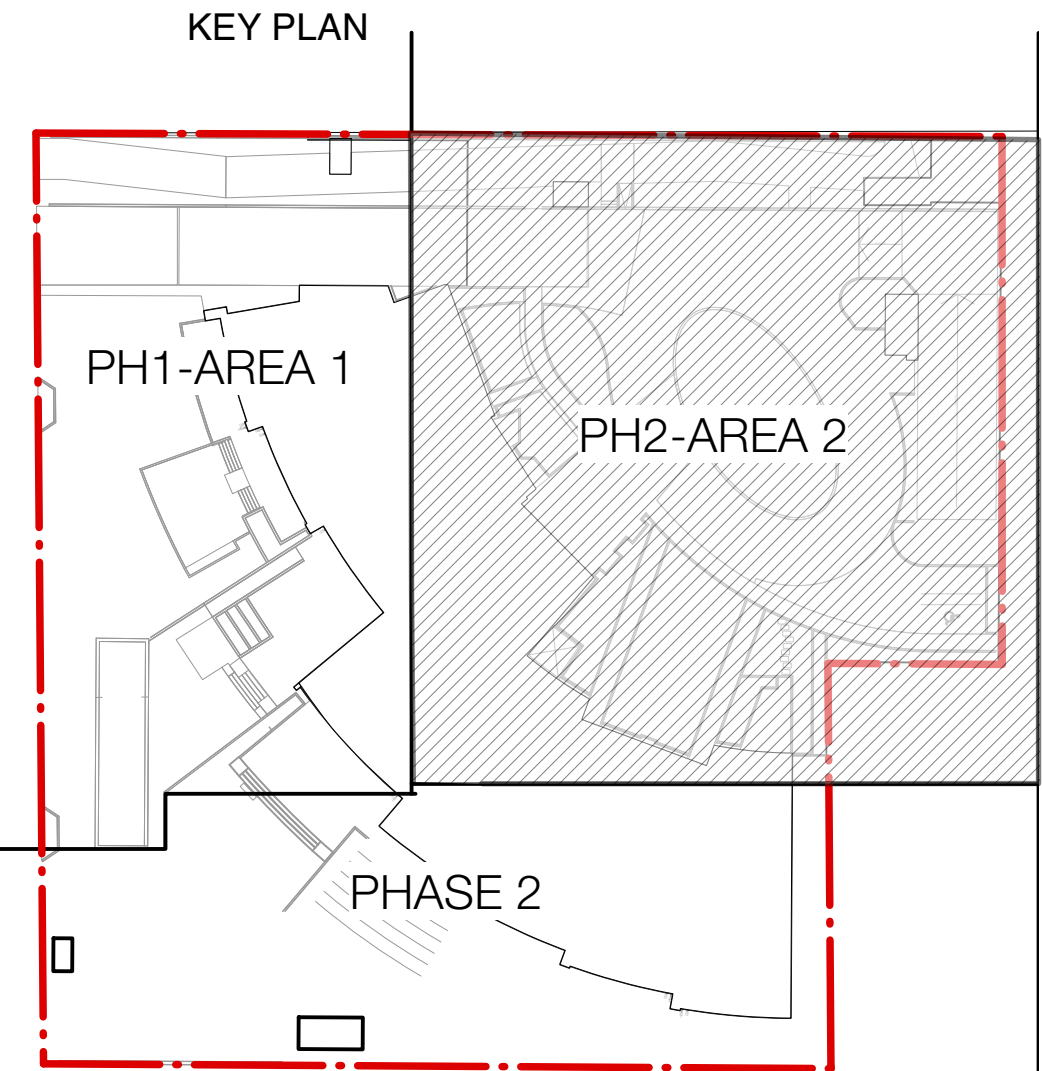
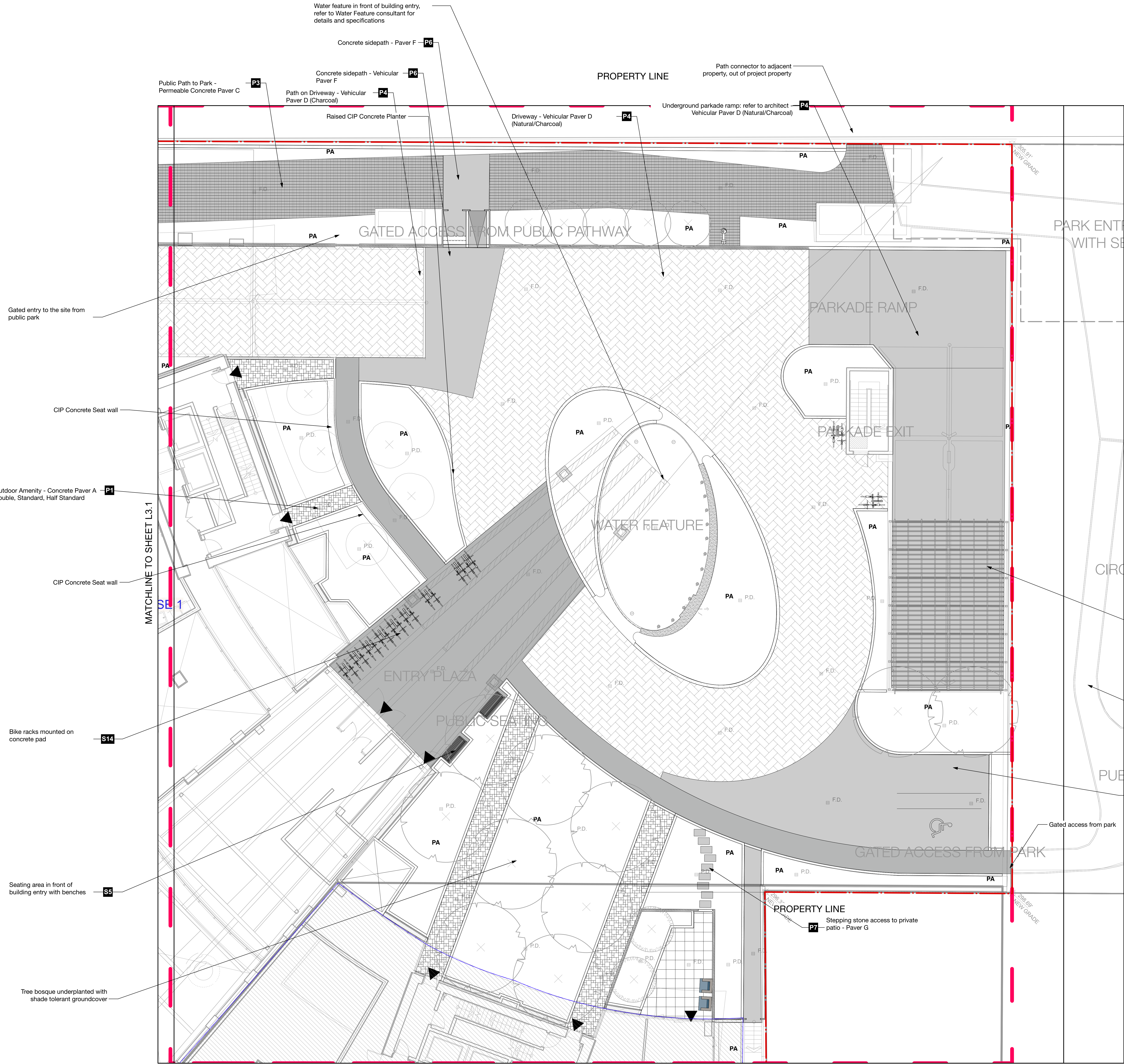
of

36

Plot Date:

216-9  
21752 Oxford St Residential\_BP.mxd





LEGEND:

	Concrete Paver A, Model: Pacific Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Double & Half Standard, Color: Granite Blend
	Concrete Paver B, Model: Pacific Stone, Manufacturer: Abbotsford Concrete, Size: Double Standard, Color: Granite Blend
	Concrete Paver C, Model: Aquafire Old Country Stone, Manufacturer: Abbotsford Concrete, Size: Standard, Color: Tan Brown Blend
	Concrete Paver D, Model: VS-6 Exconcrete, Manufacturer: Belgard, Size: 8"x12", Color: Natural/Charcoal
	Concrete Paver E, Model: Troxid, Manufacturer: Custom, Size: 6"x12", Color: Charcoal
	Concrete sidePath Paver F, Color: Grey concrete
	Stepping Stone Paver G, Model: Troxid, Manufacturer: Abbotsford Concrete, Size: 12"x24", Color: Charcoal

	6' Concrete Retaining Curb
	Raised CIP Concrete Planter Wall
	Drip Strip with Timber Edger
	Metal Fence - refer to architect
	Timber edger for Bocce Court
	CIP Stairs

	Firetable Solus, Rectangle shape
	Firetable Solus, Square shape
	FireRing Solus
	Bench - Public Realm Magin ML570-W Silverline
	Bench - Magin ML1050-W Matte Finish - Core-Ten Powder Coatlign
	Chaise Lounge Equiparc EP 1874 Ipe Colour co-ord with ID
	Lounge Sofa Hauser Loft Sofa CHS553 WT Colour co-ord with ID
	Club chair Hauser Loft CHS553 WT Colour co-ord with ID
	Outdoor Coffee table Equiparc EP 1051 Ipe Colour co-ord with ID
	Outdoor Umbrella
	2 No. Dining Table + 2 No. 2 seater chair + 4 No. 1 seater chair
	Bistro table & Chairs Magin Kontour RAL 2009
	Public drinking Fountain w/Dog Bowl
	Bike Rack Equiparc EP 5990 Embedded Concrete pad below pavers
	Amenity area with BBQ

	Tree trunk
	Planted area
	Limit of Work

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
F	2015-11-17	Re-issue for OCP Amendment & CD RZ
H	2/20/14	Issued for public information
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J	7/21/15	Issued for Advisory Design Panel
K	2016-06-11	Issue for DP
L	2020.03.02	Re-issue for DP
N	2021.03.10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-Issued for DP

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Project

**OXFORD STREET RESIDENTIAL**

1500 OXFORD STREET  
White Rock, BC

Drawing Title

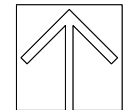
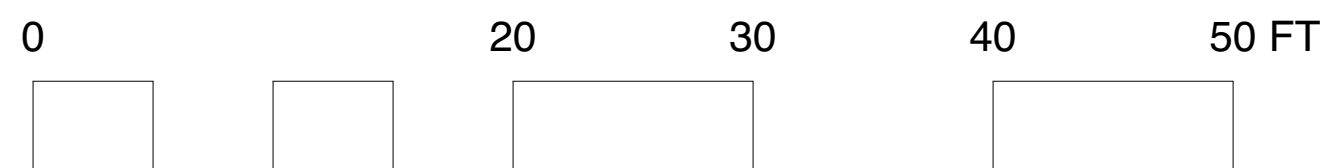
**Materials - AREA 2**

Legal

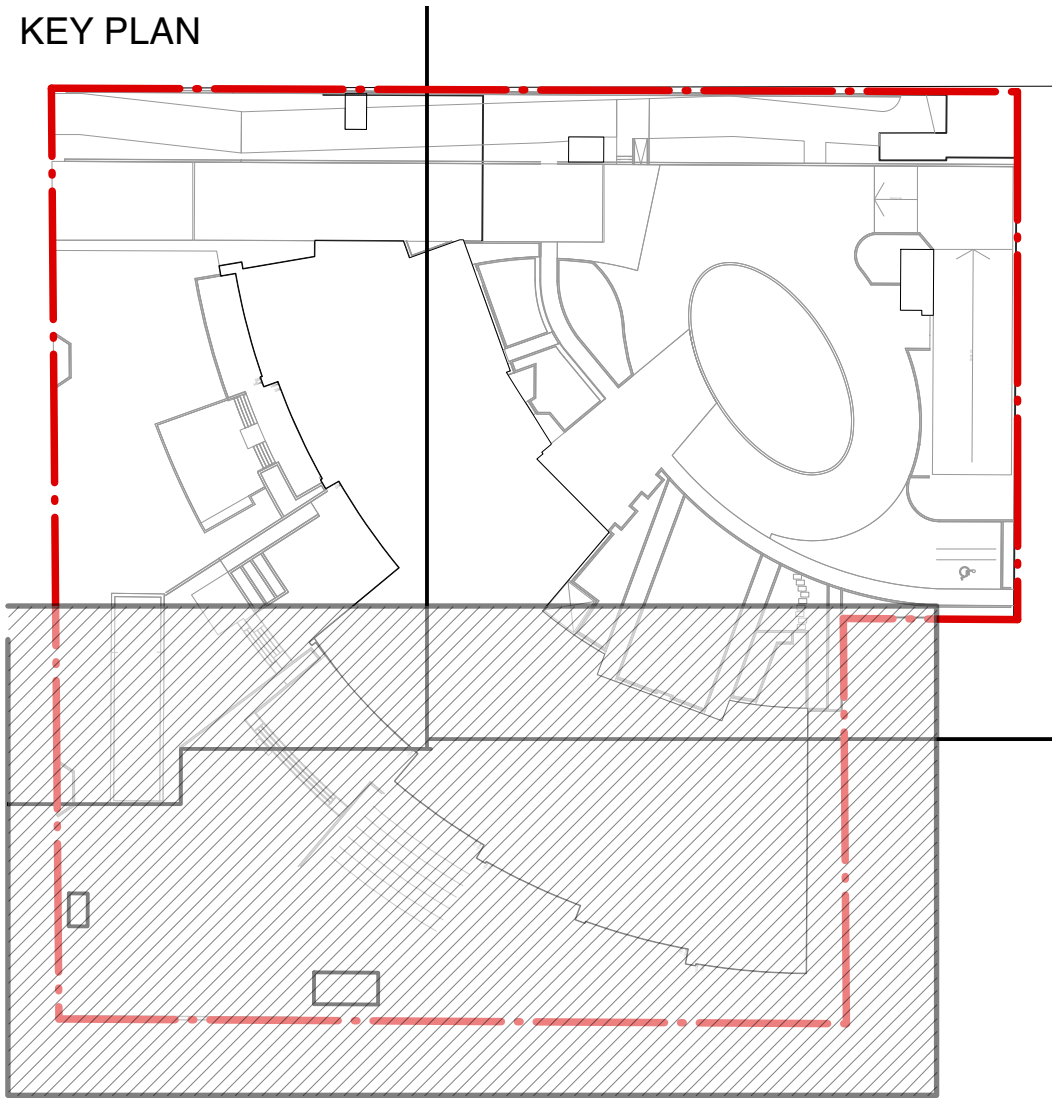
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No. <b>L3.2</b>
Date 2015-09-14	of 36

Plot Date:  
21 6-9  
21752 Oxford St Residential\_BPview







Revision  
No. Date Revision Notes

Issue No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
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L	2020-03-02	Re-issue for DP
T	2021-06-15	Phase 2- Issued for DP

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Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

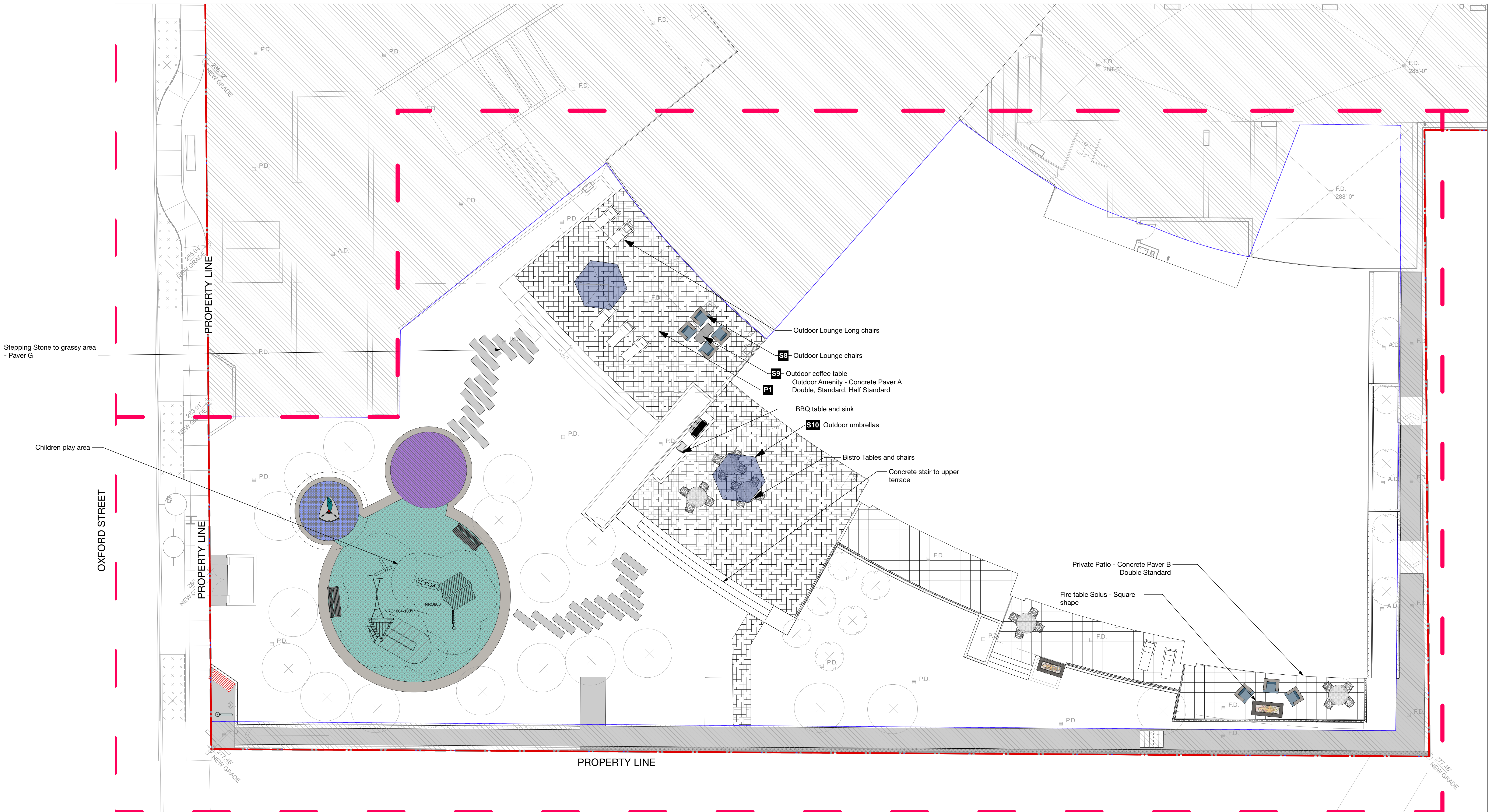
### Materials

Legal

Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

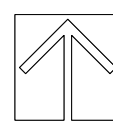
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Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No. <b>PH 2 - L3.1</b>
Date 2015-09-14	18

Plot Date:  
21-6-15  
21752 Oxford St Residential\_BP.mxd

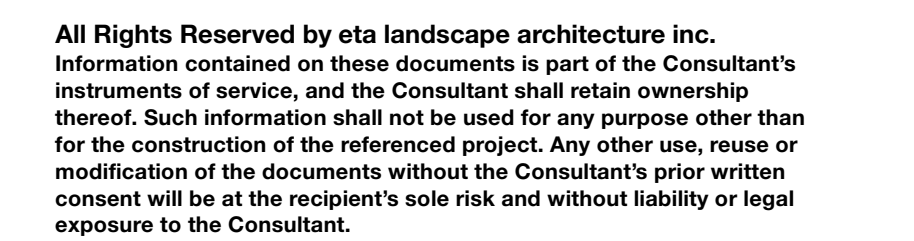


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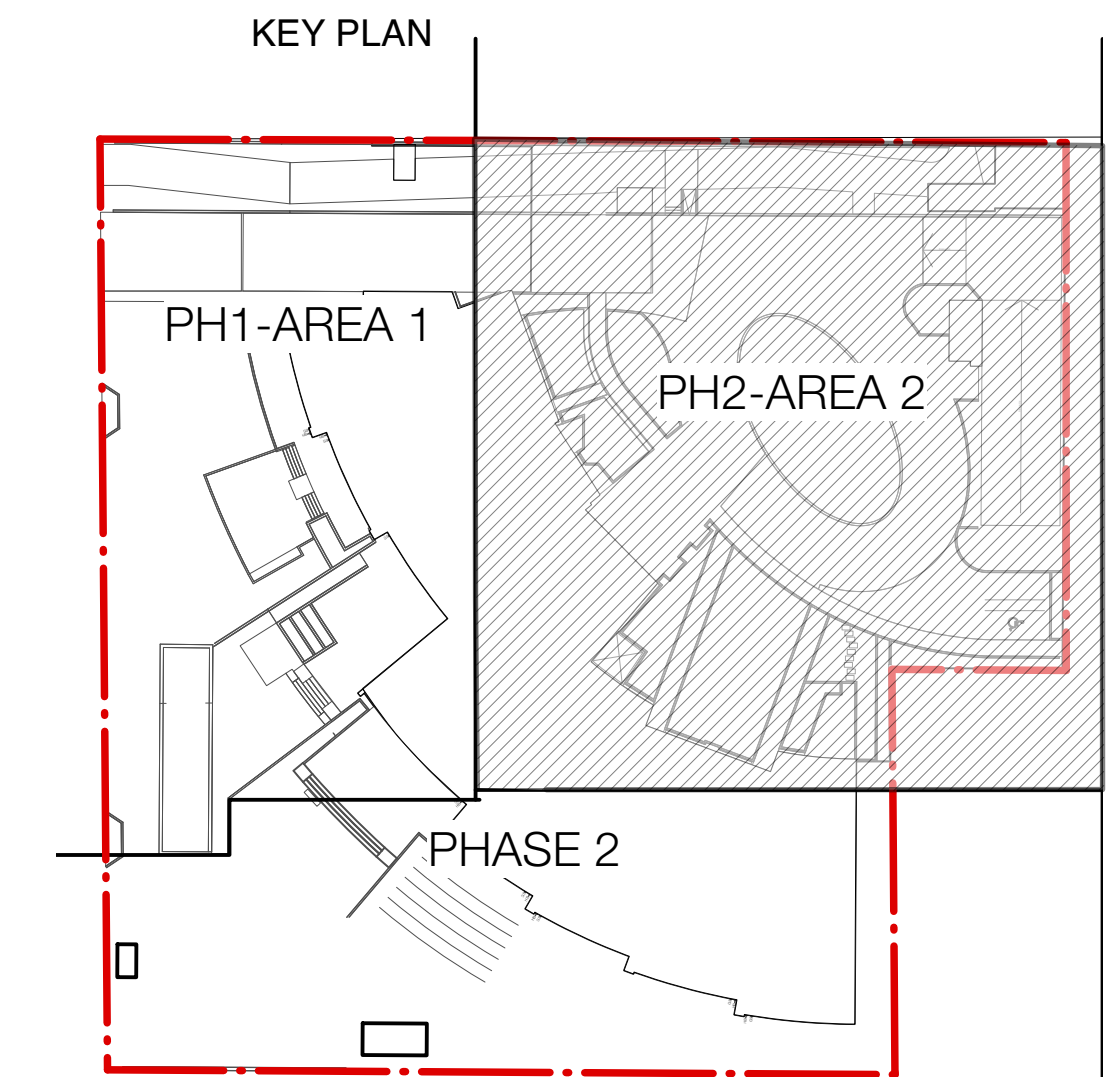
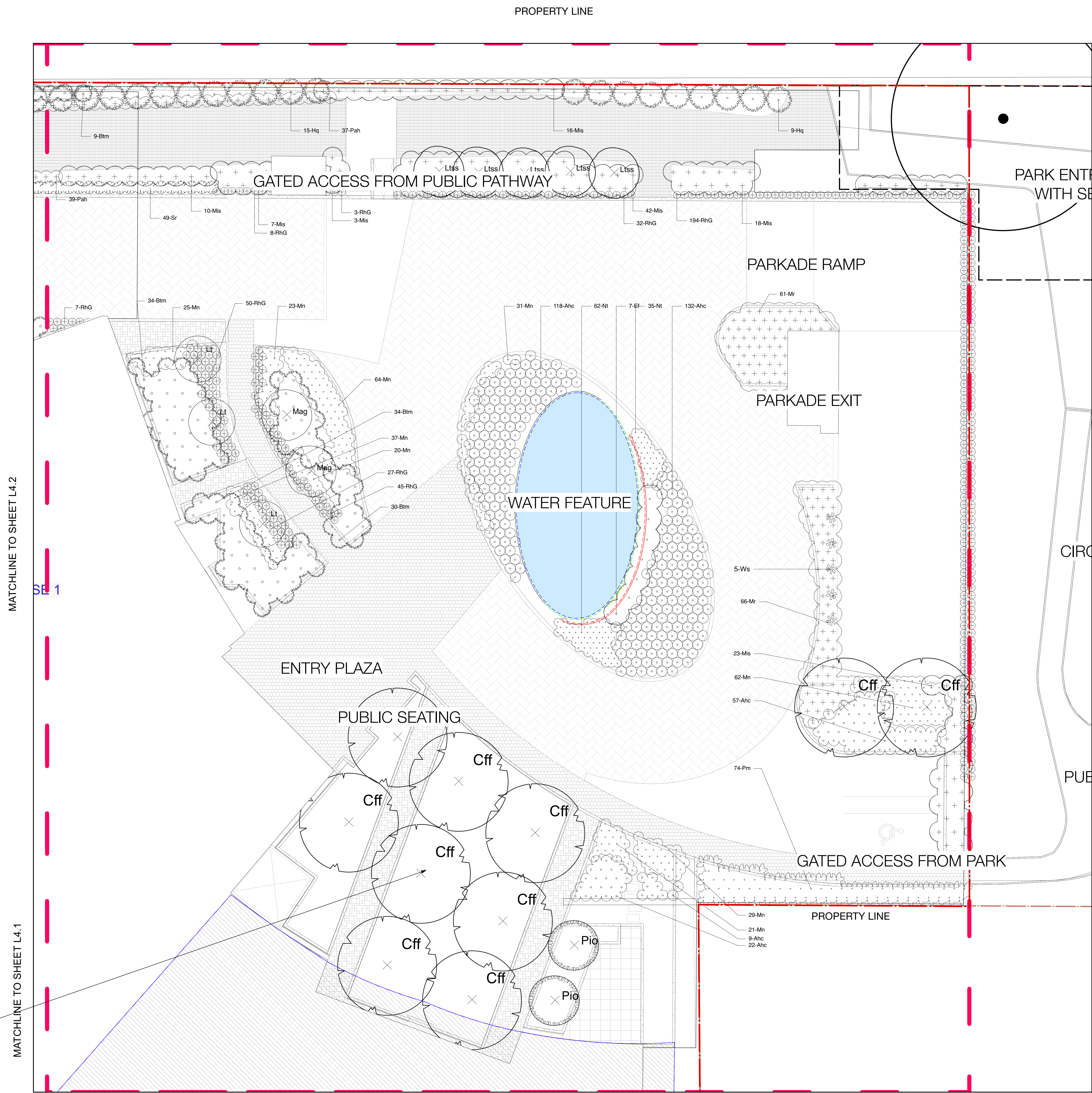
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Revision		
No.	Date	Revision Notes

Issue No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
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O	2021-05-07	Issued for Pricing
S	2021-06-09	Re-issued for DP

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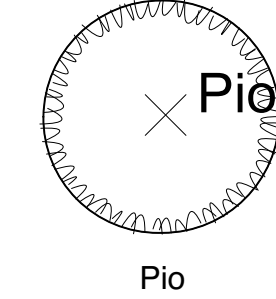
Project  
**OXFORD STREET  
RESIDENTIAL**  
1500 OXFORD STREET  
White Rock, BC

Drawing Title

**Planting Plan AREA 2**

LEGEND:

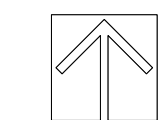
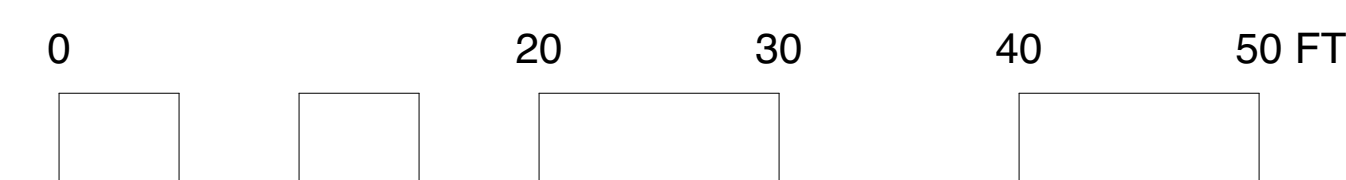
Note:  
For Plant species, refer to plant list schedule on L0.1



Trees  
Tree ID

00-Xxx

Planting callouts for shrubs and ground covers including number of plants per area and plant ID



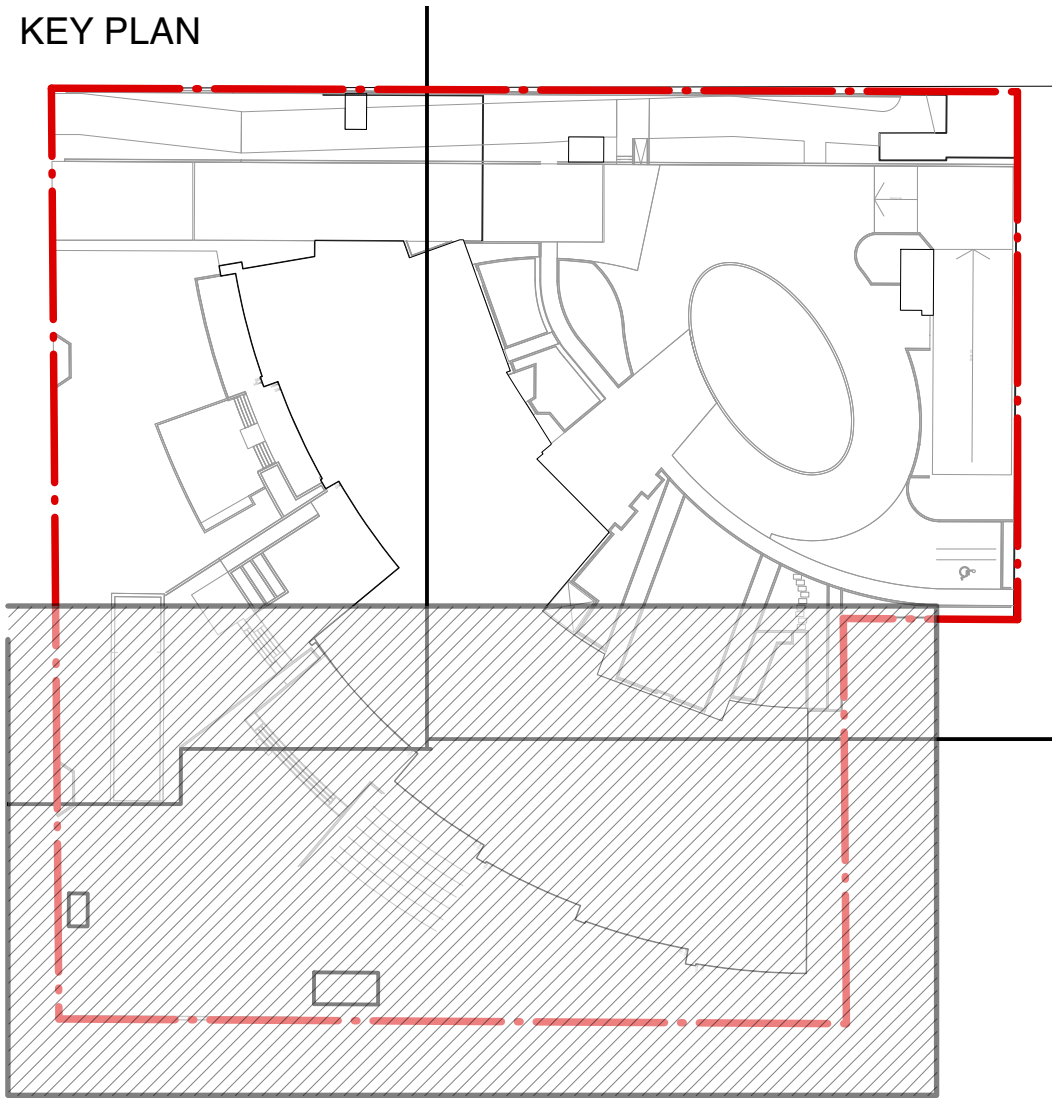
Legal

Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L7.2</b> of 36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP-view





Revision  
No. Date Revision Notes

Issue No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
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F	2015-11-17	Re-issue for OCP Amendment & CD RZ
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L	2020-03-02	Re-issue for DP
T	2021-06-15	Phase 2- Issued for DP

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Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

### Planting Plan

Legal

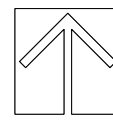
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No. <b>PH 2 - L7.1</b>
Date 2015-09-14	18

Plot Date:  
21-6-15  
21752 Oxford St Residential\_BP.mxd

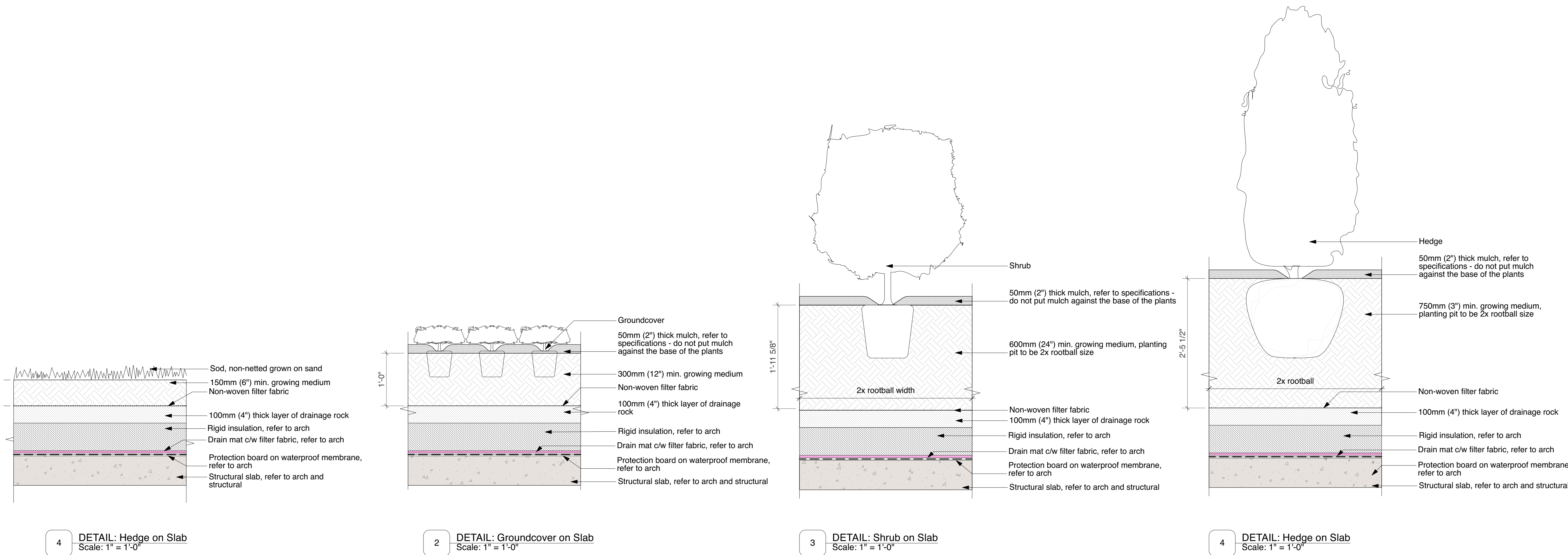


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Revision		
No.	Date	Revision Notes



Issue		
No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD RZ
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K	2019-06-11	Issue for DP
L	2020-03-02	Re-issue for DP
N	2021-03-10	Issued for BP
O	2021-05-07	Issued for Pricing
S	2021-06-09	Re-issued for DP

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Project

**OXFORD STREET  
RESIDENTIAL**

1500 OXFORD STREET  
White Rock, BC

Drawing Title

**Landscape Details - Soft**

Legal

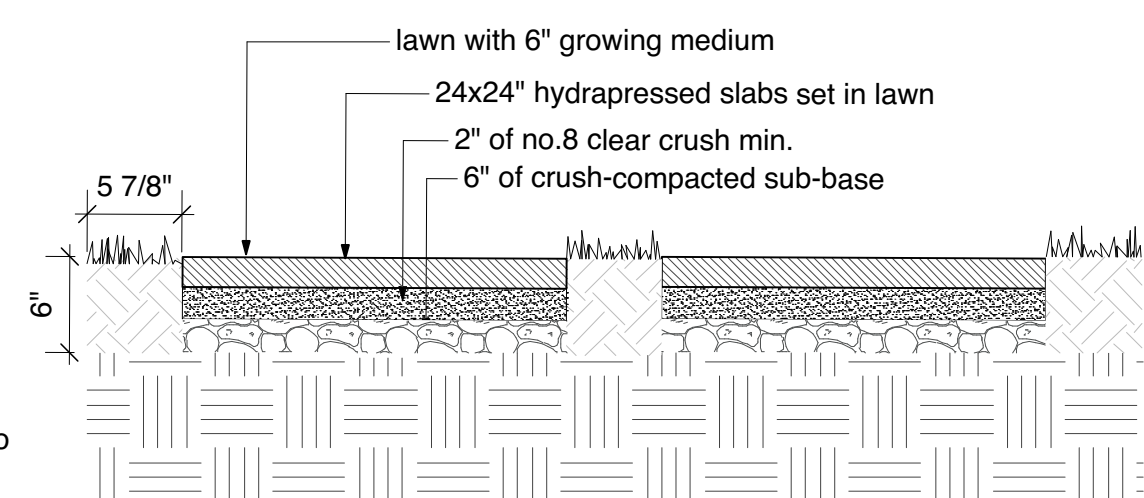
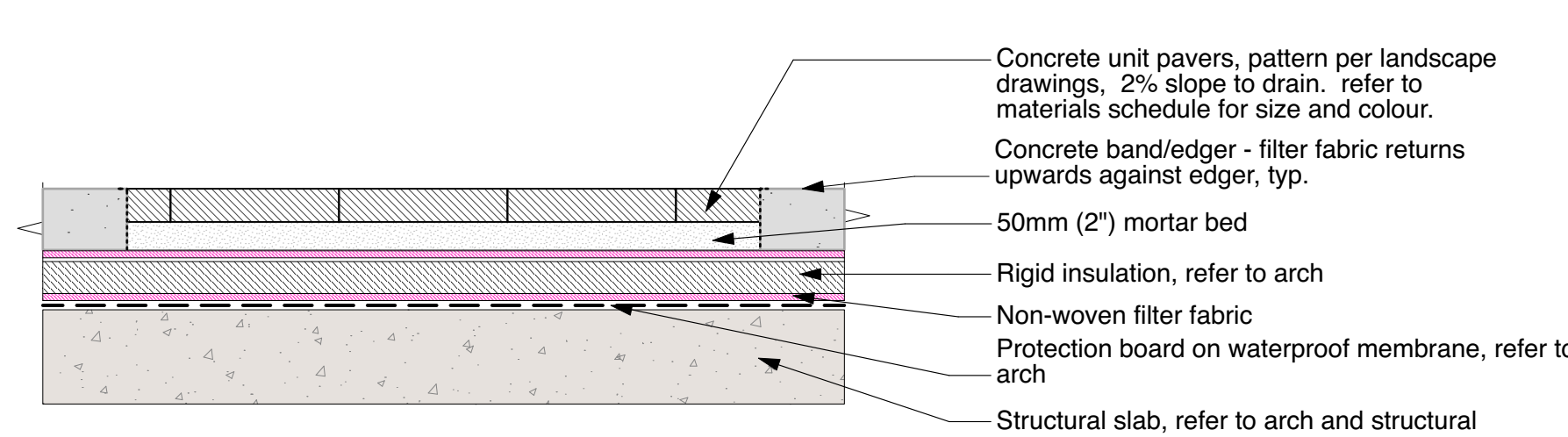
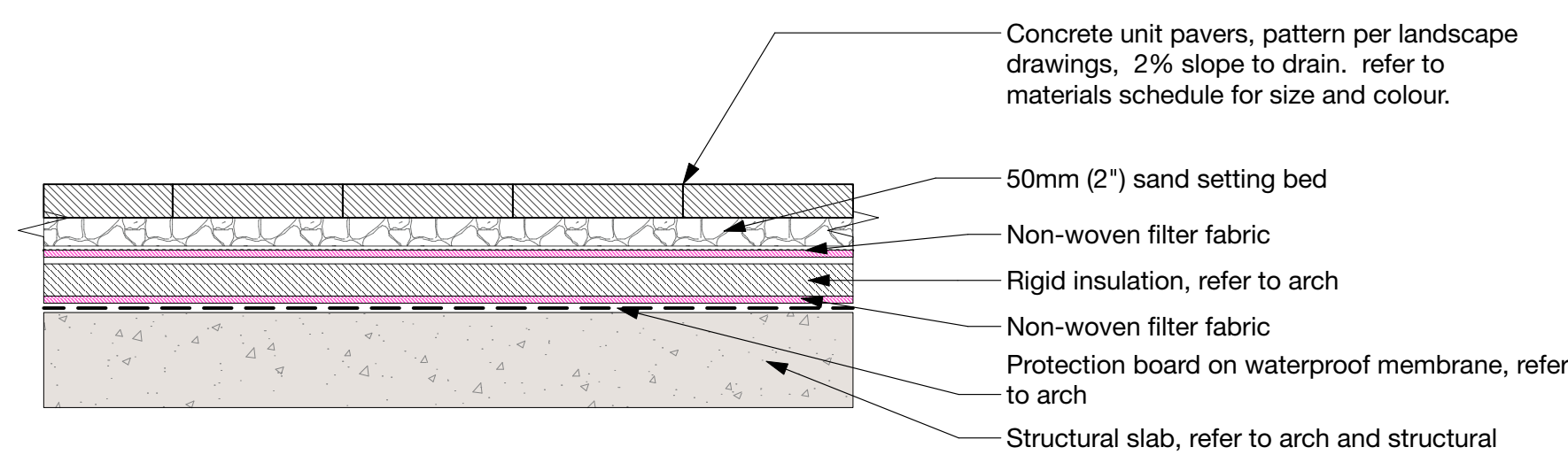
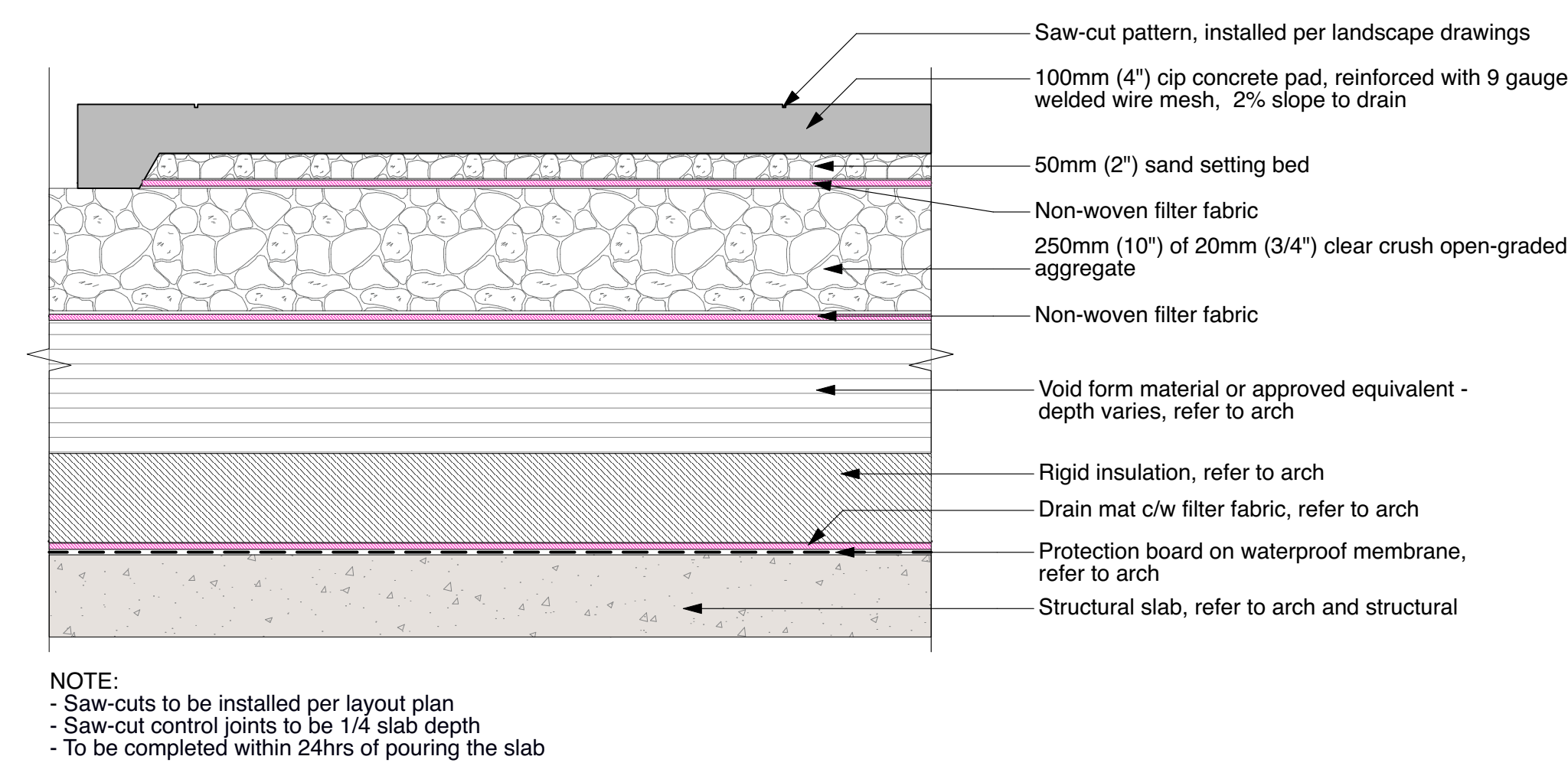
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan S2320, Section 10 Township 1

Project Manager	Project ID
GE	21752
Drawn By	Scale
GE/KB	AS SHOWN
Reviewed By	Drawing No.
GE	<b>L11.0</b>
Date	
2015-09-14	36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP1.vrx



No.	Date	Revision Notes

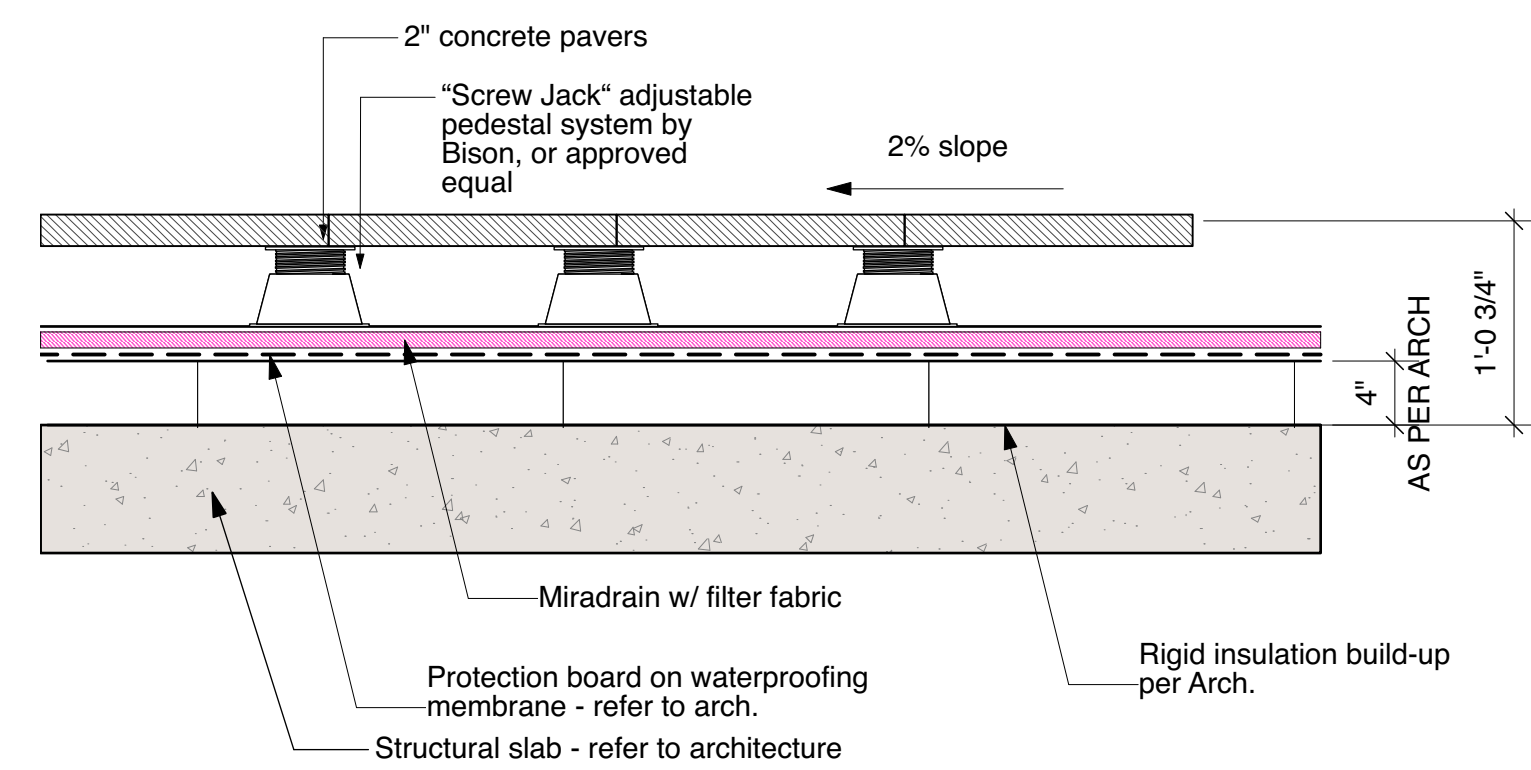
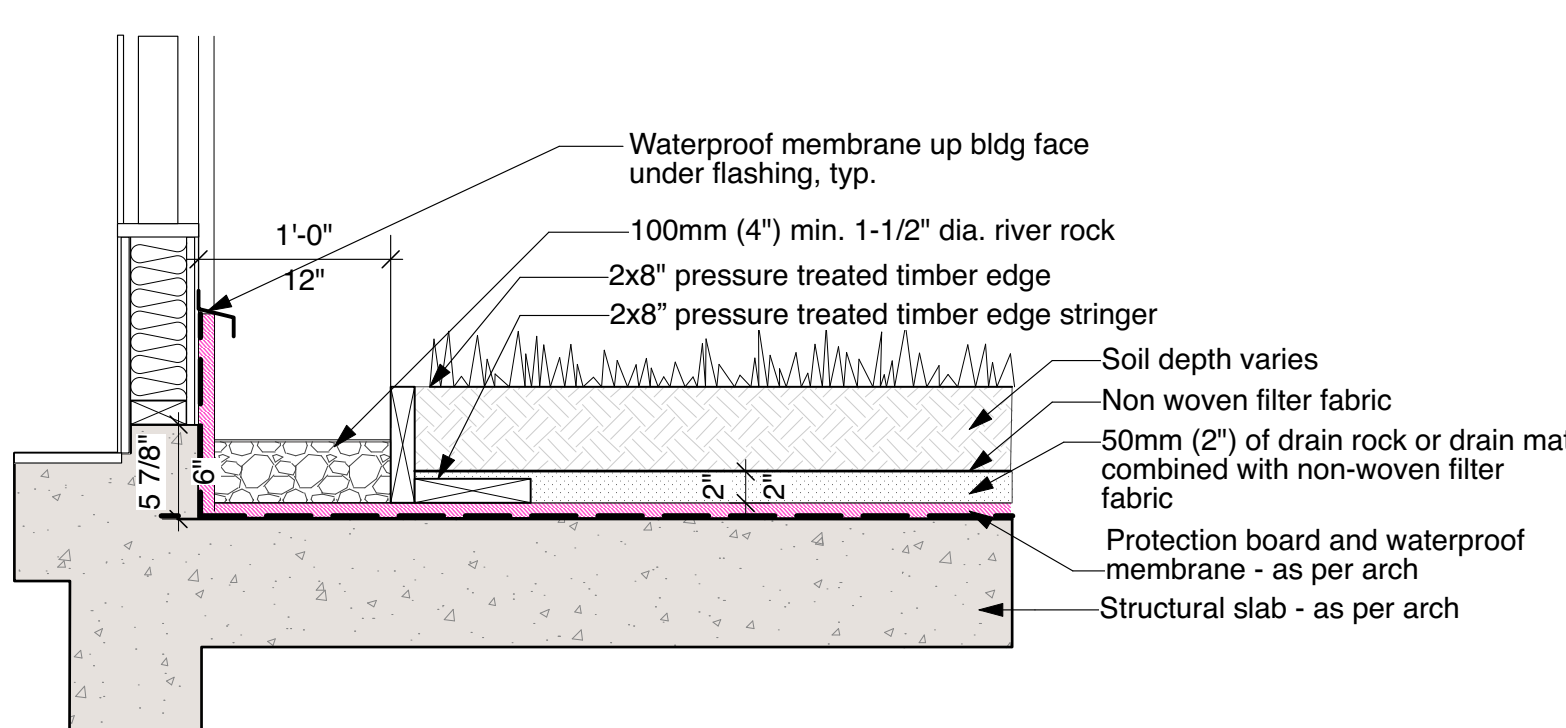
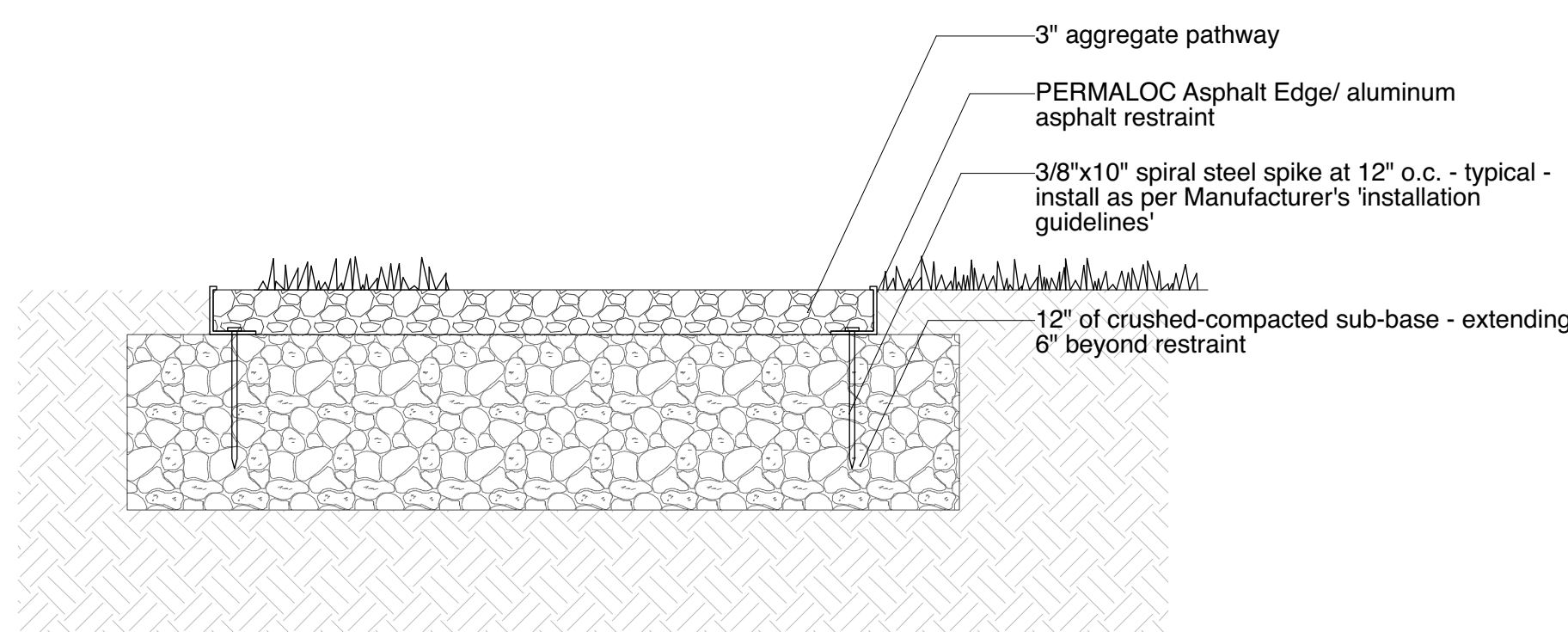
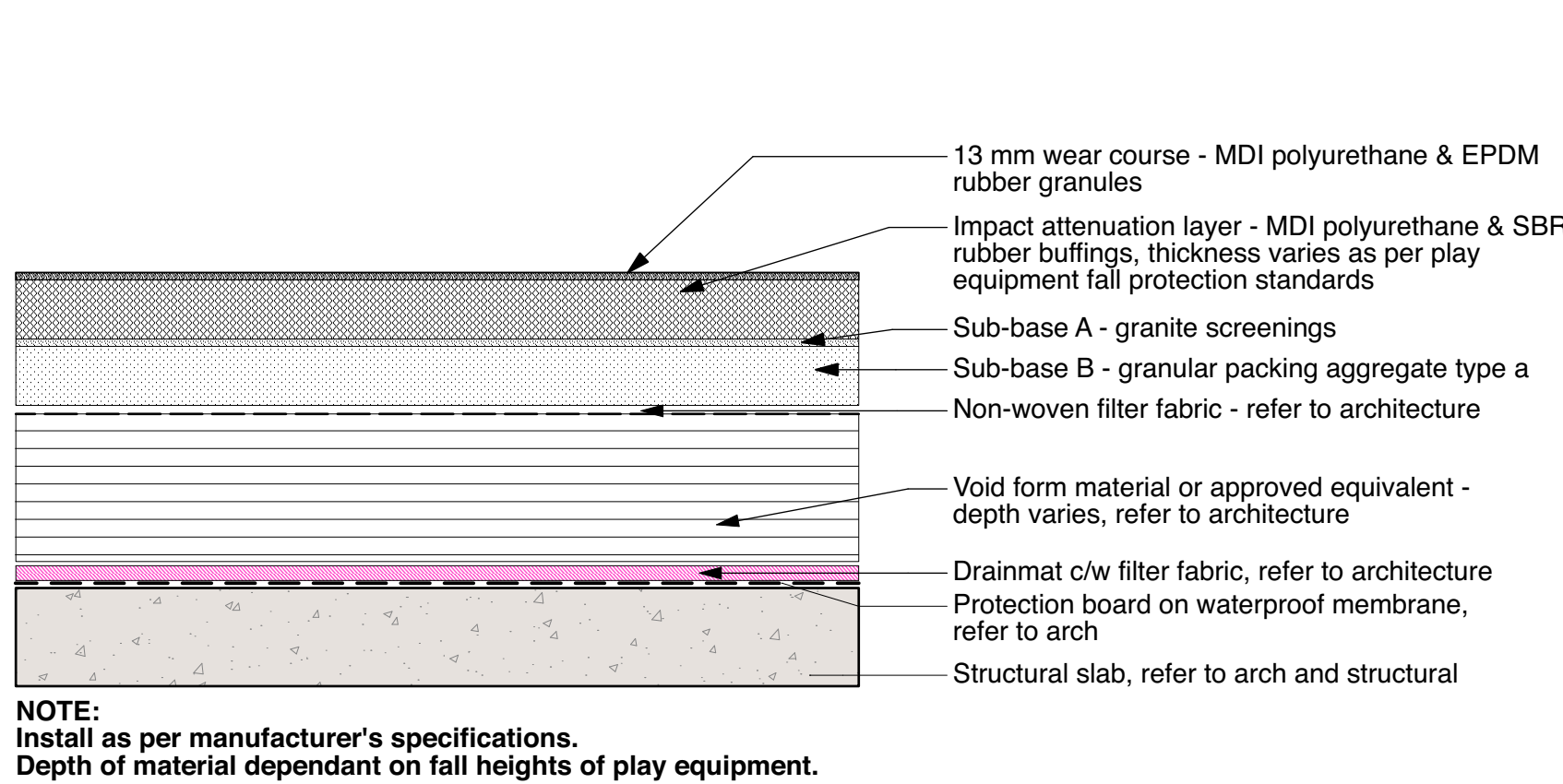


Issue No.	Date	Issue Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCF Amendment & CD R2
F	2015-11-17	Re-issue for OCF Amendment & CD R2
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
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L	2020.03.02	Re-Issue for DP
N	2021-03-10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-Issued for DP

4 DETAIL: Texada Stepping Stones  
Scale: 1" = 1'-0"

2 DETAIL: Pedestrian Concrete Unit Pavers on Insulation on Slab  
Scale: 1" = 1'-0"

3 DETAIL: Vehicular Concrete Pavers on Insulation on Slab Scale: 1" = 1'-0" **P4** 4 DETAIL: Texada Stepping Stones Scale: 1" = 1'-0" **P7**

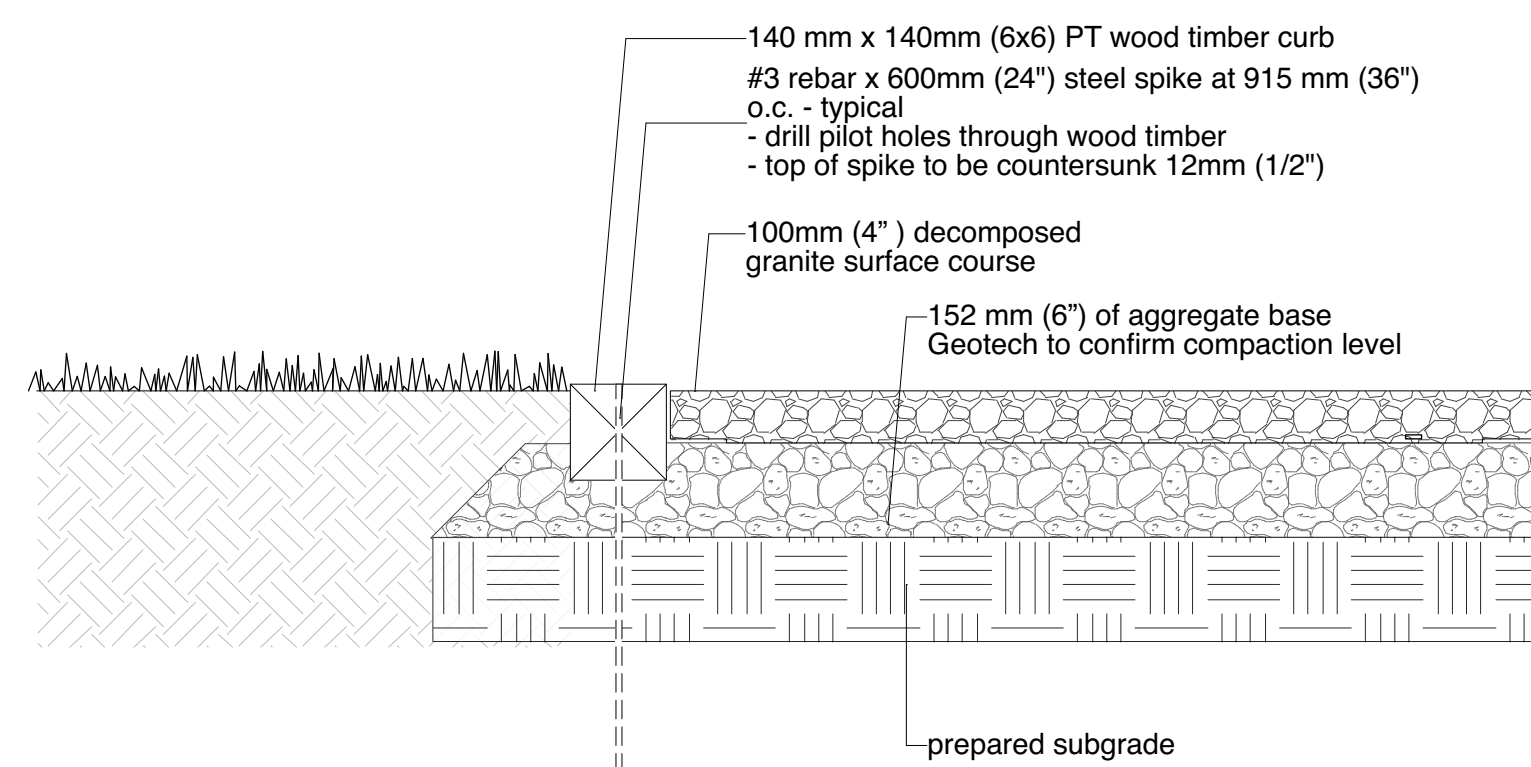
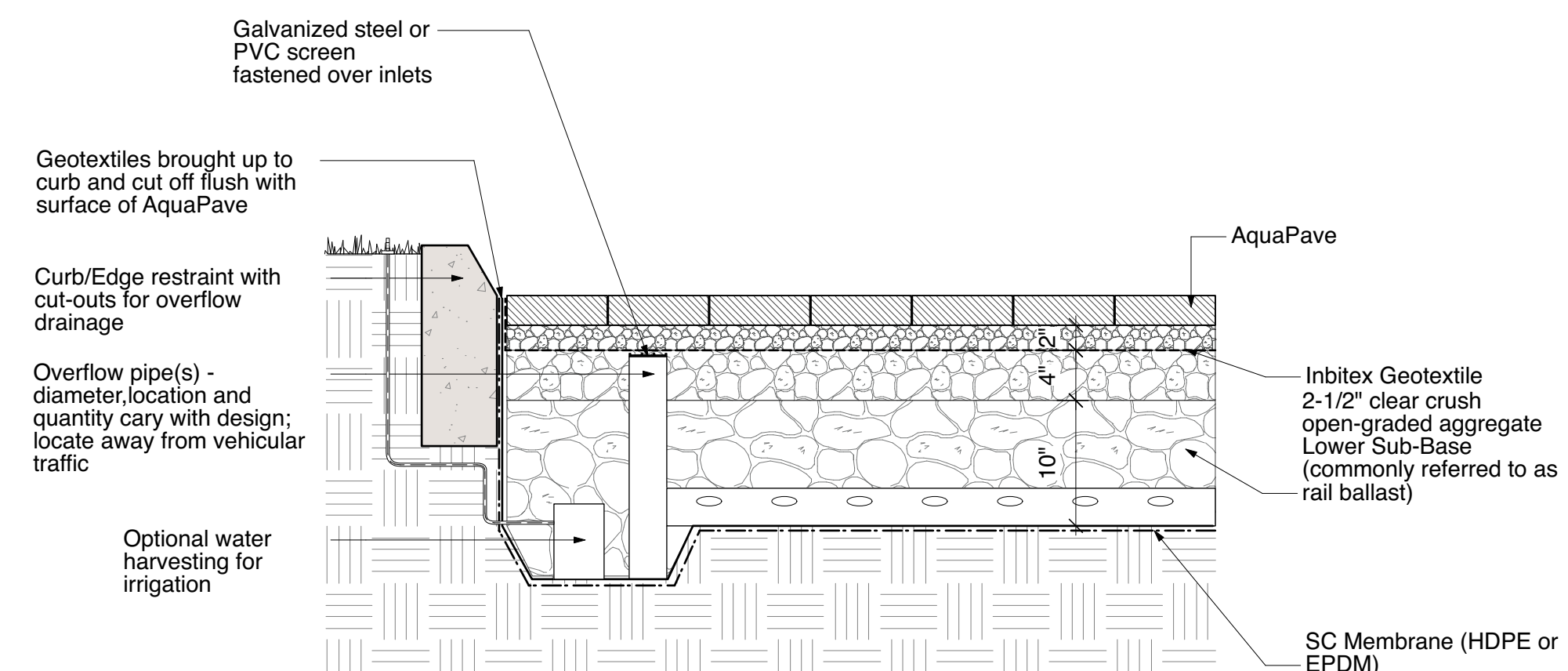


7 DETAIL: Drip Strip on Slab  
Scale: 1" = 1'-0"

6 DETAIL: Decomposed Granite Path on Grade  
Scale: 1" = 1'-0"

7 DETAIL: Drip Strip on Slab  
Scale: 1" = 1'-0"

8 DETAIL: Concrete Pavers on Pedestal  
Scale: 1" = 1'-0"



10 DETAIL: Timber Edger on Bocce Court  
Scale: 1" = 1'-0"

10 DETAIL: Timber Edger on Bocce Court  
Scale: 1" = 1'-0"

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Project

**OXFORD STREET  
RESIDENTIAL**

1500 OXFORD STREET  
White Rock, BC

Drawing Title

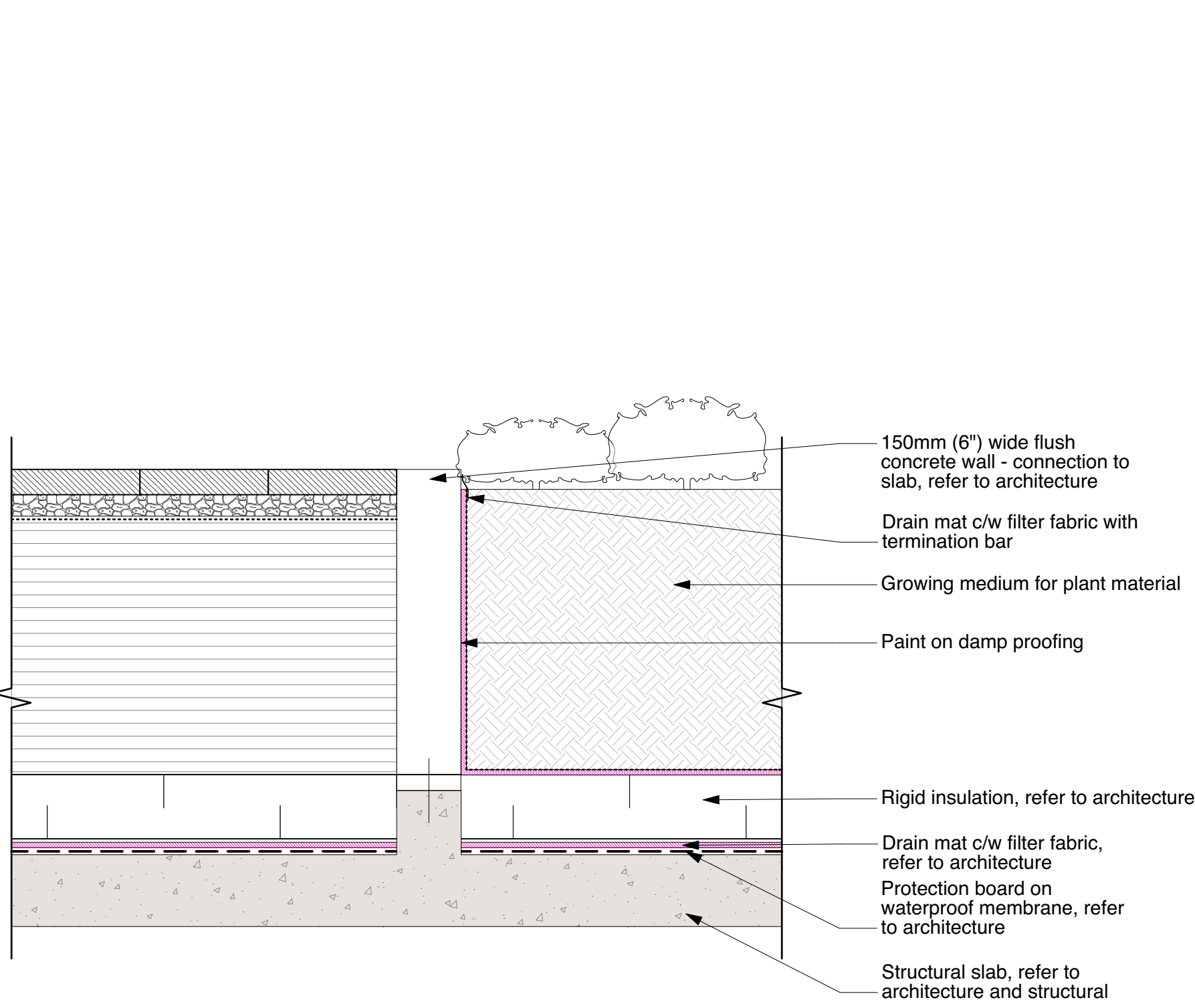
## Landscape Details - Hard

Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<div style="text-align: center;"> <b>L12.1</b>  <hr style="width: 100px; margin: 0 auto;"/> of <hr style="width: 100px; margin: 0 auto;"/>  <b>36</b> </div>

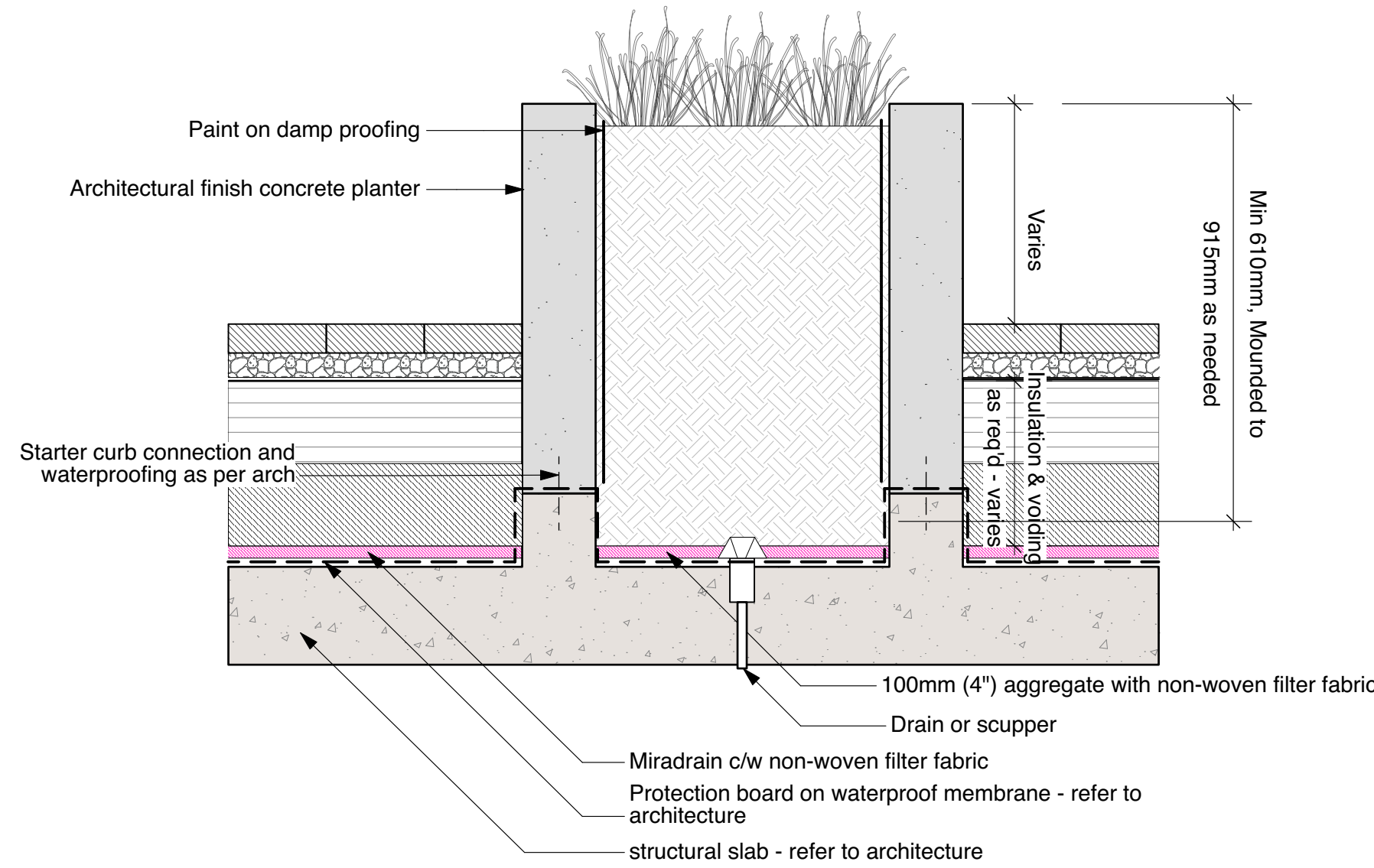
Plot Date:  
21-8-9  
21752 Oxford St Residential BP.vv





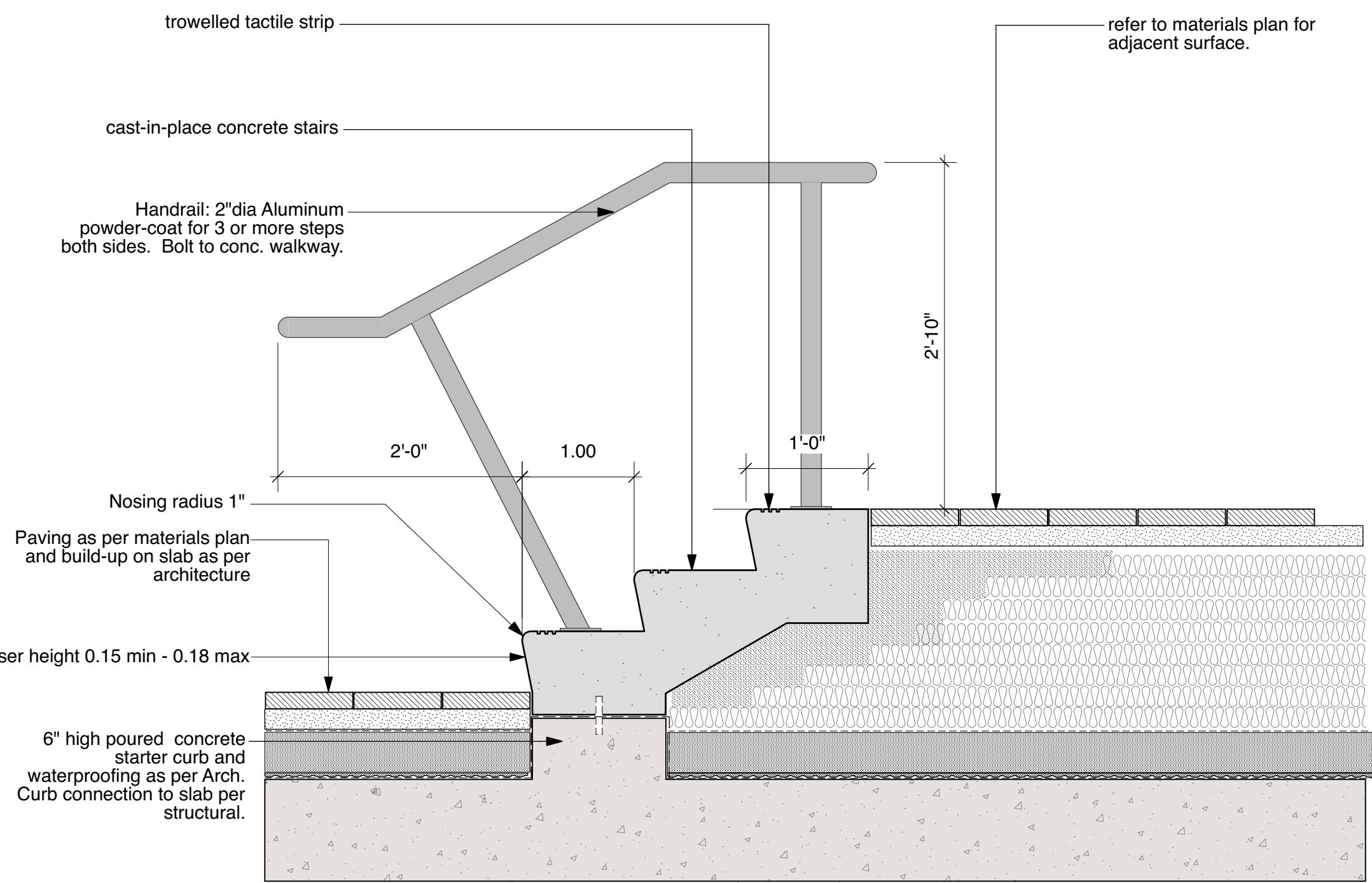
3 DETAIL: Concrete Unit Pavers with Flush Curb Planter  
Scale: 1" = 1'-0"

H3



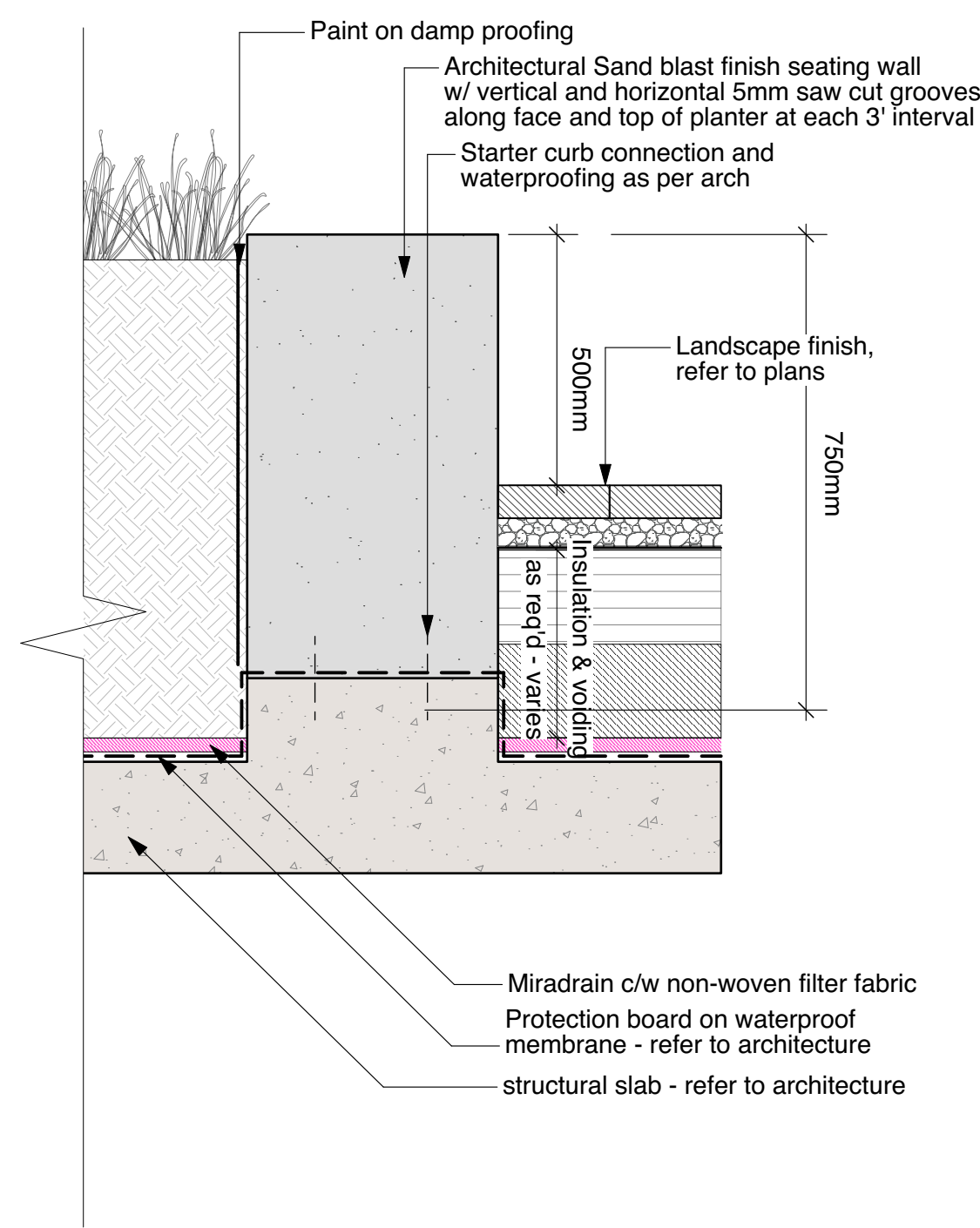
2 DETAIL: CIP Concrete Steps  
Scale: 1" = 1'-0"

H1



3 DETAIL: Concrete Unit Pavers with Flush Curb Planter  
Scale: 1" = 1'-0"

H2



4 DETAIL: CIP Concrete seating wall  
Scale: 1" = 1'-0"

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Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

### Landscape Details - Hard

Legal

Parcel "C" (Reference Plan 12042)  
Lot 4 Except; Part Subdivided By  
Plan 52320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/KB	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L12.2</b> of 36

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP-vwx



**S5**

**S4**

**S6**

S8

S1 S2

**S5**

**S4**

**S6**

S8

**S3**

**S10**

8 SPEC SHEET: Bike Rack - Equiparc  
NTS

SIDE ELEVATION:

S14

7 SPEC SHEET: Outdoor Umbrella - Landscape Forms  
NTS

076  
E  
R

03902FR

Haws Co.

S13

S7

11 SPEC SHEET: Lounge Table - Equiparc  
NTS

12 SPEC SHEET: Dining Table + chairs arrangement  
NTS

**S11**

### Project

1500 OXFORD STREET  
White Rock, BC

Drawing Title

Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township 1

Plot Date:  
21-8-9  
21752 Oxford St Residential\_BP.vvw



Note:

For all Landscape site furniture, refer to manufacturer / supplier's recommendations for installation process and item details, cut sheets and specifications.

Coordinate with Structure and Architecture Engineers for fixation & construction details

Revision  
No. Date Revision Notes

Issue No.	Date	Issue Notes
D	2015-10-27	Re-issued for ADP
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N	2021-03-10	Issued for BP
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S	2021-06-09	Re-issued for DP

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Project

## OXFORD STREET RESIDENTIAL

1500 OXFORD STREET  
White Rock, BC

Drawing Title

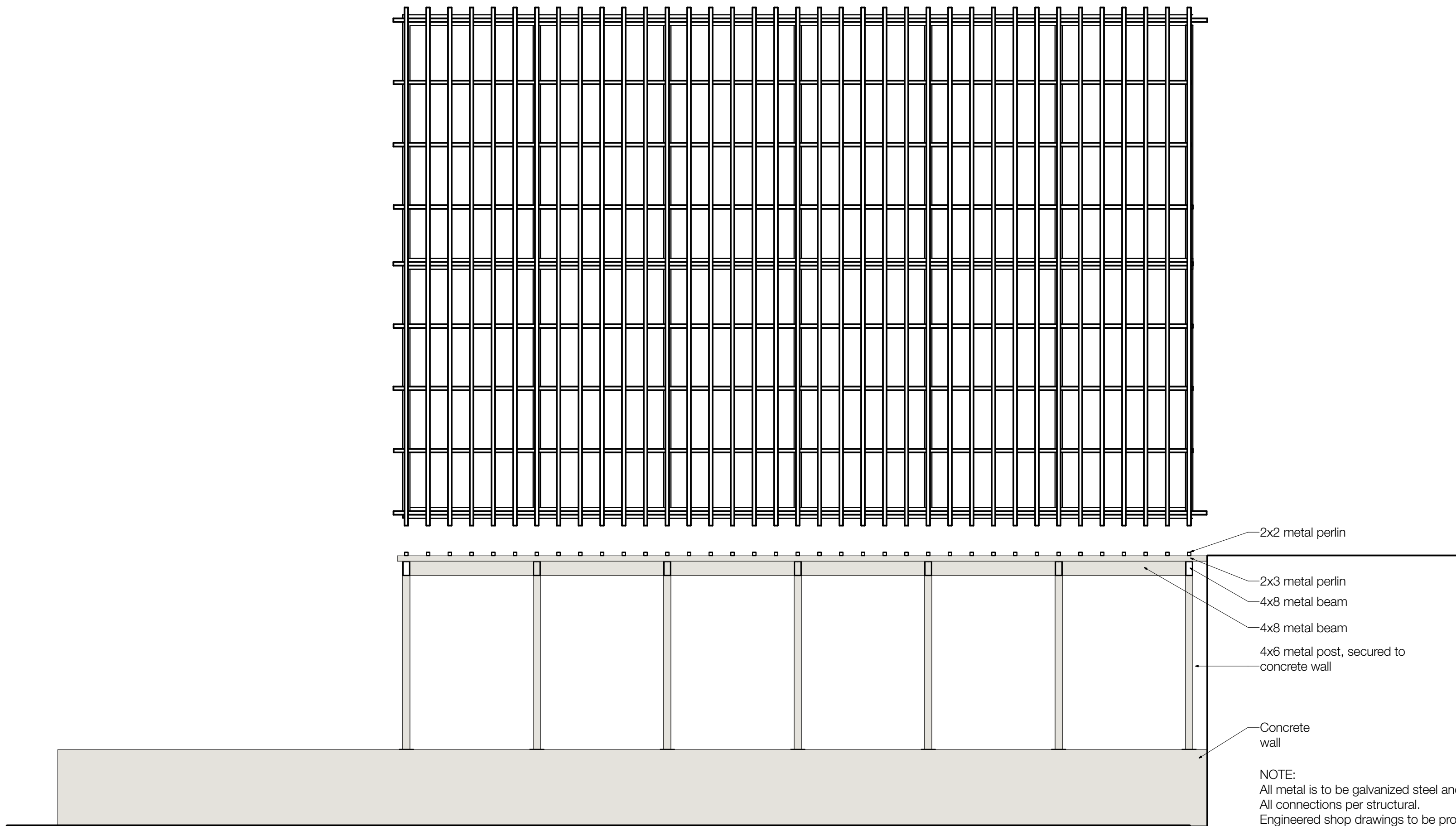
## Landscape Details - Site Furnishings

Legal

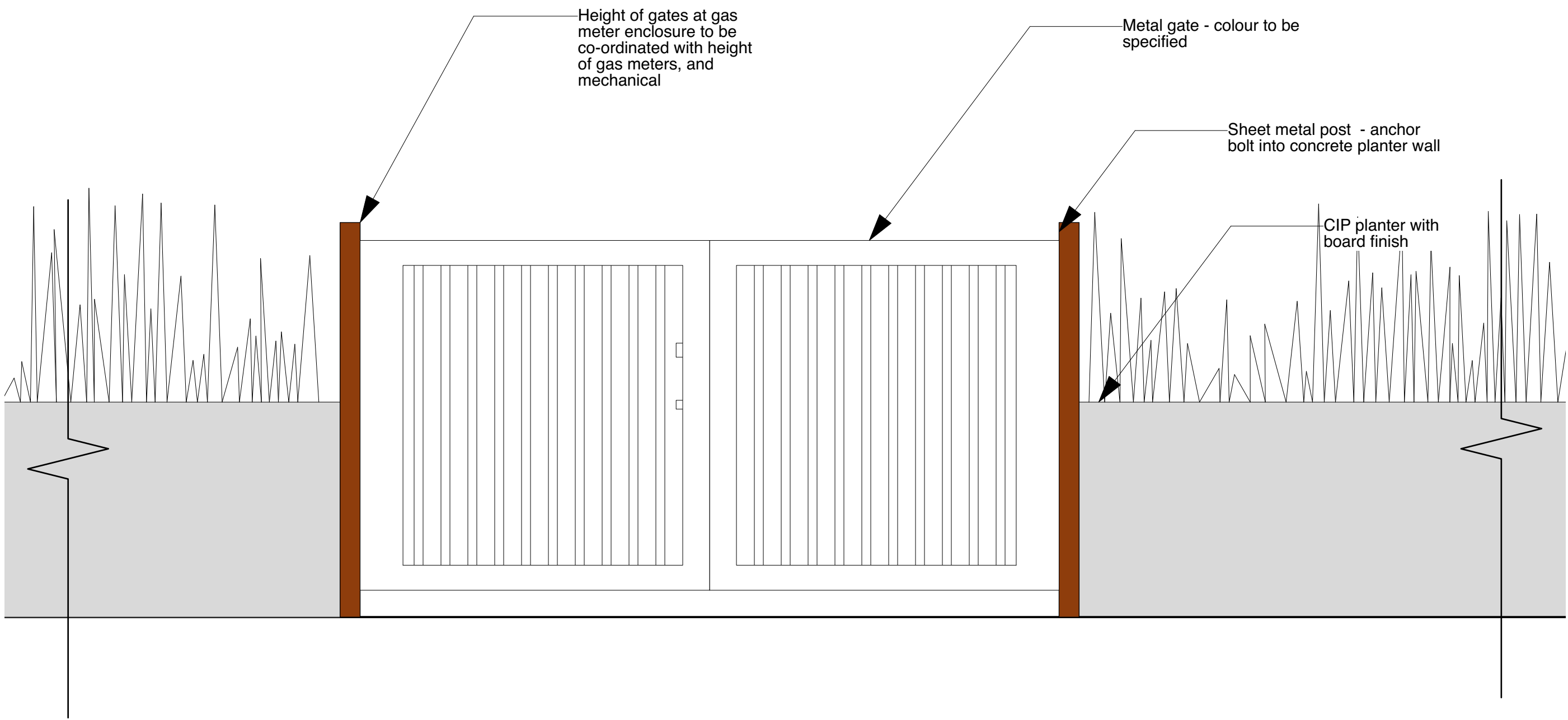
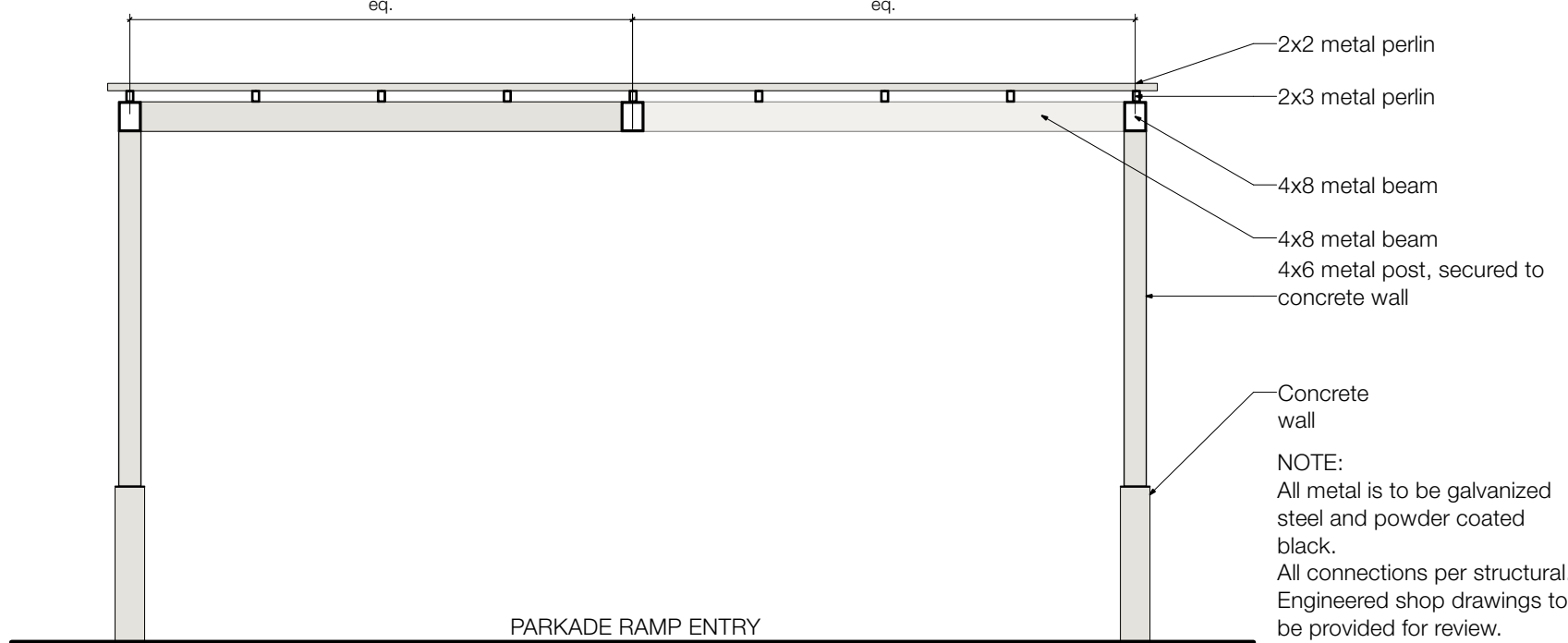
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan S2320, Section 10 Township 1

Project Manager GE	Project ID 21752
Drawn By GE/NT	Scale AS SHOWN
Reviewed By GE	Drawing No.
Date 2015-09-14	<b>L13.2</b> of 36

Plot Date:  
21-9-9  
21752 Oxford St Residential\_BP Prev

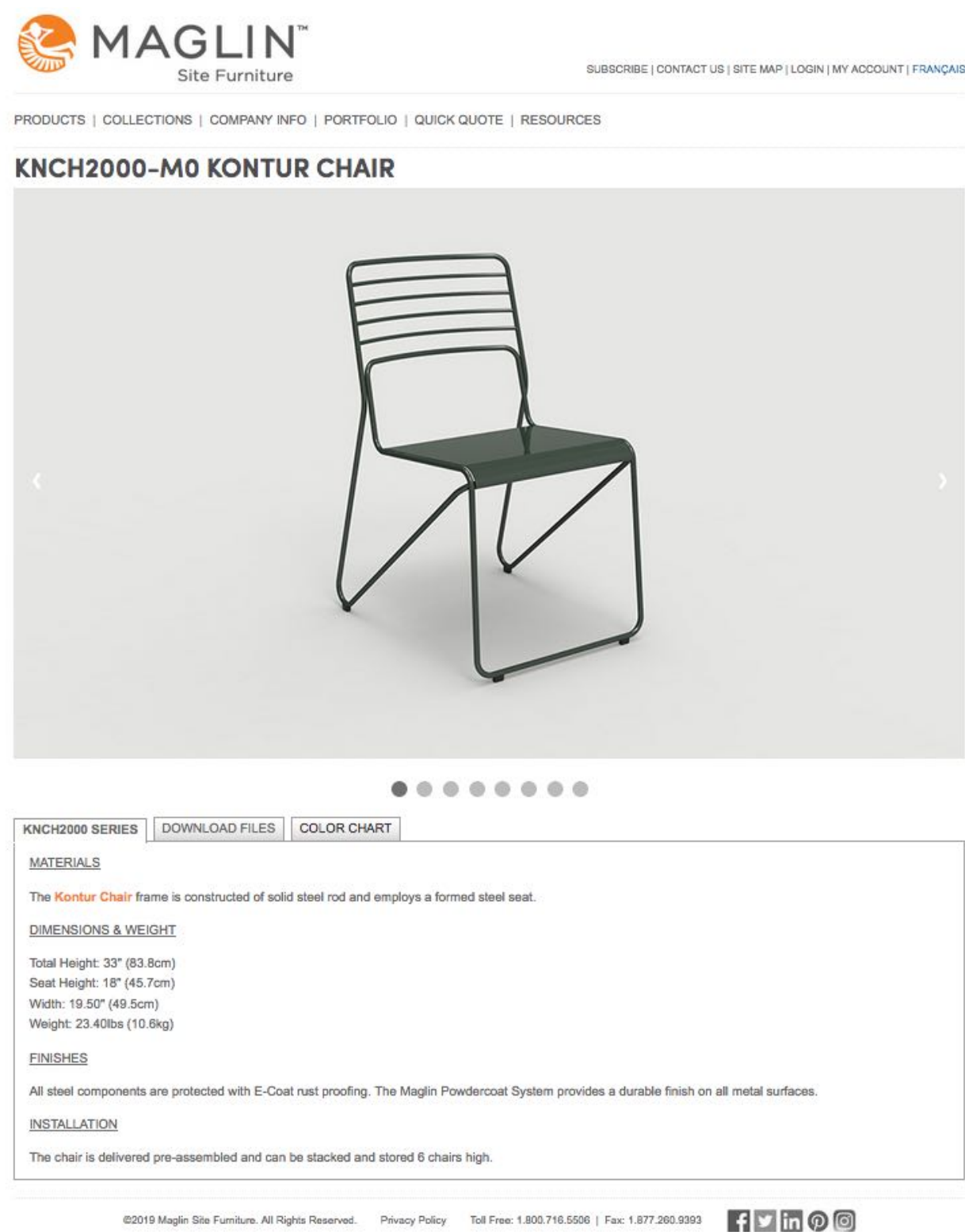
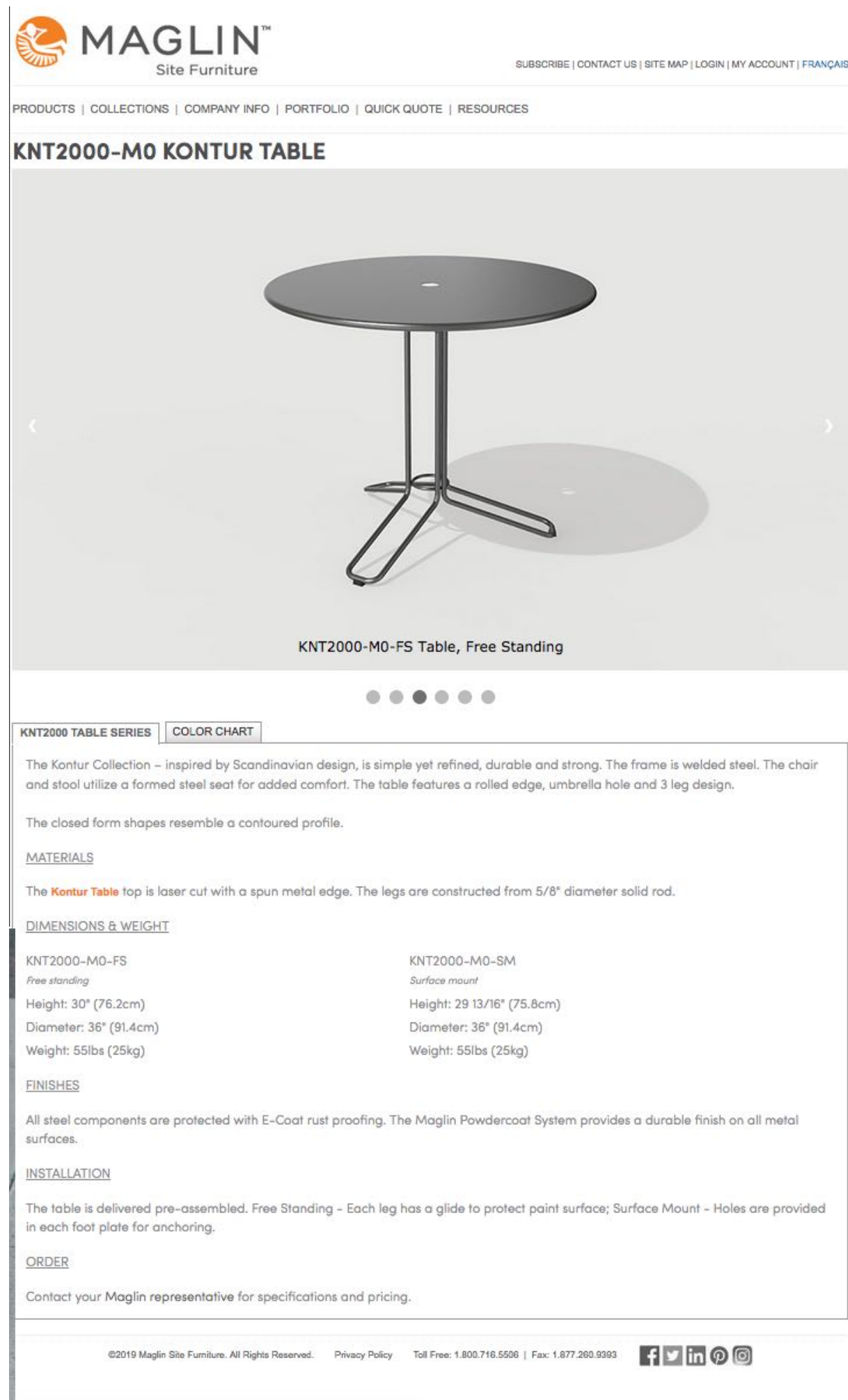


1 DETAIL: Metal Arbour over Parkade Entrance - Custom  
Scale: 1/4" = 1'-0"



2 DETAIL: Gas Meter Enclosure Fence  
Scale: 1" = 1'-0"

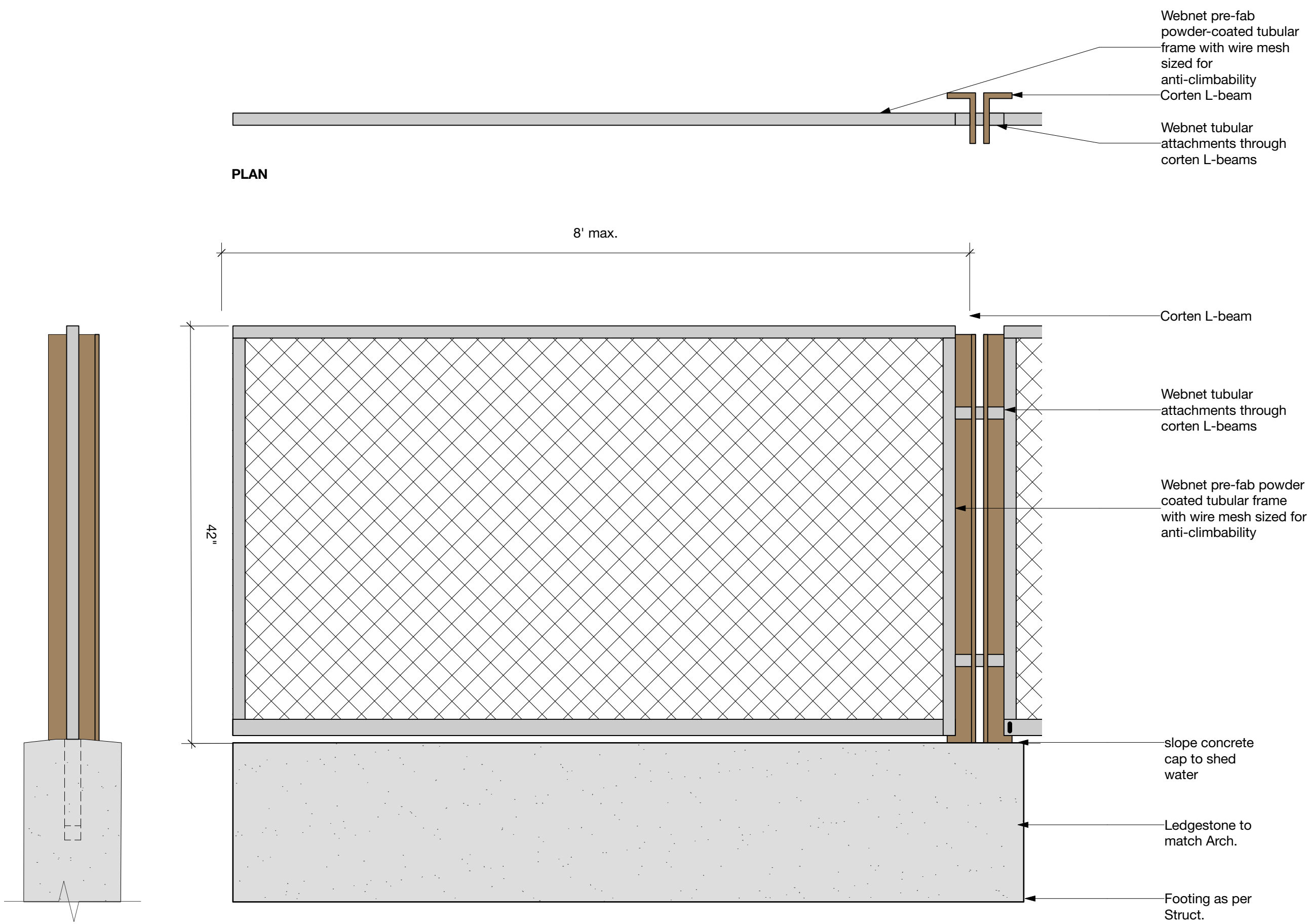
3 PERSPECTIVE: Corten Steel Web Mesh Fence - Custom  
NTS



4 SPEC SHEET: Bistro Table + chairs arrangement  
NTS



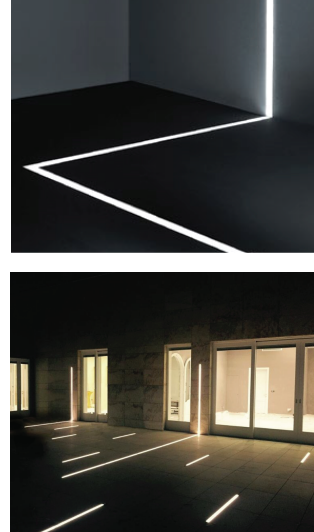

S12

3.1 DETAIL: Corten Steel Web Mesh Fence - Custom  
Scale: 1" = 1'-0"





[illegible]

CONTINUOUS LINE	Type	WIPACONLINE		
<p>Designed with over 100 years for exterior applications. This system allows limitless lighting of any pattern or configuration. Light track with universal connector. New design lighting, programmable or glass finished. Extensive scale to install. This product can be wall or floor installed with standard back bar.</p>				
				
<p><b>Luminaire characteristics</b></p>				
		<p>Power supply: 200V (Europe) and 120V (USA)            Luminaire efficacy: 200lm/W            Beam angle: 120°            Beam diameter: 100mm            Beam area at 1000000 ft (305m): 0.171 ft²</p>		
<b>Name</b>	<p>WIPACONLINE</p>			
<b>Luminaire maintenance</b>	<p>IP65, dust proof area at 1000000 ft (305m): 0.171 ft²</p>			
<b>Optics</b>	<p>New design in the power lighting. The different lighting effects, programmable or glass finish creating light patterns.</p>			
<b>Material</b>	<p>High quality, anodized aluminum. Heat resistant. Heat sink, 100% heat sink, 100% aluminum.</p>			
<b>Mounting</b>	<p>Highly resistant system, easy to install. It is designed to be mounted on walls with standard screws. The system is designed to be mounted on walls with standard screws. The system is designed to be mounted on walls with standard screws.</p>			
<b>Electrical</b>	<p>See manual power supply system on page 4</p>			
<b>Types</b>	<p>Standard            S 1000 x 150 (24g)            S 1000 x 150 (24g)            S 1000 x 150 (24g)</p>			
<b>Max load capacity</b>	<p>10000 (200kg)</p>			
<b>Control temperature:</b>	<p>Less than 30°C (86°F)</p>			
<b>Warranty</b>	<p>3 years</p>			
<b>Rating:</b>	<p>IP65, 6013</p>			
<b>Contributors:</b>	<p>            Close to the 1991 edition         </p>			
				
				
<p><b>SISTEMAX</b></p>				

## CONTINUOUS LINE

Type

APPLICATIONS

Page 11/12

### DIMENSIONS

#### SIDE VIEW

Diagram showing the side view of the continuous line system. It features a horizontal line with a 100' dimension indicated above it, and a vertical line with a 100' dimension indicated to its right.

**Q 7200**  
Support with back box (CA7500)

#### SECTION VIEW

Diagram showing the section view of the continuous line system. It features a horizontal line with a 100' dimension indicated above it, and a vertical line with a 100' dimension indicated to its right.

Diagram showing the side view of the continuous line system. It features a horizontal line with a 100' dimension indicated above it, and a vertical line with a 100' dimension indicated to its right.

**Q 7201**  
Support with back box (CA7500)

### INSTALLATION AND WIRING

1. The continuous line system is a 100' back box continuous line. Each individual module is wired back to the control panel using the 100' back box system. Please refer to installation sheet for more details.

Diagram showing the wiring configuration for the continuous line system. A power source (100V) is connected to three modules in a series. The modules are connected to a common ground (GND) and a common line (LINE).

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Note:

-For all Landscape site furniture, refer to manufacturer / supplier's recommendations for installation process and item details, cut sheets and specifications.

-For Lighting fixtures types, cutsheets & specifications, refer to Electrical Drawings and specifications

2 SPEC SHEET: Strip Light - Sisternalux  
NTS

2 SPEC SHEET: Strip Light - Sistemalux  
NTS

## MICROKUBE

833-010

Type: Project  
 Application sheet: 010  
 Page: 1/2

Collection of indicators for commercial and institutional applications, the MICRO is an object of state design that can be integrated into any interior and is particularly suitable for public, parks and outdoor use. Empowered by a powerful LED light source, the MICRO is a modern and functional lighting solution that can be used in a wide range of applications, from the most basic to the most sophisticated. The MICRO is a modern and functional lighting solution that can be used in a wide range of applications, from the most basic to the most sophisticated.

### Luminaires characteristics

Power input: 15W  
 Luminous flux: 2000 lm (3000, 3000)  
 Luminous efficacy: 200lm/W  
 Mean life span: 50,000 hours  
 Beam angle: 60°  
 IP rating: IP65  
 220V of single phase of 50 (60) hertz (5,75)

### Size

Length: 150mm

### Optics

Beam: 60°

### Material

Optical: Polycarbonate glass  
 Material: Polycarbonate glass and aluminum powder  
 Finish: Polycarbonate glass and aluminum powder

### Mounting

Mounting: Mounting with accessory or plug bottom (see page 1/2)

### Electrical

Input: 150W (single phase, power supply: 220V)  
 Output: 150W (single phase, power supply: 220V)

### Finish

Finish: White or Aluminum grey painted body, finishing a double powder coat. The MICRO is a modern and functional lighting solution that can be used in a wide range of applications, from the most basic to the most sophisticated.

### Weight

Weight: 1.5kg (3.3 lb) (1.5 kg, 3.3 lb)

### Warranty

Warranty: 5 year limited warranty

### Rating

IP65, IK05

### Certification

UL listing

## MICROBUSH

833-010

Type: Project  
 Application sheet: 010  
 Page: 2/2

### DIAGRAMS

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[illegible]

4 DETAIL: Spot Light - Sistemalux  
NTS

4 DETAIL: Spot Light - Sistemalux  
NTS

[illegible][illegible][illegible]

1 SPEC SHEET: Catenary Light - Structural  
NTS

5 SPEC SHEET: InGround Light - Mp Lighting  
NTS

	Revision	
No.	Date	Revision Notes
D	2015-10-27	Re-Issued for ADP
E	2015-10-27	Re-issue for OCP Amendment & CD
F	2015-11-17	Re-issue for OCP Amendment & CD
H	2/20/14	Issued for public information
I	3/13/14	Issued for rezoning
J	7/21/15	Issued for Advisory Design Panel
K	2018-06-11	Issue for DP
L	2020.03.02	Re-Issue for DP
N	2021-03-10	Issued for BP
O	2021.05.07	Issued for Pricing
S	2021.06.09	Re-Issued for DP

Professional Seal

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Project

**OXFORD STREET  
RESIDENTIAL**

1500 OXFORD STREET  
White Rock, BC

Drawing Title

## Landscape Details

### - Site Furnishings

Legal  
Parcel "C" (Reference Plan 12042)  
Lot 4 Except: Part Subdivided By  
Plan 52320, Section 10 Township

Project Manager GE	Project # 2175
Drawn By GE/NT	Scale AS S

GE  
Date  
2015-09-14

Plot Date:  
21-6-9  
21752 Oxford St Residential\_BP:www



NOTES:

1. WATER TREATMENT SYSTEM, CATCH BASIN PROTECTION, ACCESS STABILIZATION, AND OTHER ESC MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF BULK EXCAVATION.
2. GEOPACIFIC SHALL BE CONTACTED BY THE CONTRACTOR TO INSPECT THE INSTALLATION OF THE ESC SYSTEM PRIOR TO THE COMMENCEMENT OF ANY STRIPPING, EXCAVATION OR OTHER CONSTRUCTION.
3. MONITORING OF THE ESC SYSTEM AND DISCHARGE WATER TO OCCUR AS PER MUNICIPAL MONITORING AND REPORTING REQUIREMENTS. MONITORING MUST BE PERFORMED BY A QUALIFIED PERSON AS DEFINED IN THE MUNICIPAL BYLAW(S).
4. NO WATER MAY BE DISCHARGED FROM THE SITE THAT BYPASSES THE SEDIMENT CONTROL SYSTEM.
5. ALL CONCRETE TRUCKS SHALL UTILIZE A SELF-CONTAINED WASH SYSTEM. ALL WATER TO BE COLLECTED IN SELF-CONTAINED WASH SYSTEM. NO WASH WATER TO ENTER STORM DRAINS.
6. ALL CONCRETE TRUCKS SHALL UTILIZE LEAK-PROOF CONTAINMENT BERM TO ENSURE NO CONCRETE OR WASH WATER IS DEPOSITED ON ROADWAYS OR ENTERS THE STORM DRAINS. PLACEMENT OF PLYWOOD UNDER CONCRETE PUMPS AND BUCKETS IS NOT AN ADEQUATE METHOD OF SPILL PROTECTION.
7. NO EXCESS CONCRETE SHALL BE DUMPED ON SITE, EXCEPT IN DESIGNATED CONCRETE WASTE BINS. CONCRETE WASTE BINS MUST BE LINED WITH POLY SHEETING AND SECURED TO PREVENT CONCRETE LEAKAGE ONTO ROADWAYS.
8. ALL WASHOUT ACTIVITIES MUST BE PERFORMED OFF-SITE OR IN DESIGNATED AREAS ONLY. LOCATE DESIGNATED WASHOUT AREAS AS FAR AWAY FROM STORM DRAINS AS POSSIBLE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL SYSTEM.
10. ALL BEST MANAGEMENT PRACTICES ARE DESIGNED WITH REFERENCE TO THE "STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON" VOLUME II.
11. BELOW IS THE GENERAL EXPECTED ONSITE SOIL STRATIGRAPHY. FOR DETAILED SOIL DESCRIPTIONS, REFER TO GEOPACIFIC'S GEOTECHNICAL REPORT DATED FEBRUARY 8, 2018.



**ONSITE SOIL STRATIGRAPHY**

N.T.S.

**STORM WATER TREATMENT SYSTEM**

SYSTEM TO BE SIZED BASED ON THE FOLLOWING FLOW RATE:  
RATIONAL METHOD:  $Q = CA$

WHERE:  $Q$  = PEAK DISCHARGE FLOW RATE

$C$  = RUNOFF COEFFICIENT  $C = 0.75$   
 $I$  = RAINFALL INTENSITY  $I = 17\text{mm/hr}$   
 $A$  = SITE CATCHMENT AREA  $A = 6941.2\text{m}^2$

DESIGN PERIOD: 2-YEAR STORM EVENT

$Q = 24.6 \text{ L/SEC}$  PEAK DISCHARGE FLOW RATE @  $T_c = 30 \text{ MIN}$

$Q = 3.0 \text{ L/SEC}$  24HR DISCHARGE RATE

IDF CURVE FOR WHITE ROCK (ENVIRONMENT CANADA)

ALL HAUL ROADS WITHIN VICINITY OF SITE TO BE SWEEPED OF ACCUMULATED SEDIMENT DAILY. SEDIMENT SHALL BE RETURNED TO SITE IN SUCH A MANNER THAT IT DOES NOT ENTER STORM WATER OR EXIT ROUTES. FLUSHING OF SEDIMENT INTO STORM DRAINS IS NOT PERMITTED.

ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE SHALL BE PROTECTED TO PREVENT ENTRY OF SEDIMENT INTO THE STORM SEWER. BMP C220

WATER TREATMENT SYSTEM SHALL INCLUDE:  
• CO2 pH ADJUSTMENT - BMP C252  
• SETTLING TANKS - BMP C250  
• MECHANICAL FILTRATION - BMP C251  
SYSTEM MAY BE RELOCATED AS REQUIRED. WATER TREATMENT SYSTEM TO BE DESIGNED AND SIZED BY SUPPLIER TO STORE AND TREAT STORM WATER FROM A 2-YEAR STORM EVENT TO THE DISCHARGE REQUIREMENTS OF  $<75\text{mg/L}$  AND pH BETWEEN 6 AND 9. MONITORING OF DISCHARGE WATER SHALL OCCUR MONTHLY AND FOLLOWING A MAJOR STORM EVENT ( $\geq 25 \text{ mm}$  IN 24 HOURS).

DISCHARGE TO STORM SEWER WITH MONITORING OF T.S.S., TURBIDITY, AND pH.

SITE ACCESS TO BE STABILIZED WITH 150mm CLEAR CRUSH ROCK A MINIMUM OF 300mm THICK. STABILIZED EXIT PAD MUST BE LOCATED IMMEDIATELY PRIOR TO SITE EXIT AND BE LOWER THAN EXISTING ROAD. EXIT PAD MAY BE RELOCATED BY THE CONTRACTOR AS REQUIRED. BMP C105

GRADE EXCAVATION TO DIRECT WATER TO SUMP. INSTALL INTERCEPTOR SHALES TO DIRECT WATER TO SUMP WHEN FEASIBLE. BMP C200

SUMP TO BE CONSTRUCTED AT LOW POINT(S) OF SITE TO COLLECT STORM WATER. SUMP SHALL INCORPORATE A SEDIMENT TRAP AND FLOAT-ACTUATED PUMP AS SHOWN IN THE DETAILS. SUMP MUST BE MAINTAINED REGULARLY TO PREVENT BUILD UP OF SEDIMENT FROM BEING PUMPED INTO TREATMENT SYSTEM. DO NOT PLACE PUMPS DIRECTLY IN SEDIMENT. BMP C240

WATER SHALL BE PUMPED FROM SUMP INTO WATER TREATMENT SYSTEM.

ALL VEHICLES TRAVELING ONSITE MUST BE RESTRICTED TO PAVED OR GRAVEL STABILIZED AREAS. IF VEHICLES AND EQUIPMENT TRAVEL ON EXPOSED SOILS, CONSTRUCTION OR INSTALLATION OF A WHEEL WASH AT SITE EXIT MAY BE REQUIRED TO PREVENT TRACK OUT FROM SITE. BMP C107

STOCKPILES TO BE COVERED WITH POLY SHEETING A MINIMUM OF 6 mil THICK PRIOR TO FORECASTED RAINFALL OR IF STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS. STOCKPILES TO BE LOCATED ON FLAT GROUND, AWAY FROM DRAINAGE AND WATERBODIES, AND WORK/EQUIPMENT TRAFFIC. BMP C123

WATER TREATMENT SYSTEM

LEGEND:

- - GRADE DIRECTION
- - CATCH BASIN PROTECTION
- - STOCKPILE
- ⊗ - SUMP

NO.	DATE	BY	REVISION



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DESIGNED BY: A.G.  
DRAWN BY: N.K.  
APPROVED BY: R.A.  
REVIEWED BY: M.T.L.  
SCALE: AS SHOWN

**PROPOSED RESIDENTIAL DEVELOPMENT**

1500 OXFORD STREET, WHITE ROCK, B.C.

**EROSION & SEDIMENT CONTROL PLAN**

FILE NO:

15792

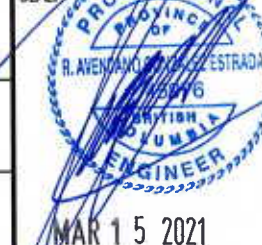
DRAWING NO:

G-ESC1

DATE:

MARCH 12, 2021

SEAL:

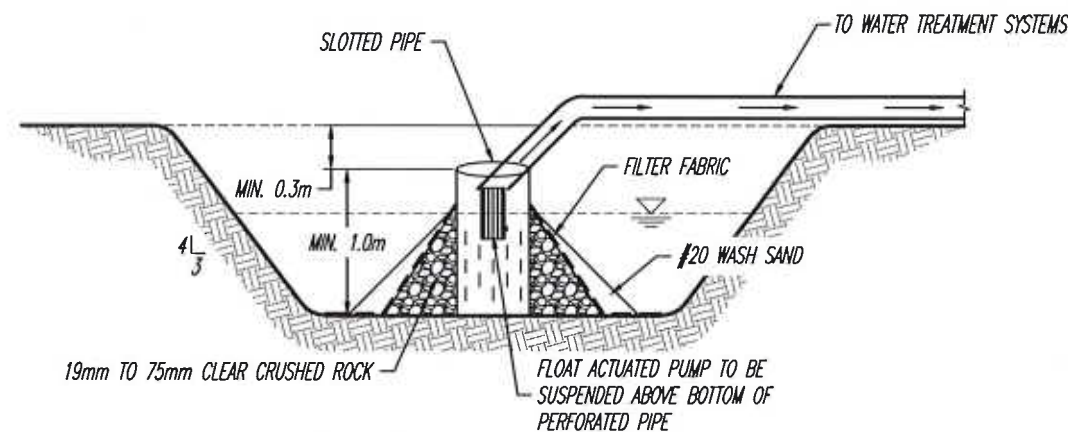


**SITE PLAN**

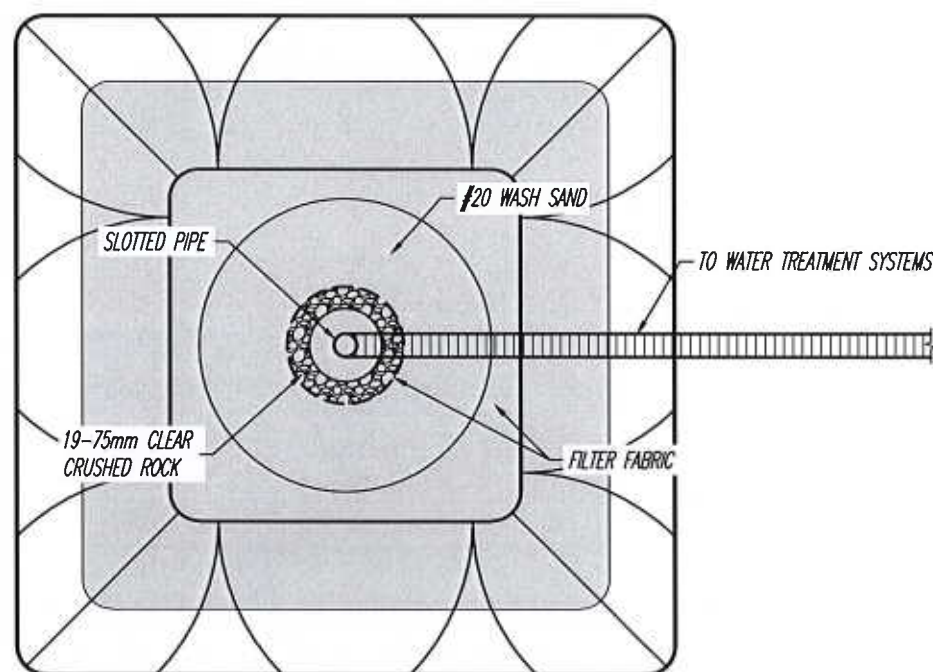
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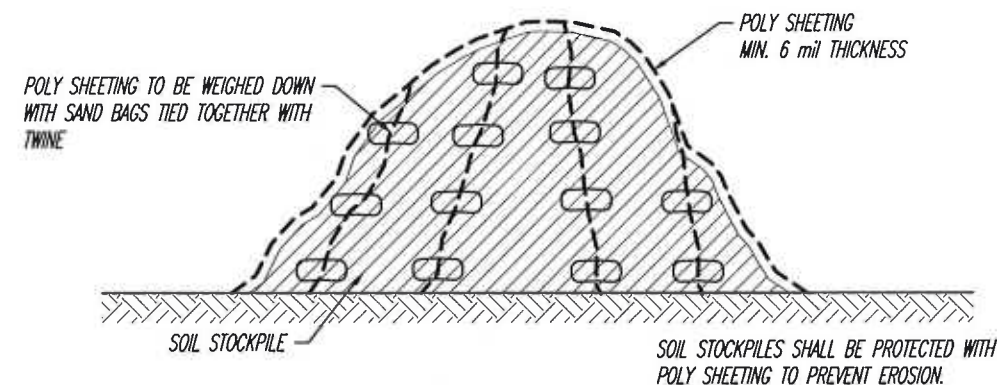
TYPICAL CROSS SECTION



TYPICAL PLAN VIEW

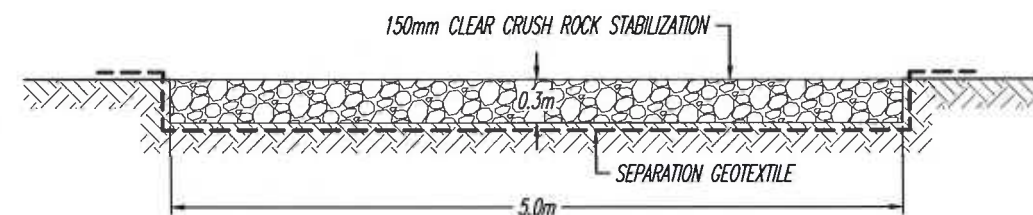
SUMP WITH SEDIMENT TRAP DETAIL - BMP C240

1:50



PLASTIC SHEETING - BMP C123

N.T.S.



GEOTEXTILE SEPARATION SPECS

GRAB TENSILE STRENGTH (ASTM D4751)	200psi MIN.
GRAB TENSILE ELONGATION (ASTM D4632)	30% MAX.
MULLEN BURST STRENGTH (ASTM D3786 - 80A)	400psi MIN.
AVERAGE OPENING SIZE (ASTM D4751)	20 - 45 (U.S. STANDARD SIZE)

STABILIZED CONSTRUCTION ACCESS DETAIL - BMP C105

1:50

LEGEND:

NO.	DATE	BY	REVISION



**GEOPACIFIC**  
VANCOUVER EDMONTON CALGARY

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SCALE:  
AS SHOWN

**PROPOSED RESIDENTIAL DEVELOPMENT**

1500 OXFORD STREET, WHITE ROCK, B.C.

**EROSION & SEDIMENT CONTROL DETAILS (1 OF 2)**

FILE NO:

**15792**

DRAWING NO:

**G-ESC2A**

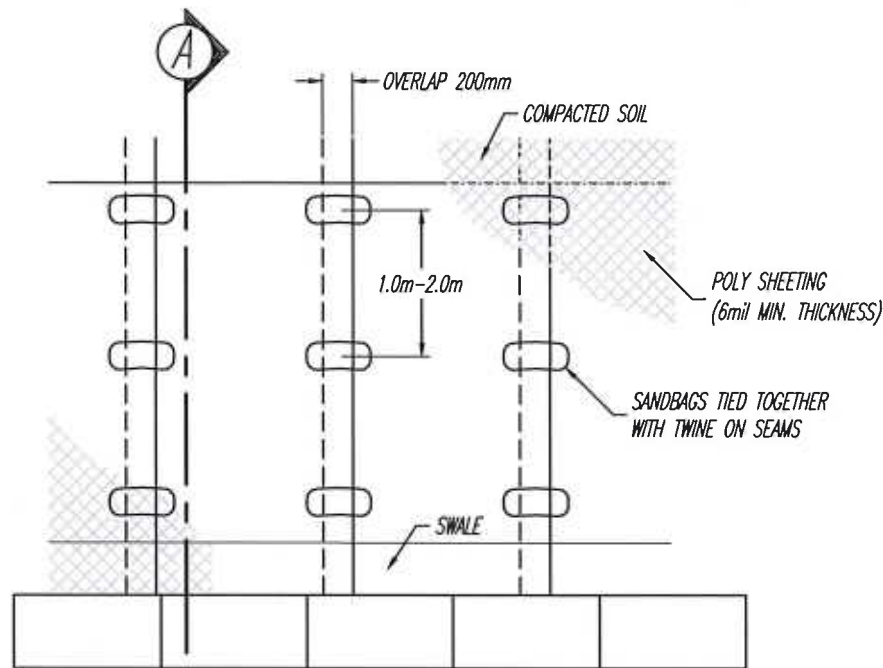
DATE:

**MARCH 12, 2021**

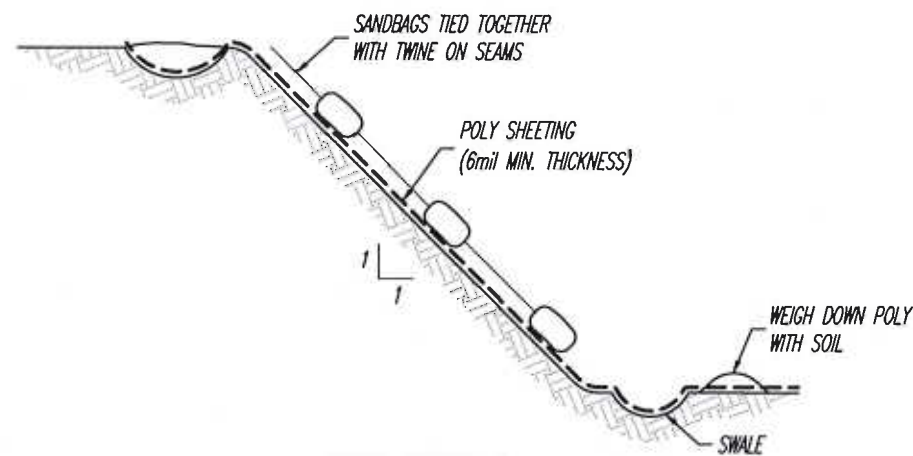
SEAL:



ORIGINAL PAPER SIZE 11"x17"



SLOPE PLAN VIEW



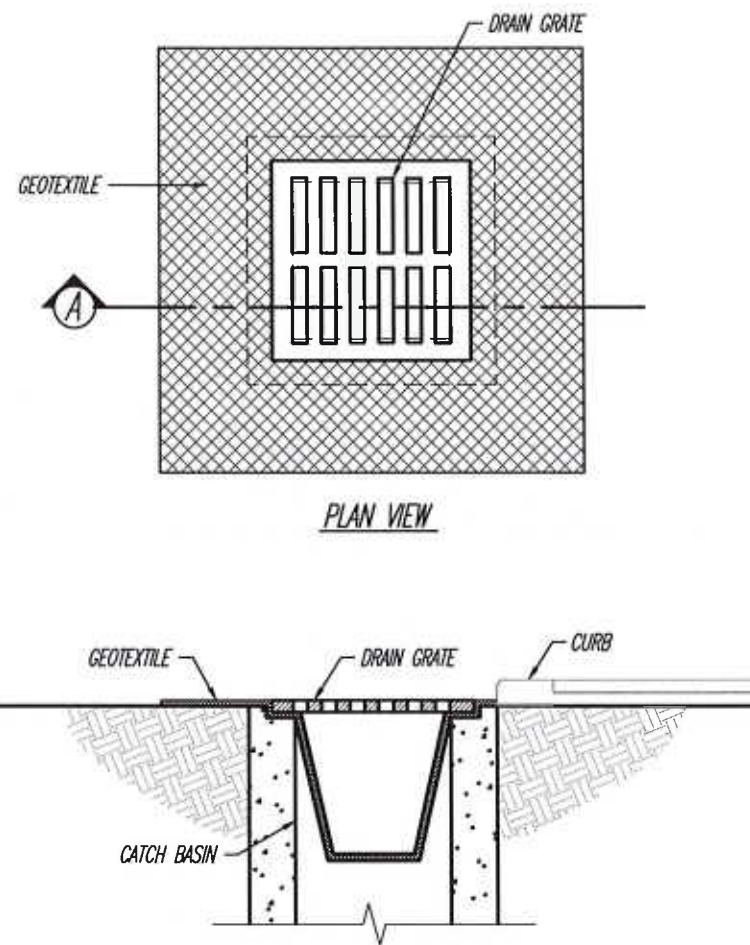
SLOPE SECTION A

PLASTIC COVERING - BMP C123

N.T.S.

NOTE:

1. POLYETHYLENE SHEETING WITH A MINIMUM THICKNESS OF 6mil TO BE USED.
2. SHEETING TO BE PLACED PARALLEL TO THE SLOPE WITH A MINIMUM 200mm OVERLAP BETWEEN SHEETS.
3. TRENCH TO BE EXCAVATED AT THE HEAD OF THE SLOPE TO ALLOW SHEETING TO BE SECURED UNDER COMPACTED SOIL.
4. TRENCH TO BE EXCAVATED AT THE TOE OF THE SLOPE, TO A DEPTH OF 300mm, WHICH WILL ACT AS A SWALE.
5. BURLAP OR GEOTEXTILE BAGS FILLED WITH SAND TO BE PLACED AT 1.0m TO 2.0m INTERVALS ALONG SEAMS. BAGS TO BE TIED TOGETHER WITH TWINE TO HOLD IN PLACE.
6. REGULAR INSPECTION OF THE SHEETING IS REQUIRED. TORN SHEETS MUST BE REPLACED AND OPEN SEAMS MUST BE SEALED.

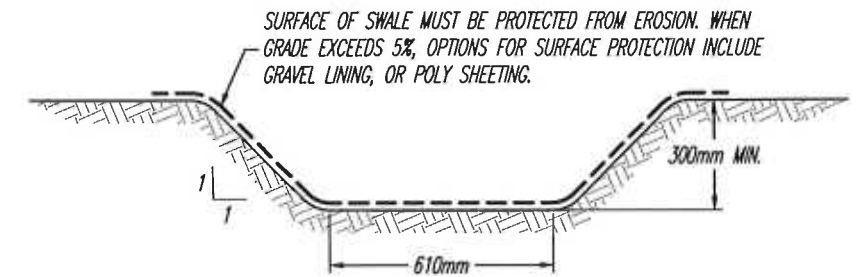


- STORE SPARE CATCH BASIN PROTECTION ONSITE AT ALL TIMES.
- INSPECT CATCH BASIN PROTECTION WEEKLY, AND DAILY DURING STORM EVENTS. CLEAN OR REPLACE WHEN 1/3 FULL, CLOGGED, OR SIGNS OF WEAR OCCUR.
- CATCH BASIN PROTECTION TO BE USED ON ALL CATCH BASINS WITHIN 150m OF SITE EXIT ALONG HAUL ROUTE.

SECTION A

CATCH BASIN SEDIMENT SACK DETAIL - BMP C220

N.T.S.



INTERCEPTOR SWALE DETAIL - BMP C200

1:20

SPACING OF CHECK DAMS BASED ON SLOPE OF SWALES

SLOPE	SPACING OF CHECK DAMS
0.5%	EVERY 50m
1.0%	EVERY 35m
1.5%	EVERY 20m
2.0%	EVERY 15m
2.5%	EVERY 12m
3.0%	EVERY 10m

NOTES:

- DRAINAGE SWALE TO BE CONSTRUCTED WITH MIN. SLOPE TO FACILITATE FLOW.
- SMALL SWALES SHALL DIRECT WATER INTO DRAINAGE SWALE.

- DURING ARID PERIODS OR DURING TIMES OF HIGH TRAFFIC OVER EXPOSED SOILS USE NATURAL OR ARTIFICIAL WIND BREAKS OR SCREEN.
- SPRINKLE WATER ON SITE UNTIL SURFACE SOILS ARE WETTED.
- SPRAY EXPOSED SOIL WITH DUST PALLIATIVE FOLLOWING MANUFACTURER'S INSTRUCTION.

DUST CONTROL - BMP C140

LEGEND:

NO.	DATE	BY	REVISION



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SCALE:  
AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT

1500 OXFORD STREET, WHITE ROCK, B.C.

EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)

FILE NO:

15792

DRAWING NO:

G-ESC2B

DATE:

MARCH 12, 2021





GENERAL NOTES

- 1. UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, ESC MONITOR, CIVIL CONTRACTOR, CIVIL SUBCONTRACTOR, BUILDER AND BUILDING SUB-TRADES; ENGAGED ONSITE SHALL COMPLY WITH THE REQUIREMENTS OF ALL REGULATORY AUTHORITIES, FEDERAL, PROVINCIAL AND MUNICIPAL GOVERNMENT DEPARTMENTS PERTAINING TO ONSITE MANAGEMENT AND DISCHARGE ASSOCIATED WITH EROSION AND SEDIMENT CONTROL REGULATIONS.
- 2. THE DEVELOPER/PERSONS RESPONSIBLE SHALL ENSURE THAT CONSTRUCTION ACTIVITIES ARE UNDERTAKEN IN A MANNER THAT ENSURES BEST MANAGEMENT PRACTICES ARE IMPLEMENTED TO CONTAIN ONSITE, SILT LADEN RUNOFF THAT EXCEEDS FEDERAL, PROVINCIAL, AND MUNICIPAL REQUIREMENTS, AND PREVENT ITS ENTERING DOWNSTREAM DRAINAGE INFRASTRUCTURE AND AQUATIC SYSTEMS.
- 3. THE DEVELOPER/OWNER/PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTIONS ISSUED BY THE ESC MONITOR TO RECTIFY DEFICIENCIES THAT RESULT IN NON-COMPLIANCE.
- 4. NO PERSON SHALL OBSTRUCT OR IMPEDE THE FLOW OF THE DRAINAGE SYSTEM. NO PERSON SHALL STORE, TRANSPORT OR DISPOSE OF ANY WASTE OR DELETERIOUS SUBSTANCES IN SUCH A MANNER SO AS TO PERMIT THE LIKELY ESCAPE OF THE MATERIALS INTO THE DRAINAGE SYSTEM, OR RELEASE DIRECTLY OR INDIRECTLY DELETERIOUS SUBSTANCES INTO THE DRAINAGE SYSTEM.
- 5. NO PERSON SHALL CAUSE OR PERMIT TO BE RELEASED INTO THE DRAINAGE SYSTEM, DIRECTLY OR INDIRECTLY, ANY SEDIMENT, EARTH, CONSTRUCTION OR EXCAVATION WASTES, CEMENT, CONCRETE OR OTHER SUBSTANCES WHICH WHEN MIXED WITH WATER WILL RESULT IN A PH AND/OR TURBIDITY VALUE OUTSIDE OF FEDERAL, PROVINCIAL, AND MUNICIPAL DISCHARGE REQUIREMENTS.
- 6. THE EROSION AND SEDIMENT CONTROL WORKS SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED UNTIL THE SITE NO LONGER POSES A THREAT TO THE DRAINAGE SYSTEM AND APPROVAL TO REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES HAS BEEN OBTAINED FROM THE ESC MONITOR.

MAINTENANCE

- 1. UPON INSTRUCTION/NOTIFICATION BY ENGINEER OF RECORD OR ESC MONITOR, PERSONS RESPONSIBLE ARE REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES TO MODIFY OR MAINTAIN ESC FACILITIES.
- 2. SHOULD ANY PART OF THE SEDIMENT CONTROL FACILITIES BECOME DAMAGED, BLOCKED OR IN ANY WAY NOT FUNCTION PROPERLY, THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO REPAIR AND/OR REMOVE SUCH DAMAGE, BLOCKAGE OR CAUSE OF MALFUNCTION.
- 3. ACCUMULATED SEDIMENT REMOVED DURING MAINTENANCE OF THE SEDIMENT CONTROL FACILITIES SHALL BE DISPOSED OF IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO THE SITE DRAINAGE SYSTEM, AND/OR INTO ANY STORM SEWER OR WATERCOURSE.
- 4. STREETS ARE TO BE INSPECTED DAILY AT MINIMUM AND SWEEPED TO ENSURE THAT NO SEDIMENT OR DEBRIS ENTERS THE STORM SYSTEM. FLUSHING IS NOT PERMITTED.
- 5. PAVED ROAD SURFACES ARE TO BE CLEANED OF ANY ACCUMULATED SEDIMENT AT THE END OF EACH DAY AS REQUIRED. NO MATERIAL WITH HIGH SEDIMENT CONTENT IS TO BE DEPOSITED OR PILED NEAR CATCH BASINS, LAWN BASINS OR OUTSIDE OF PROPERTY BOUNDARIES.

- 6. CATCH BASINS ARE TO BE INSPECTED DAILY AND FOLLOWING STORM EVENTS. SEDIMENT SACKS ARE TO BE REMOVED AND CLEANED WHEN THEY REACH APPROXIMATELY ONE THIRD CAPACITY.
- 7. SOIL DISTURBING CONSTRUCTION TO BE AVOIDED DURING PERIODS OF HEAVY OR PERSISTENT RAINFALL WHERE POSSIBLE.
- 8. STOCKPILED MATERIAL AND ALL EXPOSED SLOPES TO BE COVERED WITH 6 MIL THICK POLYETHYLENE SHEETING ANCHORED WITH WEIGHTS.
- 9. SILT FENCES AND BARRIERS ARE TO BE INSPECTED AND REPAIRED PRIOR TO FORECASTED RAIN EVENTS, AND FOLLOWING SIGNIFICANT RAINFALL EVENTS OR PERIODS OF EXTENDED RAIN. SEDIMENT TO BE REMOVED WHEN IT HAS REACHED APPROXIMATELY ONE THIRD THE HEIGHT OF THE FENCE.
- 10. SITE ACCESS PADS TO BE INSPECTED DAILY TO ENSURE FUNCTIONALITY AND ADDITIONAL ROCK IS TO BE ADDED AS REQUIRED.
- 11. NO CONCRETE WASH WATER IS TO BE DIRECTED INTO THE SEDIMENT CONTROL SYSTEM OR THE STORM SEWERS. ALL CONCRETE TRUCKS ARE TO BE EQUIPPED WITH A RECIRCULATORY WASH SYSTEM. NO DISCHARGE FROM CONCRETE TRUCKS IS PERMITTED ON THE STREET OR TO ENTER THE ONSITE DRAINAGE SYSTEM.
- 12. AN ADDITIONAL SUPPLY OF MATERIALS SHALL BE STORED ONSITE TO ENABLE A SUITABLE RESPONSE TO ANY MAINTENANCE ACTIONS REQUIRED.
- 13. WET WEATHER SHUT DOWN PROCEDURES TO INCLUDE SUSPENDING ANY HAULING OR MAJOR EARTHWORK ACTIVITIES USING UNPAVED ROAD SURFACES PRIOR TO FORECASTED RAIN EVENTS EXCEEDING 25mm IN 24 HOURS. ALL ERODIBLE SURFACES MUST BE STABILIZED, OR COVERED WITH POLY SHEETING, PRIOR TO SIGNIFICANT RAINFALL EVENT. ANY WATER POOLING ONSITE MUST BE DIRECTED TO SUMP AND TREATED BY WATER TREATMENT SYSTEM PRIOR TO DISCHARGE. NO UNTREATED WATER IS TO ENTER THE STORM SYSTEM.

MONITORING, SAMPLING AND TESTING PROGRAM

- 1. ALL DISCHARGE TO MUST MEET THE PH RANGE REQUIREMENT OF 6.0-9.0.
- 2. THE TOTAL SUSPENDED SOLIDS OF ALL DISCHARGE MUST NOT EXCEED 75 mg/L.
- 3. WHERE ANY WASTE, DELETERIOUS SUBSTANCE, OR WATER RELEASED DIRECTLY OR INDIRECTLY INTO THE DRAINAGE SYSTEM EXCEEDS THE ALLOWABLE PH, TURBIDITY AND/OR TOTAL SUSPENDED SOLIDS LEVELS, ALL DISCHARGE IS TO BE CEASED AND CORRECTIVE MEASURES ARE TO BE IMPLEMENTED IMMEDIATELY.
- 4. A LOGBOOK OF ALL INSPECTIONS SHALL BE MAINTAINED ONSITE AND BE MADE AVAILABLE TO THE CITY UPON REQUEST.
- 5. WATER QUALITY MONITORING AND ESC FACILITIES INSPECTIONS BY THE ESC MONITOR SHOULD BE CONDUCTED AT THE MIN. FREQUENCY NOTED BELOW.
- 6. INSPECTION REPORTS SHALL BE SUBMITTED TO THE DEVELOPER AND CONTRACTORS.

MIN. MONITORING FREQUENCY

MIN. REPORTING FREQUENCY

YEAR ROUND

MONTHLY

WITHIN 7 DAYS OF INSPECTION



DECOMMISSIONING

- 1. BUILDING CONSTRUCTION MUST BE AT STREET LEVEL OR HIGHER WITH ALL EXPOSED SURFACES STABILIZED PRIOR TO BEGINNING THE PROCESS OF DECOMMISSIONING ANY ESC FACILITIES.
- 2. APPROVAL TO ALTER AND/OR REMOVE ANY COMPONENT OF THE WATER TREATMENT SYSTEM MUST BE OBTAINED FROM THE ESC MONITOR.
- 3. PRIOR TO RECEIVING FOR APPROVAL TO REMOVE COMPONENTS OF THE WATER TREATMENT SYSTEM, WATER QUALITY TESTING OF THE UNTREATED WATER IN THE BUILDING SUMP WILL BE CONDUCTED TO ENSURE ALLOWABLE TURBIDITY AND/OR PH LEVELS CAN BE MAINTAINED WITHOUT ADDITIONAL TREATMENT. THE PH TREATMENT COMPONENT OF THE SYSTEM MUST REMAIN ONSITE UNTIL ALL MAJOR CONCRETE POURS HAVE BEEN COMPLETED AT MINIMUM.
- 4. THE DECOMMISSIONING OF ANY ESC FACILITIES WITHOUT PRIOR APPROVAL MAY RESULT IN FINES AND/OR A STOP WORK ORDER.

ENFORCEMENT

- 1. FAILURE TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR TO COMPLY WITH MUNICIPAL REGULATIONS MAY RESULT IN FINES AND/OR A STOP WORK ORDER.
- 2. FEDERAL ENVIRONMENTAL OFFENCES ARE STRICT LIABILITY OFFENCES AND CAN RESULT IN FINES AND/OR INCARCERATION.

ORIGINAL PAPER SIZE 11"x17"

LEGEND:	NO.	DATE	BY	REVISION	 <b>GEOPACIFIC</b> VANCOUVER KALLOOFS CALGARY 1779 W. 76th Avenue Vancouver, B.C. V6P 6P2 P 604.455.0922 F 604.459.9699	DESIGNED BY: A.Ge.	<b>PROPOSED RESIDENTIAL DEVELOPMENT</b>  1500 OXFORD STREET, WHITE ROCK, B.C.	FILE NO: <b>15792</b>	
						DRAWN BY: N.K.		DRAWING NO: <b>G-ESC3</b>	
						APPROVED BY: R.A.		DATE: <b>MARCH 12, 2021</b>	
						REVIEWED BY: M.T.L.			
						SCALE: AS SHOWN			
								<b>EROSION &amp; SEDIMENT CONTROL SPECIFICATIONS</b>	





Reference: 376880

July 7, 2021

His Worship Mayor Darryl Walker  
and Councillors  
City of White Rock  
15322 Buena Vista Avenue  
White Rock BC V4B 1Y6

Sent via email: [dwalker@whiterockcity.ca](mailto:dwalker@whiterockcity.ca)

Dear Mayor Walker and Council:

Thank you for your letter of April 27, 2021, addressed to my colleague, the Honourable Katrine Conroy, Minister of Forests, Lands, Natural Resource Operations and Rural Development, regarding assistance related to enforcement along the foreshore intertidal areas along the City of White Rock's waterfront. As your enquiry falls under the jurisdiction of the Ministry of Environment and Climate Change Strategy, I am pleased to respond on behalf of Minister Conroy. I apologize for the lengthy delay in responding.

The Conservation Officer Service (COS) works hard to protect the environment, fish, and wildlife across B.C. We understand people are passionate about ensuring environmentally sensitive habitats for fish and wildlife species are protected from unauthorized activities for future generations.

Conservation officers proactively patrol conservation lands, such as Wildlife Management Areas, to help deter unauthorized activities. Conservation officers also respond to violation reports as necessary.

Every year, the COS issues warnings and violation tickets under a range of legislation, such as the *Wildlife Act* or *Environmental Management Act*. We also often work with municipalities to help remind users that regulations are in place to protect these important areas.

Regarding the regional deployment of conservation officers, this is regularly reviewed and adjusted by the COS as required. There are several factors for consideration for conservation officer deployment, including officer safety, geographic location and call volume. The COS has prioritized the doubling of single officer posts and placing new conservation officers in communities with the highest calls for service. No new offices have been opened.

...2

It may interest you to know the COS has entered into enhanced service level agreements with other municipalities and regional districts, whereby those local governments financially support enhanced compliance and enforcement operations.

The COS would welcome similar discussions with the City of White Rock. Should there be interest in exploring the potential for such an agreement, please feel free to reach out directly to Andrew Milne, South Coast Regional Inspector, at 236-527-2005 or by email at [Andrew.Milne@gov.bc.ca](mailto:Andrew.Milne@gov.bc.ca).

Thank you again for taking the time to write.

Sincerely,



George Heyman  
Minister

cc: Honourable Katrine Conroy, Minister of Forests, Lands, Natural Resource Operations  
and Rural Development  
Andrew Milne, South Coast Regional Inspector, Conservation Officer Service, Ministry  
of Environment and Climate Change Strategy



MAYOR DARRYL WALKER  
OFFICE OF THE MAYOR  
WHITE ROCK, BC CANADA

April 27, 2021

File No. 0220-20-04

Transmitted by Email: [FLNR.Minister@gov.bc.ca](mailto:FLNR.Minister@gov.bc.ca)

Honourable Katrine Conry  
Minster of Forests, Land, Natural Resource Operations  
PO Box 9352 Stn Prov Govt  
Victoria, BC V8W 9M1

Dear Minister Conry:

**Re: Enforcement on Foreshore – Intertidal Area (Semiahmoo Bay)**

At the Special Council meeting on April 21, 2021, Council endorsed staff to initiate communications to seek support from the province on enforcement along the foreshore or intertidal areas along the City of White Rock's waterfront area due to activities of ongoing concern. The area is Semiahmoo Bay and located within the Boundary Bay Wildlife Management Area (WMA).

We wanted to bring to your attention, activities of concern and which have a negative, environmental impact and pose safety issues to others related to off leash dogs on the foreshore and lack of enforcement. This is a common occurrence along the foreshore, which is often brought to the City's attention by residents on numerous occasions. The City does not have the ability to enforce this area.

In addition, and with the warmer months ahead, the City is also experiencing frequent beach fires occurring during the evenings along the waterfront stretch, especially on weekends, which impacts the resources of Fire Services.

We are asking that the province assist with more frequent enforcement along this stretch of the foreshore, especially during the weekends on warm days, when these activities are more accelerated.

In the meantime, I thank you for your consideration in this matter and look forward to your reply.

Yours truly,

Darryl Walker, Mayor

cc: White Rock City Council  
cc: Corporate Administration

**From:** [Krystal Boros](#)  
**To:** [Clerk's Office](#)  
**Cc:** [Gayle Martin](#); [Terry Waterhouse](#); [Tracey Arthur](#); [Sandra MacKay](#)  
**Subject:** E-Comm Board of Directors Nomination | 2021-2022 Term  
**Date:** July 9, 2021 11:44:30 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)  
[image005.png](#)  
[image007.png](#)  
[image009.png](#)  
[image011.png](#)  
[LTR - 2021-22 Board Nomination - White Rock 9Jul-21.pdf](#)  
[Attachment 1 - Section 4.2 Members" Agreement.pdf](#)  
[Attachment 2 - FAQ \(Updated 29Jun-21\).pdf](#)

*CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.*

Good morning,

The E-Comm Annual General Meeting will take place virtually on September 23, 2021 and at that time the Board of Directors will be elected by the Shareholders.

The attached letter details our request for a nominee from your municipality. We respectfully request that you review the attached letter and provide us with written confirmation by August 13, 2021.

Please call or email if you have any questions or require additional information.

Thank you,

**Krystal Boros**, Assistant Corporate Secretary and Freedom of Information Officer

C: 604-218-6941

**E-Comm 9-1-1**  
Helping to Save Lives and Protect Property



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VIA EMAIL – c/o [clerksoffice@whiterockcity.ca](mailto:clerksoffice@whiterockcity.ca)

July 9, 2021

Mayor Darryl Walker and Council  
City of White Rock  
15322 Buena Vista Avenue  
White Rock, BC V4B 1Y6

Dear Mayor Walker and Council,

**RE: E-Comm Board of Directors Designate — 2021-2022 Term**

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The Virtual Annual General Meeting (the “Meeting”) of the Shareholders (Members) of E-Comm *Emergency Communications for British Columbia Inc.* (“E-Comm”) will be held on Thursday, September 23, 2021 and, at that time, the Board of Directors will be elected by the Members for the 2021-2022 term.

Nominee for the coming term to be selected

The Members’ Agreement among E-Comm’s shareholders sets out how the Board of Directors is to be elected. For your reference, we attach a copy of section 4.2 of the Members’ Agreement, headed “Designation and Election of Directors” which contains the applicable provisions.

Your organization falls into the group of which described at subsection 4.2.1.5. Pursuant to Section 4.2.1.5 of the E-Comm Members’ Agreement, your Designated Group of Members is entitled to nominate two mutually agreed upon individuals for election to the Board of Directors of E-Comm. At present, your grouping is comprised of these municipalities:

	Class A	Class B
City of Langley	1	-
Township of Langley	1	2
City of Surrey	2	1
<b>City of White Rock</b>	<b>2</b>	-

The current representatives for your Designated Grouping are Gayle Martin, City of Langley and Terry Waterhouse, City of Surrey.

Because your municipality is among a Designated Group of Members who must mutually agree upon your nominees, **we respectfully request that you confer with the other members of your grouping to confirm your selections for the coming term and provide the names of such individuals not later than August 13, 2021.** This will help to ensure a smooth nomination process.

Who is eligible?

The Board of E-Comm is committed to good governance and seeks Directors who possess the experience, skills, and attributes to effectively serve the interests of all shareholders and our other stakeholders. An effective Director will have competencies in many, or most, of the following areas: knowledge of the fields of emergency communications, police, fire, or ambulance first response or public-safety, knowledge of the role of a board, analytical skills including financial acumen, leadership skills, good communication skills, sound judgment, high integrity and the ability to influence others. Further, the Board of Directors believes that its



composition should reflect the rich diversity of the communities that E-Comm serves and has adopted a Board Diversity policy in support of that objective.

#### Commitment

The E-Comm Board of Directors provides oversight of all of the business and affairs of the Company. The Board meets not less than five times per year – meetings are held during regular working hours, typically commencing in the morning and running until mid or early afternoon, at E-Comm's Vancouver centre. Two additional Board sessions are also held annually for strategic planning and Board education. There are three standing committees of the Board (Finance, Governance, and Human Resources and Compensation), each meeting five times per year. Participation on committees is voluntary, but encouraged.

Although Shareholders are required to elect Directors every year, we hope that nominees are willing to serve for not less than two years, in part because the Company is complex and there is a learning curve to be expected. We encourage Directors to serve additional terms. There are no term limits in place, although we strive to balance the value of experienced Directors with that of newcomers.

#### Next steps

**We kindly request that the City of White Rock, following discussion within your Designated Grouping, advise E-Comm (to the attention of the writer) with written confirmation by August 13, 2021, of the name and contact information of your mutually-agreed upon nominees to the E-Comm Board for the 2021-2022 term.** The question and answer document enclosed in this package includes a sample motion confirming your nomination, if required. Virtual meeting details will be shared with your nominees in advance of the AGM.

Please note that nominating a Director is a separate process from designating a representative to vote your shares at the Virtual Annual General Meeting (AGM) in September. As such, I will be contacting you again in mid-August with the notice of AGM and requesting that you designate one individual to attend the Virtual Annual General Meeting of the Shareholders for the purposes of voting the City of White Rock shares. Virtual meeting details will be shared with your voting representative in advance of the AGM.

Yours truly,



Krystal Boros  
Assistant Corporate Secretary

t | 604.218-6941  
e | krystal.boros@ecomm911.ca

cc Councillor Gayle Martin, City of Langley  
Terry Waterhouse, City of Surrey  
Tracey Arthur, City of White Rock, Director, Corporate Administration

being provided to Members and other Special Users, and anticipated to be provided to the Members then holding Class B Shares; and

- 3.7.2.3 the Special User Agreement effectively provides that the Special User will fulfil its financial obligations with respect to the Company Services received by it as if it were a Class A Member.

Subject to Section 4.11.3, a Special User Agreement may be executed between a Special User and the Company at any time notwithstanding when the Government Agency established for the purposes of holding a Class A Share in place of that Special User becomes a Member.

#### **4. BOARD OF DIRECTORS**

##### **4.1 BOARD OF DIRECTORS**

The Company shall have a Board comprised of not less than three nor more than twenty-five directors, with the actual number of directors as determined by the Class A Members as provided below.

##### **4.2 DESIGNATION AND ELECTION OF DIRECTORS**

4.2.1 The Members shall be entitled to designate directors as hereinafter provided:

4.2.1.1 one individual designated by the BCEHS;

4.2.1.2 one individual designated by Vancouver;

4.2.1.3 one individual designated by the Vancouver Police Board;

4.2.1.4 one individual designated by the following group:

(a) each Police Board which directly holds a Class A Share or Class B Share, other than Vancouver Police Board and Delta Police Board; and

(b) each Police Board which has a Class A Share or Class B Share in respect of Police Services held by its respective municipality, other than Vancouver Police Board and Delta Police Board;

4.2.1.5 such number of individuals as are set forth below, to be designated by the following designated group of Class A Members or Class B Members (each group being called a "Designated Group of Members"), if one or more of the Municipalities within a Designated Group of Members is a Class A Member or a Class B Member, as hereinafter set forth:

No. of Individuals  
which may be  
Designated

Designated Group of Members

1

West Vancouver, North Vancouver City,  
North Vancouver District and Lions Bay

- 1 or 2      2 individuals if Burnaby, together with any one or more of New Westminster, Coquitlam, Port Moody, Port Coquitlam, Anmore and Belcarra are a Member; provided however that if Burnaby is not a Member, any one or more of New Westminster, Coquitlam, Port Moody, Port Coquitlam, Anmore and Belcarra which is a Member can designate 1 individual to be a director
- 1      Richmond
- 2      Surrey, White Rock, Langley City and Langley District
- 1      Delta and the Delta Police Board
- 1      Maple Ridge, Pitt Meadows and Mission
- 1      Abbotsford, Chilliwack and Fraser Valley Regional District
- 1      Squamish, Lillooet and Sechelt;

and

- 4.2.1.6      One individual designated by all other Members holding Class A Shares and Metro Vancouver, other than as set forth in Sections 4.2.1.1 to 4.2.1.5, inclusive.
- 4.2.2      The RCMP, and in replacement therefor upon the Government Agency referred to in Section 3.7.1 becoming a Class A Member, that Government Agency, shall be entitled to designate one individual to act as director.
- 4.2.3      If provided in a Special User Agreement entered into pursuant to Section 3.7.2 or if otherwise authorized by the Board under Section 4.11.3, each Special User, and in replacement therefor upon the Government Agency for that Special User referred to in Section 3.7.2 becoming a Class A Member, that Government Agency, shall be entitled to designate one individual to act as director.
- 4.2.4      The group comprised of: the Capital Regional District and those Vancouver Island police agencies, including any RCMP detachment, to which the Company provides police dispatching services shall be entitled to designate one individual to act as director.
- 4.2.5      The Provincial government, acting through the Ministry of Public Safety and Solicitor General, whether it holds a Class A Share or not, shall be entitled to designate two individuals to act as directors.
- 4.2.6      Subject as hereinafter provided, the directors designated pursuant to Sections 4.2.1, 4.2.2, 4.2.3 and 4.2.4 shall designate four additional persons, independent from the Members, to be directors of the Company (the



"Independent Directors"), who have an interest or expertise in the Purpose or the Company Services to be provided by the Company.

- 4.2.7 The Members agree to vote their Class A Shares for the election as directors of the persons designated pursuant to Sections 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.2.5 and 4.2.6.
- 4.2.8 For the purposes of Section 4.2.1.5, upon anyone or more Municipalities within a Designated Group of Members becoming a Class A Member or a Class B Member, such Municipality or Municipalities will be entitled to designate the individual to be a director for the purposes of Section 4.2.1.5. As additional Municipalities within that Designated Group of Members become Class A Members or Class B Members, as the case may be, such additional Municipalities shall be deemed to have agreed to the individual as designated and elected a director for that Designated Group of Members and no changes will be required to be made with respect to any such individual, unless such individual shall cease to be a director in any other manner such as resignation, until the next following annual general meeting or annual consent resolution. Prior to any annual general meeting or annual consent resolution of the Class A Members, a Designated Group of Members shall agree on the individual to be designated by them for the purpose of Section 4.2.1.5 within a time period sufficient for that individual's name to be placed before the Class A Members, as determined by the Board.

#### **4.3 VACANCIES ON BOARD**

Any vacancies on the Board created by an individual designated under Section 4.2.1, 4.2.2, 4.2.3, 4.2.4 or 4.2.5 shall be filled by an individual designated by the Member or Members who designated the individual who is no longer a director, the Special User who designated the individual who is no longer a director, or the Provincial government, as the case may be, and any vacancies in any Independent Directors shall be filled by the remaining directors in accordance with Section 4.2.6.

#### **4.4 NO RESTRICTIONS ON AFFILIATION TO MEMBERS**

Directors designated pursuant to Section 4.2.1 may be appointed or elected officials from a Member or may be persons from the general public with no affiliation to a Member.

#### **4.5 REMUNERATION FOR DIRECTORS**

Directors shall be entitled to fees for acting as a director of the Company, as determined in an Authorized Operating Budget. All directors may be paid reasonable expenses incurred when acting as directors.

#### **4.6 QUORUM AT DIRECTORS MEETINGS**

The quorum for all meetings of the Board shall consist of a majority of the directors. Meetings of the Board shall be held in accordance with the Articles of the Company and this Agreement.

#### **4.7 EXECUTIVE MEMBER OF THE BOARD**

The President of the Company shall be an executive member of the Board and as such shall be entitled to be present at all meetings of the Board and to take part in all discussions at meetings

## **Board of Directors: Common Questions & Background**

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**Q. How should the nominating resolution of our council/board read?**

- A. Exact wording is at the discretion of your organization, however council/board motions should include the name of the nominee, specification of the E-Comm Board term (e.g. 2021-2022) and reference to election at the Annual General Meeting of E-Comm shareholders.

For example “THAT (enter municipality/board/organization) nominate (name) to serve as the nominee of municipality/board/organization) to the E-Comm Board of Directors for the 2021-2022 term, such Board to be elected by E-Comm shareholders at the September 23, 2021 Annual General Meeting.”

**Q. What is the role of the E-Comm Board of Directors?**

- A. The E-Comm Board of Directors is responsible for stewardship of the entire E-Comm organization – it provides strategic oversight of the business and affairs of the company. E-Comm Directors are also the most senior representatives of the organization to the public and our stakeholders. To conduct its work efficiently, the Board has three standing committees: Finance, Governance and Human Resources and Compensation.

**Q. Who elects the Board of Directors?**

- A. The Shareholders elect the Board of Directors at the Annual General Meeting (AGM) of the Company. A Members’ Agreement among the shareholders sets out who may select nominees to the Board of Directors. Nominating entities are expected to select their nominee and advise the E-Comm Assistant Corporate Secretary of the name of their nominee by August 13, 2021 – the candidate is then put forward for election by the shareholders-at-large at the AGM in September 2021.

**Q. What time commitment is required of Directors?**

- A: The Board holds five regular meetings each year, during business days, typically for four hours. The meeting schedule is published well in advance. The Board Committees also meet five times each year, during the business day, for approximately two hours each meeting.

Two additional full or half day sessions occur annually: a Board education and orientation session and a strategic planning session.

As a best governance practice, the Board does expect a high attendance rate from its Directors.

**Q. Why is the Board of Directors term only one year? Can we nominate someone for more than one term?**

- A. The E-Comm Corporate Articles specify a term of one year. Nominating Entities may advise the Corporate Secretary in writing if they wish their nominee’s name to stand for election for a specific number of terms (e.g. four). However, the Corporate Secretary must confirm in writing each year that the standing nomination remains intact, however there will be no further action for the Nominating Entity unless they wish to make a change from their previous direction.

In the case of Nominating Entities that are part of a grouping, the Assistant Corporate Secretary must receive written confirmation from each nominating entity of the standing nomination, including specification of number of terms. The direction must be consistent among all members of the grouping; otherwise all members of the grouping must be contacted each year asking for confirmation of the nomination.

**Q. If my organization/municipality is part of a grouping, do we have to agree on the nominee?**

A. The E-Comm Members' Agreement specifies that each designated group of members shall agree on their individual nominee. Consultation on a mutually-agreeable nominee should be undertaken prior to advising the E-Comm Assistant Corporate Secretary of the name of the nominee.

**Q. What is the difference between nominating a Board Director and sending someone to the AGM?**

A. The individual Board nominees, once elected at the AGM, will serve on E-Comm's Board throughout the coming year, attending various Board and committee meetings, and participating in the supervision of the organization's affairs. Your organization's representative at the AGM is simply the person who attends the AGM that day on behalf of your organization, and votes your share on any resolutions or votes which occur at the AGM that day (this could be your nominee, but it could be another individual). That person's role and duties cease after the AGM has adjourned.

**Q. Why do you contact us in July when the Board is not appointed by Shareholders until September?**

A. We provide sufficient notice of the process to allow for conferring with other members of member groupings, council and or other motions that may be required.

**Q. What do directors receive for remuneration?**

A. Meeting rates are \$397 per meeting (for Directors who are not full-time employees of a Member, the Provincial Government or Special User), twice that amount for meetings longer than four hours in duration. Board meetings are generally less than four hours.

**Q. Who do I contact with questions?**

A. Krystal Boros, Assistant Corporate Secretary, 604-218-6941

### About the annual general meeting

**Q. What is an AGM?**

- A. A general meeting of all shareholders of E-Comm is required to occur at least once annually under the Business Corporations Act (BC), which regulates E-Comm's corporate governance.

**Q. What happens at an AGM?**

- A. The compulsory items on the agenda are the election of Directors, the appointment (or reappointment) of the auditors, and the presentation of previous year's financial statements. Usually, a number of additional items are also placed on the agenda, such as a general report from the Directors, or presentations on new initiatives. Special business items could also be dealt with (such as changing the Corporate Articles), but shareholders would receive notice of any special business with the notice of meeting. As the Company just held a Special General Meeting in June 2021, no special business is expected at the 2021 September AGM.

**Q. Who should attend the AGM?**

- A. A representative of the shareholder should attend the AGM to vote on the matters listed above including electing the Board of Directors. The selection of an appropriate representative is entirely the choice of the shareholder.

**Q. What are Shareholders entitled to vote on?**

- A. Holders of Class A shares have one vote per share on all matters requiring a vote at the AGM, including any items of special business. Class B shares are generally non-voting, except for matters which involve certain fundamental changes – these are listed and specified in the E-Comm Corporate Articles.

**Q. What is the voting process at the AGM?**

- A. Votes are conducted by a simple show of hands (voting cards) unless a shareholder demands at the meeting that a formal ballot or "poll" vote occur on a particular resolution.

**Q. What if no one can attend, can we proxy our vote?**

- A. Yes. A shareholder can appoint a proxyholder (in writing) to attend and vote on the shareholder's behalf at the AGM. The proxyholder need not be a member themselves.

Proxies must be in writing, must specify the name of the shareholder, the identity of the proxyholder, and reference the AGM in question. A form of proxy will issue with the formal notice of the AGM. Proxies must be signed by an authorized signatory of the shareholder and pre-registered with E-Comm at least 2 business days prior to the AGM.

**Q. How will my shares be voted if I return a proxy?**

- A. Proxies usually grant the proxyholder the ability to vote on all matters at the meeting, in their discretion. If a shareholder wishes, it can restrict that discretionary power by stating in the proxy form that its shares must be voted in a certain manner on specified resolutions or votes which it anticipates will be before the meeting. Such language, if included, needs to be clear and unambiguous.

**Q. Can a proxy be revoked?**

- A. Once granted, proxies can also be revoked, but written revocation signed by the shareholder must be given to E-Comm at least one business day prior to the AGM.

**Q. Who chairs the AGM?**

- A. E-Comm's Corporate Articles specify that the chair of the Board of Directors will also chair the AGM.

**Q. How important is it that we send someone?**

- A. As a shareholder of E-Comm we strongly urge you to ensure that you shares are represented, but it is not necessary that you be represented in-person – proxy voting is equally acceptable and effective, particularly when the AGM is held virtually.

**Q. What if I have a question about the AGM?**

- A. Contact Krystal Boros, Assistant Corporate Secretary, at 604-218-6941.



265615

July 7, 2021

**VIA EMAIL: [dwalker@whiterockcity.ca](mailto:dwalker@whiterockcity.ca)**

Darryl A. Walker, Mayor  
City of White Rock

Re: Modernizing Forest Policy - Local Government Engagement Sessions

Dear Mayor Walker:

On June 1, 2021, the Honourable Katrine Conroy, Minister of Forests, Lands, Natural Resource Operations and Rural Development sent a letter to local government leaders introducing government's intentions for [Modernizing Forest Policy in British Columbia \('Intentions Paper'\)](#). These 20 policy intentions were developed based on extensive consultation and engagement on forest policy and program changes over the last few years where local governments and others provided input, including changes to forest management as part of the *Forest and Range Practices Act* Improvement Initiative, Interior Forest Sector Renewal, Coast Forest Sector Revitalization and the Old Growth Strategic Review.

The Ministry of Forests, Lands, Natural Resource Operations and Rural Development (the 'Ministry') is seeking your insight and input into these policy changes as leaders of your communities. The Ministry will host several regionally focused, virtual engagement sessions this month, in cooperation with UBCM. This letter is your invitation to attend a session and provide insight and input into forest policy change.

With many significant policy changes on the horizon, these July engagement sessions will focus on two-thirds of the changes over the span of a couple hours. These sessions will be designed to learn a bit about the policy area and ask questions, as well as provide input. An online feedback portal is available for you to submit insight and input on behalf of your team of elected leaders and communities either after the session, or as an alternative to attending the session if the timing is not going to work for you. The policy topic areas of focus and summaries for each topic, called 'conversation starters,' are available in Appendix 1.

Please use the link below to register for your regional virtual engagement session on July 27<sup>th</sup> 1:30pm-4:00pm

[https://us02web.zoom.us/meeting/register/tZAodeCtrzsuGNM8\\_IN4Ep5ZSyRPHzWPt2qs](https://us02web.zoom.us/meeting/register/tZAodeCtrzsuGNM8_IN4Ep5ZSyRPHzWPt2qs)

Upon registration, the Ministry will follow up with more details related to our virtual meeting. If this time does not work for you, you can either ask to attend a different regional session via [Forest.Policy@gov.bc.ca](mailto:Forest.Policy@gov.bc.ca) or send your comments into the [online consultation and engagement feedback form](#) previously mentioned.

With many forest policy topics to discuss in a short amount of time, it would be good to hear from you before our session which topics are of greatest interest to your community. With this pre-session input, we can prioritize our time to these topics. To highlight your priority policy topics, [please click here](#).

I appreciate summer engagement sessions are not easy, especially with local government managing through floods in the spring and reacting to wildfires over the last several weeks on top of regular business. Although this timing is not ideal, I anticipate that these topics are of great interest. I look forward to hearing your perspective, and I hope you can join me to engage on the Ministry's next steps toward a better forest sector.

Sincerely,

A handwritten signature in blue ink that reads "Michael Pedersen". The signature is fluid and cursive, with a long horizontal stroke extending from the end.

Mike Pedersen  
Executive Director

Ministry of Forests, Lands, Natural Resource Operations and Rural Development  
[Mike.Pedersen@gov.bc.ca](mailto:Mike.Pedersen@gov.bc.ca)

## **Appendix 1: Policy Change Topics and Timing for Consultation and Engagement**

### **POLICY TOPICS**

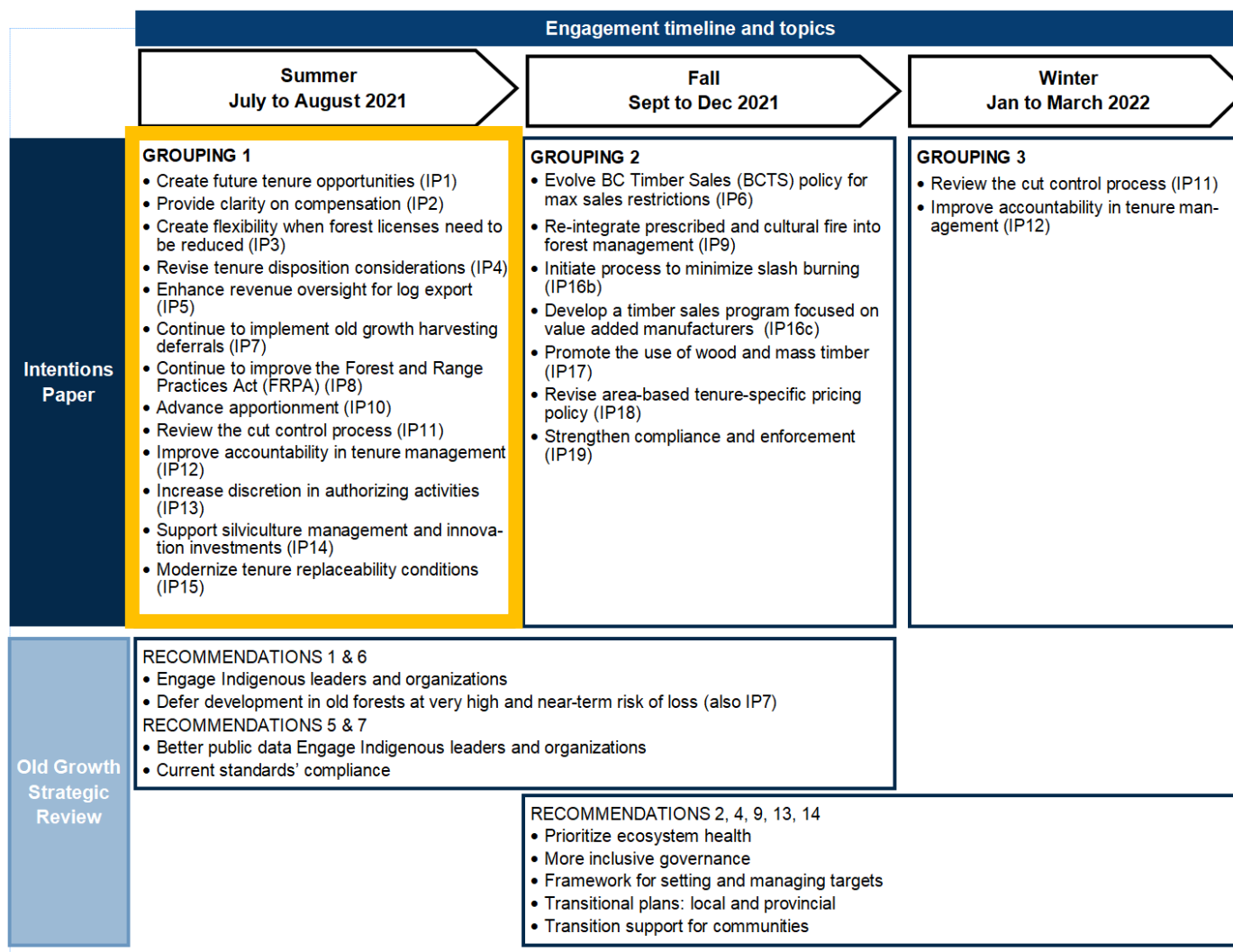
Topics for summer consultation, for possible legislative and regulatory amendments in fall 2021, and engagement are below. Background on each topic is found on the following pages.

<b>For consultation this summer</b>	<b>For engagement this summer</b>
<ul style="list-style-type: none"><li>• Creating future tenure opportunities – Intention Paper topic #1</li><li>• Providing clarity on compensation – Intention Paper topic #2</li><li>• Creating flexibility when forest licences need to be reduced – Intention Paper topic #3</li><li>• Enhancing revenue oversight for log exports - Intention Paper topic #5</li><li>• Committing to implementing further deferrals of old growth forests – Intention Paper topic #7</li><li>• Continuing to improve the Forest and Range Practices Act – Intention Paper topic #8</li></ul>	<ul style="list-style-type: none"><li>• Revising tenure disposition considerations – Intention Paper topic #4</li><li>• Advancing apportionment – Intention Paper topic #10</li><li>• Reviewing the cut control process – Intention Paper topic #11 – Grade 4 Credits</li><li>• Improving accountability in tenure management – Intention Paper topic #12 – Attribution policy</li><li>• Increasing discretion in authorizing activities – Intention Paper topic #13</li><li>• Supporting silviculture management and innovation investments – Intention Paper topic #14</li><li>• Modernizing tenure replaceability conditions – Intention Paper topic #15</li></ul>



## TIMING FOR ENGAGEMENT AND CONSULTATION

Policy topics from the Intentions Paper have been grouped into three different timing sessions (summer, fall, winter) to get insight and input from local government, Indigenous Nations and stakeholders to incorporate into policy design and implementation.



## **Grouping 1 – Policy Intentions Conversation Starters**

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<b>Policy Intentions - For Information</b>	7
A. Creating future tenure opportunities – Intention Paper topic #1	7
B. Providing clarity on compensation – Intention Paper topic #2	9
C. Creating flexibility when forest licences need to be reduced – Intention Paper topic #3	10
D. Enhancing revenue oversight for log exports - Intention Paper topic #5	12
E. Committing to implementing further deferrals of old growth forests – Intention Paper topic #7	13
F. Continuing to improve the Forest and Range Practices Act – Intention Paper topic #8	15
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G. Revising tenure disposition considerations – Intention Paper topic #4	17
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I. Reviewing the cut control process – Intention Paper topic #11 – Grade 4 Credits	21
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M. Modernizing tenure replaceability conditions – Intention Paper topic #15	29

## **Backgrounder Purpose**

The purpose of this document is to provide more information to inform engagement and consultation conversations on the Province's intentions to modernize forest policy. On June 1, 2021, the Honourable Katrine Conroy, Minister of Forests, Lands, Natural Resource Operations and Rural Development, [released](#) 20 intentions for change focused on sustainability, people and communities, and reconciliation with Indigenous peoples.

Three guiding principles frame this work, as described in more detail in the [Intentions Paper](#):

1. Increasing forest sector participation,
2. Enhancing stewardship and sustainability, and
3. Strengthening the social contract.

This package provides the next level of detail, or summary information, for each of the focus topic areas in the first of three engagement periods. For summer 2021, this first engagement period is called **Grouping 1** and the focus is on 13 of the 20 policy intentions. This material is intended to inform conversations on these policy intentions and generate policy insight, ideas, and perspectives as the ministry meets with Indigenous peoples, local government leaders, forest industry, labour, and environmental interest representatives.

For ease of reference, the topics have been named and numbered as they appear in the Intentions Paper (i.e., Creating future tenure opportunities, and, Intention Paper topic #1). Policy intentions are arranged in two groups. The first group of policy intentions **for information** has been informed by broad and deep consultations and engagements over the past several years with Indigenous Nations, communities, and stakeholders during negotiations, government to government discussions, and previous engagement initiatives intended to share policy change (i.e. the Old Growth Strategic Review, the *Forest and Range Practices Act* Improvement Initiative, Interior Forest Sector Renewal and Coast Forest Sector Revitalization). These intentions will help to initiate significant change in the forest sector in the short term and could be the focus of policy and legislative amendments as early as fall 2021.

The second group of policy intentions, labeled **for discussion**, includes potential changes that are incremental to long term change, and require significant additional discussion to generate specific insight, input, and perspective.

The policy intentions are numbered, may be out of sequence, or may not appear (i.e., Intention Paper topic # 6 and 11). This is because of the history of engagement to date, as described above. Additional information on all topics will be provided in the coming months.

## **Policy Intentions - For Information**

### **A. Creating future tenure opportunities – Intention Paper topic #1**

#### **Background on policy**

As timber supply declines, government has very limited ability to diversify who holds tenure, which drives who participates in and benefits from the forest sector. The current forestry legislative framework does not provide government with forest tenure redistribution tools to address these concerns. The current framework does enable “area takings” and allowable annual cut (AAC) reduction in Timber Supply Areas (TSAs) for limited purposes including access (e.g., roads, pipelines, transmission lines) and non-timber harvesting activities. Forest tenure redistribution has previously required one-off, customized legislation (e.g., *Forestry Revitalization Act*, 2003). This is a lengthy and costly process that does not allow for timely and efficient redistribution actions.

#### **What we have heard regarding this topic**

- From Indigenous engagement on the Interior Forest Sector Renewal initiative and the B.C. First Nations Forestry Council reporting out, First Nations seek access to increased volume and tenure opportunities, which requires revisions to the *Forest Act*. This summary also includes a request to consider greater access to area-based forest tenures.
- From community and stakeholder engagement on Interior Forest Sector Renewal initiative, forest tenure and fibre supply were the topics of greatest interest from both the 36 in-person sessions across B.C.’s interior and the online submissions and survey contributions. The focus of feedback was to redistribute forest tenure for the benefit of greater diversity in the forest sector. Fibre access for smaller manufacturers and for communities to manage tenure were notable in what government heard.
- From the “A New Future for Old Forests” report, effective management of existing old forests and the Province’s ability to emphasize biodiversity means being able to identify and manage these forests outside of the timber harvesting land base (i.e., remove these stands from the typical operating land base – for conservation or low intensity forest management activities).

#### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Enhance the legal mechanisms to allow tenure to be redistributed for harvesting purposes, encouraging greater diversification in the forest sector. Reasons to redistribute tenure, connected to our goals, include: As a component of an Indigenous Nation treaty or negotiated agreement; Maintaining B.C.’s strong market-pricing system, through the BC Timber Sales program; and As part of a community’s vision for economic resilience and local employment.
- A future state will:
  - Provide government with a new legislated tool to designate an area for the purposes of redistributing tenure for new and specific harvesting purposes:
    - Disposing of Crown land to provide to an Indigenous Nation as fee simple, to further an agreement respecting treaty, interim or economic measures
    - Removing Crown land from an existing area-based licence to provide AAC for the purposes of BC Timber Sales or Indigenous forest licences

- Including Crown land in a new Community Forest Agreement, or an area-based tenure for Indigenous Nations
- Maintain government's ability to remove tenure for the purposes of access or non-timber harvesting purposes, such as special management areas for old forests

### **Principles and Considerations**

Key principles and considerations for creating future tenure opportunities.

#### **PRINCIPLES**

- Tenure redistribution purposes are to be clear, specific, legally defined
- Lost harvesting rights resulting from tenure redistribution should be compensable

#### **CONSIDERATIONS**

Tenure redistribution considerations must be founded on good information. Where the Province does not have consistent or current forest inventory information, such as for area-based licences, government will need to be able to secure this information from licence holders. Shared inventory information can improve land use decision making, including considerations for compensation, and advance stewardship work done between governments today and governments and stakeholders. A consistent dataset can improve efficient, effective, and shared recommendations for decisions.

Once redistribution has been determined within a TSA or area-based licence, government needs the ability to suspend or cancel rights under existing permits and licences. This way, the future intended use of the area can be met without existing or newly authorized activities impacting the future opportunity while the transition of tenure is underway.

Government has set goals specific to creating new tenure opportunities as outlined below (from the Intentions Paper). These goals will inform future policy work around where forest tenure should be considered for redistribution for the purposes of reconciliation with Indigenous peoples, BC Timber Sales for market pricing, fibre access for value-added producers and community interests.

## **B. Providing clarity on compensation – Intention Paper topic #2**

### **Background on policy**

The current *Forest Act* contains a compensation framework. This framework indicates there is value to forest tenure and fixed improvements (e.g. road, log dump), but the legislation is silent on the method to calculate its value. This lack of clarity has led to numerous court cases, arbitrations, and negotiations to fill the void on what is appropriate compensation for lost timber harvesting rights.

### **What we have heard regarding this topic**

- Over the last few decades, arbitrators and the Courts have been highly critical of the compensation framework present in the *Forest Act*. The beginning of this issue is highlighted in the arbitration record in the 1993 MacMillan Bloedel South Moresby arbitration:
  - “...there are no words of limitation modifying the term “compensation” where it appears in s.53 (now s.60). The law presumes full compensation” and
  - “The term “compensation” is a term of art based on value to owner”.

### **Intentions and future state**

- Intention established by the Province: Establish a clear framework laying out where and under what circumstances compensation for lost harvesting rights will apply. Changes will be designed around the nature of the tenure agreement between government and the licensee to provide for a systematic and equitable approach in compensation calculations.
- A future state will:
  - Be consistent with the approximately 90% of compensation cases the Province has processed from 2009 to 2016, where a net income approach was used to negotiate settlements.
  - Fully recognize that fixed improvements have no intrinsic value to the licensee and that fixed improvements are expenses, not assets. The licensee does not own the land but instead holds a contractual agreement to harvest timber.

### **Principles and Considerations**

Key principles and considerations for policy development on a compensation framework.

#### **PRINCIPLES**

- Increase clarity and certainty for all parties on compensation valuations.
- Recognize fair market assessment of tenure value
- Compensation is not available for fixed improvements which are fully recognized in the stumpage appraisal system.

#### **CONSIDERATIONS**

A tenure agreement provides the tenure holder with the right to enter onto Crown land, and with a Cutting Authority, undertake timber harvesting. Following stumpage payment, the tenure holder owns the logs. A tenure agreement does not prescribe the use of the log and therefore restricts the value of the tenure agreement to the value of the log, which is assessed as the net income derived from the sale of the log.

## **C. Creating flexibility when forest licences need to be reduced – Intention**

### **Paper topic #3**

#### **Background on policy**

The Province is divided into management units for the purposes of defining sustainable harvest rates, amongst other reasons. A management unit is generally considered a Timber Supply Area (TSA) or a Tree Farm Licence (TFL). The Province's Chief Forester is responsible to set the sustainable harvest rate for each management unit every ten years. The sustainable harvest rate is called the Allowable Annual Cut or AAC.

The sustainable harvest rate can increase, decrease, or stay relatively unchanged every time a new AAC is determined depending on the unique circumstances of the management unit. A decrease in the available timber for harvesting, such as the case where large wildfires have consumed available fibre or a land use decision has led to timber being removed from what is available to harvest (e.g. new protected or conserved area), means the available AAC for the management unit must be decreased.

Once a new AAC is determined for a TFL, the harvest rate is automatically reduced. For a TSA where there are volume-based licences, a proportionate reduction approach is applied. This means for each tenure holder with their individual AAC >10,000m<sup>3</sup>, they will have their available harvest reduced by a similar proportion or percentage. For example, if a new AAC required that a ten percent reduction in harvesting was appropriate across the TSA, each tenure holder would experience a ten percent reduction in their assigned AAC.

This policy is contrary to government's vision of creating a more diverse and competitive forest sector for a few reasons. It doesn't allow for consideration of unique circumstances in different management units. It can have a disproportionate impact on the smaller tenure holders who may already face economy of scale challenges, when the larger tenure holders can 'absorb' the harvest reduction more easily. It doesn't consider that some Indigenous Nations may hold a tenure agreement because of a comprehensive reconciliation agreement or accommodation connected to their rights and title, which should factor into reduction decisions.

#### **What we have heard regarding this topic**

- From Indigenous engagement on the Interior Forest Sector Renewal initiative and the B.C. First Nations Forestry Council reporting out, First Nations seek access to increased volume and tenure opportunities and consider reforming forest tenure management with reconciliation as an objective.
- From the community and stakeholder engagement on Interior Forest Sector Renewal initiative, forest tenure and fibre supply were the topics of greatest interest from participants. Feedback included considering access to the future timber supply because of its declining availability and allowing for flexibility for different communities or regional needs in future decisions (i.e. one size fits all is less desirable).
- From Indigenous Nations in government-to-government conversations, that the Province should take all steps necessary to support reconciliation including for forest tenures provided as part of agreements and for accommodation purposes.

- From some forest companies with manufacturing facilities, security of timber supply to fulfill part of their milling needs is important to maintain at least one shift running during market downturns.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: The Province employs a Chief Forester, who sets the sustainable harvest rate, the Annual Allowable Cut (AAC). In some situations, such as when the timber supply is decreasing, the Chief Forester will determine the AAC needs to be reduced to maintain a sustainable harvest rate. This means that the harvest volume allocated through licences in the area must be reduced to maintain a sustainable harvest rate. Current policy uses a proportionate reduction method where all tenure holders (excepting very small ones) experience a similar percentage decrease to their licence. However, this method does not allow for government to consider several important elements in our changing environment, such as the unique pressures faced by small operators, or Indigenous or other local community interests. Given this, we plan to introduce a more flexible approach.
- A future state will:
  - Provide government with the tools to distribute AAC reductions among forest licenses in a manner that is fair and supports government's vision for a diverse and competitive forest sector.
  - A new reduction approach is anticipated to be customizable for different local circumstances

### **Principles and Considerations**

Key principles and considerations for shifting the licence reduction policy from a proportionate basis to a more flexible model.

#### **PRINCIPLES**

- Accountability and transparency for decision makers
- Fair and equitable for the circumstances and similar situations
- Consistency and predictability, to support certainty
- for decision makers, meaning for the responsible person making the decision

#### **CONSIDERATIONS**

Like changes advanced under 2019's Bill 22 for tenure disposition and change of control, licenses that are held singly or by jointly related persons will be grouped, for the purposes of licence reduction decisions. This is important to ensure greater forest sector diversity can be achieved.



## **D. Enhancing revenue oversight for log exports - Intention Paper topic #5**

### **Background on policy**

The *Forest Act* requires fee payment to the government for timber exported off provincial lands. This fee is called the fee-in-lieu of manufacture, paid on timber and logs that are exempted from the requirement to be manufactured in B.C. and are instead exported. The Province does not currently have the power to inspect, audit, or assess the fee-in-lieu payments. The Province does have this due diligence ability for stumpage payments.

### **What we have heard regarding this topic**

- From the Coast Forest Sector Revitalization initiative, log and timber exports are a critical market for forest companies in B.C.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: When logs are exported off provincial lands, a fee-in-lieu of manufacturing domestically is charged. To better ensure the Province receives these fees, we plan to add the ability to audit and assess fee-in-lieu of manufacture payments, like our ability to audit and assess stumpage payments
- A future state will:
  - Provide similar authorities to the government, through the Ministry of Finance, to administer a revenue oversight function.

### **Principles and Considerations**

Key principles and considerations for establishing revenue oversight for log exports.

PRINCIPLES

Not applicable.

CONSIDERATIONS

Not applicable.

## **E. Committing to implementing further deferrals of old growth forests – Intention Paper topic #7**

### **Background on policy**

In September 2020, the Province released a report on the future of old growth management written by two independent panelists, with 14 recommendations for change. Government has committed to implementing these recommendations through a priority-based approach. The immediate focus is to work with Indigenous Nations on future possible timber harvesting deferrals where old forests are at high and near-term risk of immediate biodiversity loss.

### **What we have heard regarding this topic**

- This work draws directly from the published report: [A New Future for Old Forests](#)

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Government's vision to modernize forest policy complements the ongoing work implementing recommendations out of the strategic review *A New Future for Old Forests*. As a first step, in September 2020, government announced the harvesting deferral of 196,000 hectares of old growth in nine separate areas. To give context, this is equivalent to an area of approximately 480 Stanley Parks. In addition, government also enacted the Special Tree Protection Regulation, protecting up to 1,500 exceptionally large, individual trees. This important work will continue, and government is committed to engaging with Indigenous leaders, industry, labour, environmental groups and communities to further identify potential additional deferral areas.

### **Principles and Considerations**

Key principles and considerations to implementing future timber harvesting deferrals in old forests.

#### **PRINCIPLES**

- Working with Indigenous Nation leadership is paramount
- A science-based approach to areas at high risk of biodiversity loss will guide our work

#### **CONSIDERATIONS**

Government has published a high-level timeline (see below) which illustrates the anticipated focus areas for engagement over the next several years.

Government's timeline on the old growth initiative means by 2023, decisions will need to be made on deferral areas – either to protect them indefinitely or to return them to an unprotected status.

Government may wish to create one or more designation categories for such protected areas and will be assessing and considering the need for new designation types for old growth protections where existing *Park Act* or *Forest and Range Practices Act* protections may not meet the objectives. The contemplated name of an initial new designation type for future old growth conservation is 'Special Forest Resource Management Area.'

# Old Growth Strategic Review –The Path Forward

## MAY 2020 - ONGOING

### IMMEDIATE MEASURES

- » Commitment to partnership with Indigenous Nations
- » Deferral of old growth at risk of irreversible loss
- » Better public data
- » Compliance with current standards

## 2021 – ONGOING

### ELEMENTS REQUIRED TO SUPPORT CHANGE

- » Prioritize ecosystem health
- » More inclusive governance
- » Framework for setting and managing targets
- » Transition plans: local and provincial
- » Transition support for communities

## 2023 – ONGOING

### THE NEW OLD GROWTH STRATEGY

- » Three zone management
- » Funds for monitoring and evaluation
- » Updated biodiversity targets and guidance
- » Better inventory and classification
- » More innovative practices

## **F. Continuing to improve the *Forest and Range Practices Act* – Intention Paper topic #8**

### **Background on policy**

As part of changes to the *Forest and Range Practices Act* (FRPA), the Province intends to move forward with the proposed introduction of a new approach to forest planning. 'Forest Landscape Plans' (FLPs) are expected to replace the existing Forest Stewardship Plan (FSP) framework through British Columbia (B.C.) over time. The new FLP regime responds to a range of challenges B.C.'s forest sector has experienced over the last decade by:

- better coordinating forest development at a landscape scale,
- realizing sustainable harvest levels in support of B.C.'s economy,
- achieving greater oversight of forest management, and
- ensuring that land managers have the right tools to establish resilient forests and rangelands when faced with the uncertain impacts of climate change upon these ecosystems.

FLPs will also help to create partnerships between Indigenous Nations and the Provincial government and allow for the meaningful engagement of forest licensees, stakeholders, and the public. Indigenous peoples want to play a greater role in the forest sector and in forest management but have had limited opportunity to ensure their values and interests are appropriately reflected. The Province's ability to support Indigenous participation and decision-making in forest planning through existing legislation and policy tools is limited.

### **What we have heard regarding this topic**

All from the FRPA engagement conversations to date:

- Indigenous peoples are committed to working with the Province to support sustainable forest and range management across B.C.
- There are currently limited opportunities for Indigenous peoples to meaningfully participate in forest planning and management within their traditional territories.
- Earlier engagement in forest planning, at a level in between the strategic landscape level planning applicable to all activities typically articulated in a Land Use Plan, and the operational activities that occur on the ground, like the harvesting of a cutblock or the construction of a new road.
- Greater participation in forest planning and management includes the authority to share in decision-making. Free, prior, and informed consent is the objective.

### **Intentions and future state**

- Intentions established by the Province in the Intentions Paper:
  - Indigenous peoples want to play a greater role in the forest sector and in forest management. The Province's ability to support this through existing legislation and policy tools is limited. Enabling the opportunity for shared decision-making agreements to be negotiated and implemented, government-to-government, will be part of this work.

- Our government initiated a multi-phased improvement initiative with the Forest and Range Practices Act in 2018. We engaged with interested Indigenous peoples to understand where they sought improvements and have been working on changes to our legislative framework since. The Forest and Range Practices Act ensures forest values are considered, managed and conserved; we have heard this is important to British Columbians and we intend to move forward with changes like the proposed tactical planning approach of 'Forest Landscape Plans' to better incorporate those values and ensure Indigenous peoples can be involved at the start of the forest planning process. We also plan to better link forest management with fire management through this work.
- A future state will:
  - Include the tactical planning approach of 'Forest Landscape Plans' to better incorporate a range of forest values and ensure Indigenous peoples can be involved at the start of the forest planning process. Enabling the opportunity for shared decision-making agreements to be negotiated and implemented, government-to-government, is an important part of this work.

### **Principles and Considerations**

Key principles and considerations for enabling shared decision-making agreements starting with the FLP framework.

#### **PRINCIPLES**

- Forest Landscape Plans are developed in collaboration with Indigenous peoples.
- The values Indigenous peoples place on forests and forest ecosystems are important.
- Shared decision-making at the forest stand level (e.g. a watershed) of forest planning supports operational activity.

#### **CONSIDERATIONS**

Implementing shared decision-making agreements under s.7 of the *Declaration on the Rights of Indigenous Peoples Act* ('Declaration Act') requires legislative amendments to the relevant statutes to enable the joint exercise of a statutory power of decision, and/or consent being given by an Indigenous Governing Body prior to the exercise of a statutory power of decision.

Negotiation of a s.7 shared decision-making agreement is a related but separate process.

## **Policy Intentions - For Discussion**

### **G. Revising tenure disposition considerations – Intention Paper topic #4**

#### **Background on policy**

When a tenure holder wants to transfer a tenure or change who controls it, the Minister must approve the transfer. In deciding if it should be approved, the Minister must consider if the transfer is in the public interest and how it affects fibre concentration (i.e., the competitive nature of access to fibre). This obligation was established through an amendment to the *Forest Act* in 2019 under Bill 22. Prior to this 2019 change, the Minister was made aware of such tenure dispositions but had no role in the process.

#### **What we have heard regarding this topic**

- From government meetings between the Province and rural and Indigenous communities, there is a strong desire to be engaged in the tenure disposition process.
- From the forest industry in tenure dispositions from the last two years, there is an interest to better understand what the public interest considerations entail, so they can consider in structuring their tenure disposition transaction.
- From the Interior Forest Sector Renewal Initiative Indigenous feedback, the Province should create more situations where Indigenous participation and partnership are considered.

#### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Build on the success of 2019's Bill 22 in addressing public interest considerations when a tenure transfer or change of control occurs. This could include a review of impacts of the transfer or change of control to the local economy, including the proposed changes to the regional wood manufacturing sector if a mill is indefinitely curtailed resulting from the proposed transaction, and the interests of local Indigenous peoples.
- A future state will:
  - Consider the type of licence or tenure agreement, which is being disposed of, and place greater emphasis on tenures or licences that are replaceable and have a greater allowable annual cut or harvest volume assigned to them.

#### **Use the tools set out in the regulation for consistent and transparent analysis. Principles and Considerations**

Key principles and considerations for revising expectations for tenure disposition.

##### **PRINCIPLES**

- Flexibility to apply public interest considerations at the local level is important

##### **CONSIDERATIONS**

- The current fibre concentration assessment found in regulation, the Herfindahl-Hirschman Index (HHI) is a common measure to determine market competitiveness, often pre- and post-merger,

and acquisition transactions. It is well suited to the tenure structure in B.C. and is simple to use for fibre concentration calculations.

## **H. Advancing apportionment – Intention Paper topic #10**

### **Background on policy**

Apportionment is a discretionary decision which establishes the Minister's vision for the allocation of allowable annual cut (AAC) to different forms of forest tenure in a timber supply area (TSA), typically following an AAC determination. If the AAC is reduced, the Minister may also decide how much of that reduction should be applied to forest licence volumes. Current policy includes how this reduction should occur and guidance for how to address harvest reductions. A proportionate reduction approach has been applied in the past where licence holders each shoulder a similar amount, or percentage, of the fibre supply reduction relative to their previous AAC.

Historically, apportionment and proportionate reduction have been used to assist government in making sustainability-based volume reductions in TSA's that are facing a declining AAC. More recently, apportionment discussions have begun to evolve to include multiple objectives, providing a forum to address local communities and local Indigenous interests about fibre use and tenure access. This has occurred in part due to the lack of other forums to discuss these matters and the interest of many to be involved in the forest sector. Apportionment decisions, once simpler are now complex and can take years to complete. This situation has become challenging in the TSAs where available fibre supply is reducing, and government wants to improve sustainability measures.

### **What we have heard regarding this topic**

From the Interior Forest Sector Renewal process,

- Maintaining access and certainty of fibre supply supports private sector capital investment, which in turn supports communities.
- Rural and Indigenous communities want to have greater input into how forests are managed around their communities.
- Communities, forest companies and other stakeholders have indicated that increasing access to forest tenure for smaller operators can help promote resilient communities and forest sector diversity.

From other conversations and meetings:

- Indigenous peoples and the B.C. First Nations Forestry Council have both highlighted apportionment as an avenue to support reconciliation.
- Forest companies seek clear, predictable, and timely decisions to keep their operations running and people employed.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Apportionment is a discretionary decision on how the minister would like to divide the AAC in a Timber Supply Area (TSA) among the various tenure types. As government proceeds with rebalancing tenure opportunities, we will be looking to improve the apportionment process so that decisions can be made in a timely way which considers harvest sustainability, the interests of local Indigenous peoples and other stakeholders.



- A future state will:
  - Focus on timeliness and sustainability, and
  - Consider the interests of current tenure holders and business, as well as Indigenous and rural communities, and other stakeholders.

### **Principles and Considerations**

Key principles and considerations important for considering policy changes regarding apportionment:

#### **PRINCIPLES**

- Safeguard sustainability by making timely apportionment and reduction decisions.
- Incorporate reconciliation into decision making, where possible, and increase Indigenous participation in the forest sector.
- Support the BC Timber Sales timber pricing mandate in future decisions.
- Ensure a competitive forest sector and robust economy by providing stability and certainty to industry.
- Increase community participation in the forest sector.
- Provide transparency in future policy to promote clarity and predictability.

#### **CONSIDERATIONS**

Future policy on how to reduce harvest volumes for licence holder's links to Intentions Paper topic #3 on government's intention to increase flexibility in how reductions proceed in the future. A one-size-fits-all approach to policy can constrain local circumstances especially as several management units are forecast to see timber supply reductions in future AAC determinations.

With a tenure redistribution mechanism contemplated in Intentions Paper topic #1 above, apportionment will be more clearly focused on sustainability.

A short-term, mid-term and long-term policy shift may be required given the current decline in available timber supply in B.C.'s Interior, interests to maintain sustainability and the desired future state of tenure distribution.

## **I. Reviewing the cut control process – Intention Paper topic #11 – *Grade 4 Credits***

### **Background on policy**

Grade 4 credits were introduced in 2006 to better incent the full utilization of mountain pine beetle impacted forest stands that may otherwise have been left in a harvested area as residual, unused fibre. Also, if left in a harvested area and not removed, this additional fibre increased wildfire risk. A Grade 4 log or slab is a lower quality log than grades 1 and 2 that are used to make lumber for various construction uses but can still be manufactured into a variety of products. For instance, the lower quality may be the result of the tree having been dead for some time, it has dried out and cracks have formed in the wood.

The incentive that Grade 4 credits create is that if harvested and delivered to facility other than a sawmill, the volume of fibre removed which is classified as Grade 4 is not calculated as part of the total harvest off the tenure holder's licence. This means the licensee can harvest more fibre than what is included in their tenure agreement with the Province. The volume of Grade 4 credit harvested is not counted against their allowable annual cut (AAC) and does not impact the licensee's cut control. Examples of such manufacturing facilities include but are not limited to pulp and paper, chipping, pellet, and bioenergy.

With the large-scale salvage effort following the mountain pine beetle epidemic essentially over, the intended use of this tool must be reconsidered. The declining fibre supply across B.C.'s interior has generated greater interest to utilize lower quality fibre, and the demand (and willingness to pay) for this fibre has increased. If the Province does not revise the Grade 4 credit policy, and harvesting continues to be unaccounted for in individual licensee's assessments and Timber Supply Area (TSA) wide assessments, overharvesting is a real risk in some areas. Specifically, the sustainability of forecasted harvest levels in most TSA's does not account for Grade 4 crediting and TSA overharvesting is a likelihood. This could place further pressure on the fibre available for the mid-term timber supply impacting communities, jobs, harvest sustainability, climate change and ecosystem health.

### **What we have heard regarding this topic**

From forest sector participants:

- Grade 4 credits have been an effective method of delivering low quality timber to secondary manufacturers who may otherwise have difficulty obtaining fibre.
- Licensees and mills have developed business relationships based on Grade 4 credits, which supports local employment and maximizes fibre utilization within harvested areas.
- Removing Grade 4 credits may remove the incentive to bring low quality fibre to secondary users.
- Grade 4 credit use has declined overall, however there is continued use in some Timber Supply Areas (TSAs).
- There has been a significant shift in where Grade 4 credits are being applied. For a tool designed for pine salvage as part of the mountain pine beetle epidemic, now the tool is being used for other tree species like spruce and balsam and other various other scenarios which is contrary to the original intent of this crediting tool.

From communities, Indigenous peoples, and the public:

- Sustainability of our forest resources is important, as expressed in engagement initiatives from Interior Forest Sector Renewal, Coast Forest Sector Revitalization and the *Forest and Range Practices Act* Improvement Initiative.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Current cut control requirements do not require a tenure holder to: use all of their AAC; access timber consistent with the intentions of the Chief Forester (including profile instructions for the types of timber harvested or partitions made to determine where harvest occurs); or fulfill a licence's management plan. As a result, the intention of sustainable harvest within the AAC may not be realised as less-desirable parts of the AAC can be under-utilized in favour of higher value timber. Specifically, in B.C.'s interior, cut control "crediting" has been used for years to encourage the salvage of lower-quality fibre by not attributing for that harvesting to a tenure holder's AAC. This approach was helpful when salvaging timber damaged by the mountain pine beetle but does not address new challenges such as a declining mid-term timber supply. We plan to review how cut control is designed and implemented, so as to make improvements, such as encouraging tenure holders to utilize their AAC in a way that honours the intended harvest profile.
- A future state will:
  - Include a shift in policy to recognize the large-scale salvage effort that the grade 4 cut control credit policy was created for, the mountain pine beetle epidemic, has largely concluded, and
  - Consider the creation of new tools or modification of existing tools to facilitate the use of low-quality fibre sources, without creating additional pressures on the Allowable Annual Cut (AAC).
  - Be cognizant to the valuable business relationships this tool and others have generated, to increase utilization of our fibre resources, getting fibre to the right manufacturing facility in many cases.

### **Principles and Considerations**

Key principles and considerations applicable to revising the grade 4 credit policy as a tenure management tool include:

#### **PRINCIPLES**

- Timber harvesting rights and harvest levels should align with the sustainable AAC
- Increasing and maintaining fibre utilization is important
- Maintaining business arrangements that support communities and jobs are important

#### **CONSIDERATIONS**

This work is part of the greater package of tenure management tools that needs to be reconsidered but is being accelerated because of the sustainability risks to the timber supply it poses.

## **J. Improving accountability in tenure management – Intention Paper topic #12 – Attribution policy**

### **Background on policy**

A licence holder can employ a legal mechanism, called attribution, to transfer harvested timber volume between licences. The reason a tenure holder may want to do this is to manage their cut control, meaning the amount of volume they are required to harvest over a five-year period as set out in their tenure agreement. The ability to attribute timber harvesting creates flexibility for a licence holder to manage their harvesting and silviculture activities, fibre flow and legal obligations. The Minister is responsible for making decisions on attributions, and a licence holder must meet specified requirements and public interest considerations for the Minister to consider an attribution approval. The approval of an attribution cannot be predetermined in advance of harvest and is neither guaranteed nor automatic.

Attributions are used as a key strategic partnership tool between licence holders and often involve business arrangements regarding operations on tenures held by Indigenous peoples. Success of these arrangements rely on the approval of an attribution after the harvest has been completed. This reliance on a post harvest decision creates uncertainty and increased financial and operational risk to the licence holders if the attributions are not approved.

### **What we have heard regarding this topic**

Primarily from licence holders, both Indigenous and non-Indigenous:

- The attribution mechanism is a critical tool that supports business to business arrangements.
- Preapproval of the attributions prior to harvesting would promote partnerships in the sector with increased certainty of reciprocal benefit between the parties involved.
- Concerns that excessive use of attributions can negatively impact various forest management objectives.
- Uncertainty regarding attribution approval and timing creates substantial risk to licence holders' business arrangements.
- Clarity is sought in policy for timely decisions to allow for confidence in harvest planning and developing partnership arrangements.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Holding a tenure on Crown land puts the holder in a position of public trust. Governments sees an opportunity to strengthen that accountability. Tenure holders employ various tenure management strategies to support their operations at both a cutting authorization level and tenure management level. Examples include licence subdivisions and consolidations, cut control attributions, licence extensions or cut block splitting at a permit level. Although these strategies are often used for legitimate forest management reasons, at times they may not be in the public interest. Our government intends to consider the tools available to decision makers in both monitoring and reporting on tenure agreements to ensure these strategies are employed in the public interest.
- A future state will:

- Maintain attribution as a mechanism to support relationships, either business-to-business or between a licence holder and an Indigenous Nation,
- Consider more timely attribution decisions, and
- Outline more clearly the expectations and requirements expected to employ attribution as a tenure management tool.

### **Principles and Considerations**

Key principles and considerations applicable to attribution policy development include:

#### **PRINCIPLES**

- Sustainability – Attributions must not compromise the management unit or licence AAC.
- Reconciliation – Attributions should benefit partnership opportunities that increase Indigenous participation in the forest sector.
- BC Timber Sales (BCTS) – Integrity of BCTS operations must be maintained.
- Revenue - Attributions should not impact provincial revenue.
- Timely – Attributions policy should provide for clear and transparent rules and regulations to allow for streamlined and timely decisions.

#### **CONSIDERATIONS**

Used inappropriately, attributions may be used as a surrogate for transfer of tenure rights between parties. Consider limitations on attributions to avoid risks regarding transfer of tenure rights.

This work is part of the greater package of tenure management tools that needs to be reconsidered but is being accelerated because of the partnership opportunity it presents and more immediate changes that must be advanced regarding how the tool has been used.

## **K. Increasing discretion in authorizing activities – Intention Paper topic #13**

### **Background on policy**

Under the current forest management framework, a statutory decision maker (e.g. District Manager) is required to issue a cutting permit or road permit application. There are limited exceptions when a decision maker could refuse to issue a permit or place conditions on the permit. These include but are not limited to:

- The rights of the agreement holder (e.g. tenure holder, licence holder) are suspended,
- The agreement holder has not paid a security, or a deposit as required under law, and
- The agreement holder has not completed their obligations as required under a previously issued permit, as part of the same overall agreement

In the minority of cases, a decision maker has had to issue a permit which may have not been in the public interest or reflective of local Indigenous interests. A decision maker did not have the ability to consider other forest values that could be comprised if the permit, as presented, moves forward.

### **What we have heard regarding this topic**

- Forest Practices Board (FPB) investigations have highlighted the constraints on statutory decision maker discretion to refuse a permit, and the risk this creates for publicly held forest resources.
- From District Managers across B.C., in conversations with local Indigenous Peoples and local stakeholders, the decision maker is expected to be able to make decisions if a proposed authorization is not in the public interest.
- From comments received during the Interior Forest Sector Renewal Initiative, the Province needs tools to better support sustainable forest management and manage the land in accordance with multiple forest values and Indigenous values.
- From the BC First Nations Forestry Council led engagement sessions on Interior Forest Sector Renewal, safeguards are needed for the environment and forest values other than, or in addition to, timber (fibre) production.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: Currently, when statutory decision makers issue cutting permits or road permits (authorizations to harvest timber or build roads), they have minimal discretion to refuse a permit. There are instances when a permit request submitted is in stark contrast to the public or Indigenous interests, but these decision makers have limited ability to do anything about it. We will explore options to provide discretion in authorization decisions based on important forest values, such as water, wildlife, and Indigenous heritage. Decision makers need to be able to reject authorizations, or to approve an authorization with conditions, if there are concerns the permit could irreparably impair other forest values.
- A future state will:

- Offer a statutory decision maker the option to either refuse or alter an authorization if they determine issuance of a permit would significantly impact the management and conservation of forest resources.
- Strengthen government's ability to assert management control over public forestry resources to regain public trust regarding sustainability issues, focused on road permits and cutting permits.
- Ensures improved tools to assert management control over forestry activities based on specific circumstances
- Ensures that local Indigenous interests and values are adequately identified and accounted for within landscape level forest plans, to inform the development of authorizations by tenure holders and decision makers.

### **Principles and Considerations**

Key principles and considerations when considering what discretion, a statutory decision maker should have for authorizations like cutting permit and road permit approvals include:

#### **PRINCIPLES**

- Forest stewardship and sustainability are important.
- Authorization refusal should come with a written rationale and with an offer for an opportunity to be heard.
- Implementation support will be required for decision makers, including policy, guidance, and training.
- Decisions are based on meaningful consultation and consideration of local Indigenous values and interests.
- Clear definitions for "prescribed circumstances" where a decision maker may refuse or alter an authorization permit need to be identified. For instance, broad based topics like 'climate change' would not be considered but specific examples or circumstances could be considered.

#### **CONSIDERATIONS**

There is regulatory authority within the *Forest Act* where government could provide discretion to the issuance of cutting permits and road permits that if such objectives were compromised, a permit request could be refused.

## **L. Supporting silviculture management and innovation investments – Intention Paper topic #14**

### **Background on policy**

One way to maximize the timber supply available, and sequester more carbon, is to invest in forest stands to grow more quickly and support their overall health. This can be achieved through silviculture investments. Silviculture investments can cover a wide range of activities like using genetically selected seeds for new seedling growing stock, tree fertilization, tree pruning, spacing and commercial thinning.

The Province currently invests more than \$20 million annually on these silviculture investments in addition to investments completed by industry as a legal requirement for harvesting. There has been increasing interest for the Province to invest more in such treatments given the declining timber supply in the Interior (following mountain pine beetle kill and catastrophic wildfires), to help fill the gap that will be experienced over the next few decades – what is called the mid-term timber (fibre) supply.

Right now, there is no legal mechanism to prevent timber harvesting in areas that have received additional silviculture investment. For instance, fertilization investments to mitigate climate change only realize a maximum climate benefit if they can remain unharvested (and otherwise unharmed, such as from wildfire), for 10 years post treatment. There is also no consistent way these investments are being tracked across the Province to ensure they can be maintained to realize their full benefit, and investment.

### **What we have heard regarding this topic**

- From the Interior Forest Sector Renewal Initiative, it's important for government to do its part to maintain certainty of fibre supply, as this certainty underpins capital investment in the sector and resiliency of rural communities.
- From forest sector participants, through meetings and the recent Coast Forest Sector Revitalization and Interior Forest Sector Renewal, that is critical to have a regular, predictable flow of fibre to maintain operations, which means maintaining jobs.
- From the Interior Forest Sector Renewal engagement and the B.C. First Nation Forestry Council's report on this topic, supporting a vigorous timber supply aids in creating and maintaining forest resource management opportunities for Indigenous communities.
- From multiple engagement initiatives and provincial and municipal government meetings, communities want to have more input into, and control of the forests that surround their communities, for multiple values be it timber supply and their visual backdrops, to carbon storage and sequestration, to wildfire mitigation.
- From the report 'A New Future for Old Forests,' recommendation 12 speaks to advancing a silviculture innovation program aimed at developing harvesting alternatives to clearcutting that maintain old forest values. The reasons for this recommendation are further detailed in the report but includes improved acceptance of forestry activities, to improve ecosystem health, to increase access to stands otherwise not accessible to forest harvesting (if harvesting is less intrusive), to reduce conflict between people and communities who support timber harvesting versus those that are not supportive, to increase operational efficiency with experience, and to increase overall returns for economic, ecological and social measures.



### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: One way to maximize limited timber supply is to increase silviculture investments, helping stands grow back faster and healthier. Licensees are required to replant within a few years of harvest and steward these young trees until they reach a state of “free growing.” The Province spends over \$20 million annually on additional silviculture enhancements beyond the “free growing” obligations of the tenure holders. However, investments are not monitored to ensure the resulting trees are harvested at an optimum time to take advantage of the investment. We will consider limits on timber harvest until provincial silviculture investments have optimized harvest opportunity in consideration of risk and other values. This can include activities like commercial thinning, or any innovative forest practices that may be advanced pursuant to recommendation 12 within the Old Growth Strategic Review report.
- A future state will:
  - Consider limiting timber harvest in treated areas until the benefits are realized that drove the investment and treatment in the first place (e.g., timber supply investment, carbon investment for climate change mitigation),
  - Expand awareness amongst government decision makers and those involved in forest planning activities where silviculture investments have occurred, and how these investments may alter authorization approvals, such as cutting permits, and
  - Connect silviculture investments as a value to be managed in forest stands for forest managers, so that a statutory decision maker may have discretion to not approve activities in an area where investments have occurred but have not yet reached their maturity date.

### **Principles and Considerations**

Key principles and considerations for developing policies regarding silviculture investments and innovation investments include:

#### **PRINCIPLES**

- Spending on silviculture investments are made with the understanding the benefits intended with the investment will be achieved.
- Taking action to mitigate climate change through forest management is important.
- Improving awareness of what investments have been made, where and why, are important for forest managers and decisions makers.
- Enabling the ability to say no to authorizations within silviculture investment areas is important to protect the investment; but some limited exemptions are also important, like ensuring community safety from wildfire.

#### **CONSIDERATIONS**

- The Forest Landscape Planning (FLP) framework and process proposed for improvements to the *Forest and Range Practices Act* could be a future mechanism to provide direction for where silviculture investments could be prioritized, and how to protect such investments.

## **M. Modernizing tenure replaceability conditions – Intention Paper topic #15**

### **Background on policy**

The Minister must offer a replacement tenure of the same size and term, generally 25 years, to holders of replaceable tenures (Tree Farm Licence, Forest Licence) before the tenth anniversary of the tenure. This replacement regime was designed in the 1960s to encourage investment in infrastructure and manufacturing facilities.

Currently, a replaceable tenure must be re-offered to the existing tenure holder assuming some basic conditions have been met, such as the tenure holder paying annual rent on their tenure and their tenure not being suspended due to legal issues. These conditions do not represent the suite of expectations the public, local communities and local Indigenous peoples expect when they think of the forests around their communities being on a long-term lease to a company. The conditions that a company who holds replaceable tenure require renewal.

### **What we have heard regarding this topic**

- From many meetings with Indigenous Nations, we hear that the continued replacement of these forest tenures without considering their interests for the forests on their traditional territories does not align with reconciliation.
- From the community and stakeholder engagement on Interior Forest Sector Renewal initiative, there was significant interest in the future of forest tenure policy ensuring communities can have a voice in forest management and that forest management considers local interests.
- From many meetings with communities, Indigenous peoples, and stakeholders, we understand there is a shared interest to be engaged on tenure replacements. Tenure holders should have greater accountability to the communities where they operate and should look to how to better partner for shared success.

### **Intentions and future state**

- Intention established by the Province in the Intentions Paper: While licensees require certainty to make business decisions, we intend to ensure replaceable tenures demonstrate a clear commitment to sustainability and sound management. So-called evergreen tenures, which must by law be renewed, date back to the 1960s, when considerations around Indigenous partnerships, forest sustainability and climate change were very different. We will revisit the criteria and expectations for tenure replacement, which we expect to include licence performance on a range of public interest considerations as part of the replacement process. In essence, we are looking for holders of replaceable tenures to find creative ways to partner and grow the industry, inclusive of Indigenous interests, while maintaining the long-term stability industry needs to thrive.
- A future state will:
  - Maintain the current requirement that the tenure holder has paid their annual rent and conducted timber harvesting activities within the regulated standards including the allowable annual cut.
  - Consider performance measures such as harvesting the timber profile in accordance with direction from the province's Chief Forester, and increasing utilization

- Considers local Indigenous and rural community perspectives and interests.

### **Principles and Considerations**

Key principles and considerations for considering changing the considerations for tenure replacements.

#### **PRINCIPLES**

- Transparency in the criteria applied
- Timeliness in future decision-making processes
- Stewardship and sustainability are built into replacement considerations
- Rights and title holders' voices contribute to decisions

#### **CONSIDERATIONS**

There are several Forest Licences and Tree Farm Licences currently due for replacement and an additional 11 transfers in process.

Amendments to the *Forest Act* are required to support implementation any new transfer or replacement policies.

**From:** [Laponsee, Tanya \(HC/SC\)](#) on behalf of [Novak, Jennifer \(HC/SC\)](#)  
**To:** [Darryl Walker](#)  
**Cc:** [Debbie Johnstone](#); [Tracey Arthur](#)  
**Subject:** Opioid Overdose Crisis in Canada  
**Date:** July 14, 2021 8:47:50 AM

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*CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.*

Dear Mayor Darryl Walker,

Thank you for your correspondence dated February 19, 2021, addressed to the Honourable Patty Hajdu, Minister of Health, concerning the opioid overdose crisis in Canada. We appreciate you forwarding the resolution that the White Rock Council passed on February 8, 2021. I have been asked to respond to you directly. While I cannot determine why there has been such a long delay in receiving your letter, it is unacceptable. Please accept my sincere apologies for the delay in responding.

I am grateful for the time that you took to share your concerns with us. Hearing from concerned communities like yours is important to us. The Government of Canada has made it a priority to listen to Canadians most impacted by problematic substance use and the opioid overdose crisis to inform a comprehensive, collaborative, and compassionate response. We recognize the complexity and the devastating impacts that the crisis is having on individuals, our friends, families, and communities across the country.

The Government of Canada's approach to substance use issues has been guided by our federal drug strategy – the Canadian Drugs and Substances Strategy (CDSS). The CDSS takes a public health-focused approach, and lays out our framework for evidence-based actions to reduce the harms associated with substance use in Canada. It includes four key pillars – prevention, treatment, harm reduction, and enforcement.

Since the introduction of the CDSS in 2016, the Government of Canada has taken evidence-based [action to address the opioid overdose crisis](#) through investments of over \$700 million as well as legislative and regulatory action. As part of this investment, Budget 2021 proposes to provide \$116 million over two years, starting in 2021-22, building on \$66 million invested in the 2020 Fall Economic Statement, for the Substance Use and Addictions Program (SUAP) to support a range of innovative approaches to harm reduction, treatment, and prevention at the community level.

We understand and share your concerns regarding the challenges in connecting people to appropriate services in a fragmented treatment landscape. While provinces and territories are generally responsible for funding and delivery of treatment services, the federal government has a role to play in making sure appropriate and evidence-based treatment options are available. We continue to support efforts to increase access to harm reduction services, such as supervised consumption sites; strengthen enforcement to help reduce the toxic illegal drug supply; increase

awareness and prevention efforts, including addressing substance use stigma; and, build the evidence base through investments in research and surveillance.

We have taken actions to reduce barriers to providing people who use drugs with a safer, pharmaceutical-grade alternative to the toxic illegal drug supply. For example, Health Canada has eased restrictions on pharmacists and the transportation of controlled substances, to make it easier for people to access the medications they need during the COVID-19 pandemic while following public health advice, such as physical distancing. Health Canada's SUAP is currently funding 18 safer supply projects that are offering services across 30 sites in five provinces. This represents total investments of \$59.9 million across British Columbia, Ontario, Quebec, New Brunswick and Nova Scotia. These investments will help provide pathways to care and treatment. The evaluation of these innovative projects will continue to build the evidence base to support the scaling up of effective models.

The provision of health care services is, with a few exceptions, a provincial and territorial responsibility, not a federal one. While recent regulatory flexibilities at the federal level have helped reduce barriers, expansion of safer supply services requires the buy-in of provincial and territorial Ministers of Health, relevant professional and regulatory bodies, and health care providers who can prescribe the relevant medications and provide care to people with substance use disorders. We continue to engage with these stakeholders to inform them about safer supply and encourage them to look within their sphere of influence and work to remove barriers to this promising practice.

Further, the Government of Canada continues to support the use of programs that create pathways away from the criminal justice system toward appropriate health services and social supports. For example, in August 2020, the Public Prosecution Service of Canada [issued](#) guidance to prosecutors stating that alternatives to prosecution should be considered for simple possession offences, except when there are serious aggravating circumstances. On February 18, 2021, the Department of Justice Canada introduced [Bill-C-22](#), which would repeal mandatory minimum penalties for drug-related offences and require police and prosecutors to consider other responses to some drug-related offences, such as diversion to addiction treatment programs.

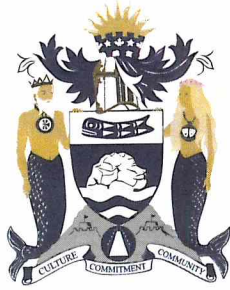
Concerning the declaration of a national public health emergency, the federal government has publicly recognized and committed to responding to the opioid overdose crisis and is already using the broad range of powers at its disposal. Declaring a public health emergency and invoking the federal Emergencies Act, to manage critical situations of a temporary nature, would not provide any additional measures that would support our immediate or longer-term response efforts. The comprehensive federal response has included reducing legislative and regulatory barriers, awareness campaigns, improving the knowledge base and providing emergency funding to provinces and territories, which were put in place without a formal declaration of a public health emergency.

The opioid overdose crisis is a complex public health issue and we recognize that no

single organization or level of government can solve this situation alone. The Government remains committed to working with a wide range of partners – including the provinces and territories, people who use drugs and with lived and living experience, Indigenous peoples and racialized communities, civil society organizations, public health and law enforcement leaders – to determine the best ways to support people who use substances, advance solutions to save lives and help reverse this national public health crisis while recognizing that problematic substance use must be treated as a health condition. Thank you again for taking the time to share your views.

Yours sincerely,

Jennifer Novak  
Executive Director  
Opioid Response Team  
Controlled Substances and Cannabis Branch  
Health Canada  
[Canada.ca/opioids](https://Canada.ca/opioids) // [Canada.ca/opioides](https://Canada.ca/opioides)



MAYOR DARRYL WALKER  
OFFICE OF THE MAYOR  
WHITE ROCK, BC CANADA

February 19, 2021

File No. 0220-20-04

Patty Hajdu  
Minister of Health, Health Canada  
Address Locator 0900C2  
Ottawa, Ontario  
K1A 0K9

Dear Minister Hajdu:

**Re: Petition to Municipalities on the Overdose Crisis**

At the Regular Council meeting on February 8, 2021, White Rock Council unanimously adopted the following resolution:

*Whereas the opioid crisis is one of the largest public health emergencies of our lifetime, with a death on average about every two hours and a death toll of over 16,360 since 2016 (January 2016 to March 2020).*

*Whereas other countries have significantly reduced drug-related fatalities with reforms such as legal regulation of illicit drugs to ensure safe supply and decriminalization for personal use.*

*Whereas the federal government has indicated it is premature to discuss these measures until there are comprehensive supports for people to get well.*

*Whereas supports are needed, but measures that save lives are essential if people are to survive and access supports.*

*Whereas the Canadian Association of Chiefs of Police has stated that they agree the evidence suggests "decriminalization for simple possession as an effective way to reduce the public health and public safety harms associated with substance use", causing the government to indicate that it is now "deliberating" over decriminalization.*

*Whereas the overdose crisis rages, showing few signs of abating.*



*Be it resolved that the Government of Canada declare the overdose crisis a national public health emergency so that it is taken seriously and funded appropriately.*

*Be it also resolved that the Government of Canada immediately seek input from the people most affected by this crisis and meet with provinces, territories and First Nations to develop a comprehensive, pan-Canadian overdose action plan, which includes comprehensive supports and full consideration of reforms that other countries have used to significantly reduce drug-related fatalities and stigma, such as legal regulation of illicit drugs to ensure safe supply of pharmaceutical alternatives to toxic street drugs, and decriminalization for personal use.*

If you have any question, please contact Tracey Arthur, Director of Corporate Administration, at [tarthur@whiterockcity.ca](mailto:tarthur@whiterockcity.ca) or 604-541-2212.

Sincerely,



Darryl Walker, Mayor

cc: White Rock Council  
MP Kerry-Lynne Findlay, South Surrey – White Rock  
Moms Stop the Harm ([info@momsstoptheharm.com](mailto:info@momsstoptheharm.com))

# Decriminalizing simple possession of illicit drugs in Vancouver

We're seeking to decriminalize simple possession of illicit drugs in Vancouver. We recognize that substance use and the overdose crisis is a public health issue, not a criminal justice issue.

Decriminalization is part of a comprehensive effort to responding to the overdose crisis, which has taken more than 1,500 people in Vancouver over the last five years.

## Request for exemption

In May 2021, we submitted the final proposal [\[3.5 MB\]](#) to Health Canada requesting an exemption from the Controlled Drugs and Substances Act (CDSA) under the provision of section 56(1).

If granted, this exemption would mean that people found in possession of controlled substances under a certain threshold amount within municipal boundaries would not be subject to criminal sanctions. Instead, people would be offered to voluntarily be connected with services, and their substances for personal use and paraphernalia would not be confiscated.

The submission complements local and provincial investments in safe supply, overdose prevention and harm reduction, treatment, outreach, housing, and Indigenous healing and wellness.

## Proposed Vancouver Model

The proposed Vancouver Model is based on three main components:

- Personal use threshold
- A voluntary referral system to services
- Decision-making

We are committed to engaging with the community and our partners to explore and further define these three components.

The model was developed by the City of Vancouver, Vancouver Police Department, Vancouver Coastal Health, addictions doctors, and research scientists. Conversations with people who use drugs and representatives of groups that face disproportionate discrimination and exclusion have informed the model.

The Provincial Health Officer, Dr Bonnie Henry [\[7\]](#), and international research have indicated a compelling case for decriminalizing substance use. It is an important step to stopping unprecedented deaths by reducing stigma, increasing access to services and supports, and lessening the long-lasting impacts of criminalization on the lives of people who use drugs.

There is broad support for this work from the police, community groups, health professionals, Indigenous communities, and people who use drugs. This policy initiative is

unprecedented in Canada, and more than 65% of people living in Vancouver support the decriminalization of all illegal drugs.

There is also a comprehensive range of mental health and substance use services that will help support the changes needed, such as safe consumption sites and access to safe supply.

## Simple possession of drugs in Vancouver

Show all

Hide all

### Benefits of decriminalizing simple possession

Decriminalizing the simple possession of drugs may help to destigmatize drug users. This stigma often prevents people from seeking services and supports.

It may also enable people with problematic substance use to have easier access to treatment or other services if desired. Decriminalizing possession may also reduce the seizure of small amounts of drugs that often force individuals into risky behaviours to replace these drugs.

### Current penalties and charges

The Controlled Drugs and Substances Act (CDSA) is a federal legislation that controls a wide range of drugs and other substances. It sets out penalties for the personal possession of drugs and for the trafficking in these substances. Penalties for simple possession can range from a fine to a lengthy jail sentence. Section 56 of the CDSA [allows](#) the Health Minister to create an exemption on these penalties if it is deemed necessary for a medical or scientific purpose or in the interest of the public.

The Vancouver Police Department (VPD) supports a move to decriminalize possession of small amounts of drugs and supports a harm reduction and public health approach to dealing with substance use.

The VPD has a policy of not attending emergency overdose calls unless specifically requested so their presence does not deter people from calling 9-1-1. The number of charges for personal possession has decreased dramatically in recent years. In 2019, the VPD recommended only 16 charges for simple possession compared to 476 in 2008.

### Proposed threshold

We've proposed decriminalizing simple possession of all drugs controlled under the CDSA. For practical purposes, the proposed thresholds are for drugs commonly involved in the overdose crisis in Vancouver. This includes opioids such as heroin, cocaine, crack cocaine, amphetamines, and combinations of these drugs.

A threshold amount provides a guide to the amount of drugs a person can possess without being charged for simple possession or having their drugs or drug paraphernalia seized. This would not apply if the person was found to be trafficking drugs. Above the threshold amount, the police have the discretion to decide on whether to charge an individual.

In determining the threshold component of the model, we recognize that the drug user community has expressed some concerns and risks regarding the proposed thresholds being too low. The amounts included in the submission are based on the best available data we have and are intended to be a starting point that can evolve as more data becomes available. The thresholds developed are significantly higher than in other decriminalization models and the Vancouver model, as a whole, takes a leading approach to decriminalization that is well considered, compassionate and based on local data.



local data.

We will continue to work with our partners to review and adjust thresholds as required and as the model evolves over time.

## A healthcare based approach

Criminalization of drugs, sometimes called the War on Drugs, has failed to deter substance use. People use substances for many reasons. Recognizing that problematic substance use is often related to experiences of trauma, violence, systemic racism, poverty, and other health or social factors, it is best treated as a health and social justice issue.

There is no evidence that Vancouver's extensive system of harm reduction programs attract people from outside Vancouver to Vancouver to use drugs.

The proposal for decriminalization of simple possession does not affect any other illegal activity such as driving impaired.

## Timeline

April 2016

**Provincial Health Officer declares a public health emergency.**

November 2020

**City Council unanimously passes a motion to ask the federal government to decriminalize the simple possession of illicit drugs in Vancouver by seeking an exemption from the CDSA under the provision of section 56(1).**

January 2021

**Health Canada agrees to begin formal discussions with the City regarding decriminalization.**

March 2021

**The City puts forward a preliminary submission to Health Canada seeking an exemption.**

April 2021

**The City provided an updated submission to Health Canada that outlines proposed threshold levels.**

April and May 2021

**Public engagement is conducted to discuss risks and mitigation strategies for this work.**

Late May 2021

**The City provides the final submission to Health Canada that outlines in detail the proposed model and the context and rationale that has shaped it, as well as letters of support for the model, and the implementation plan for if an exemption is granted.**

## Documents

- [Controlled Drugs and Substances Act final exemption request](#) (3.5 MB)
- [Controlled Drugs and Substances Act preliminary exemption request](#) (831 KB)
- [Summary of City of Vancouver's decriminalization proposal](#) (139 KB)
- [Vancouver proposed threshold submission](#) (1.5 MB)

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# Mayors from seven cities across British Columbia call on the Government of Canada to support Vancouver's application to decriminalize simple possession

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NEWS PROVIDED BY

**Office of the Mayor, City of Vancouver →**

Jun 11, 2021, 07:00 ET

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VANCOUVER, BC, June 11, 2021 /CNW/ - The following is a statement from the mayors of Burnaby, Kamloops, Nanaimo, New Westminster, Port Coquitlam, Saanich and Victoria in support of the City of Vancouver's application to Health Canada to decriminalize simple possession:

Mayors from across British Columbia are on the front lines of a worsening overdose crisis that is claiming the lives of thousands of our neighbours. That is why we are adding our voices in support of the City of Vancouver's request to Health Canada to proceed with the "Vancouver Model" of decriminalization of simple possession.

We ask that you approve this application and allow Vancouver to explore this ground-breaking approach to move away from criminal sanctions and towards a health-focussed approach to substance use. An exemption for the City of Vancouver will allow other municipalities to study the impacts of decriminalization and provide a valuable knowledge base to understand this policy as a way to counter the overdose crisis.

The City of Vancouver is not alone in dealing with the severe impacts of a worsening overdose crisis, especially now as we deal with the ongoing challenges of the COVID-19 pandemic. Since January of 2016, the overdose crisis has claimed the lives of almost 7,000 British Columbians.



with historically high toxicity levels.

Personal possession and use of drugs is not a criminal justice issue, it is a health issue. But today, due to fear and shame, too many of our neighbours continue to keep their struggles to themselves, putting them at increased risk of overdose and death.

We believe that by approving the Vancouver Model, the City of Vancouver may trial this new approach to tackling the overdose crisis – just as it did in 2003 when it was in the unique position to pilot the first safe-consumption site in Canada.

In addition to supporting Vancouver's application, we want to reaffirm that in addition to this potential new tool this crisis requires multiple overlapping strategies to provide a comprehensive response. We still need more action on access to safe supply of pharmaceutical alternatives to poison street drugs, expanded harm reduction services, improved primary and mental health supports, flexible pathways to treatment with culturally-appropriate options and stigma-free educational programming.

This is a provincial and national crisis, and while we must all work together on the complex policy responses needed for a successful long-term approach, only your government can act now to approve this one important application.

We urge you to do so.

Mayor of Burnaby Mike Hurley

Mayor of Kamloops Ken Christian

Mayor of Nanaimo Leonard Krog

Mayor of New Westminster Jonathan Côté

Mayor of Port Coquitlam Brad West

Mayor of Saanich Fred Haynes

Mayor of Victoria Lisa Helps

SOURCE Office of the Mayor, City of Vancouver

July 14, 2021

File: CR-12-01  
Ref: RD 2021 Jun 25

Mayor Darryl Walker and Council  
City of White Rock  
15322 Buena Vista Avenue  
White Rock, BC V4B 1Y6

RECEIVED

JUL 19 2021

CITY OF WHITE ROCK  
ADMINISTRATION

Dear Mayor Walker and Council:

**Draft Metro 2050: Referral for Comment**

In April 2019, the Metro Vancouver Board initiated a comprehensive update to *Metro Vancouver 2040: Shaping our Future (Metro 2040)*, the regional growth strategy. Since its adoption in 2011, this visionary strategy has been a strong and effective tool for the regional federation to collectively manage regional growth, while subsequently reflecting the federation's objectives to prevent urban sprawl; protect important lands; support the development of complete and resilient communities; and support the efficient provision of urban infrastructure such as utilities and transit.

In the Fall of 2019, we provided you with formal notification that the update to *Metro 2040* was commencing. Since then, Metro Vancouver and member jurisdictions have worked in close partnership through a series of policy reviews, meetings, and the *Metro 2050* Intergovernmental Advisory Committee to identify strengths and gaps in the regional growth strategy. Additionally, Metro Vancouver and member jurisdictions have been collectively seeking to improve and update the strategy to better meet the needs of members, while further addressing growing regional challenges. After two years of research, workshops, dialogue, and input from member jurisdiction staff, elected officials, First Nations, the Province, other regional stakeholders, organizations and agencies, and the public, the updated regional growth strategy, draft *Metro 2050*, is ready for review and comment.

At its June 25, 2021 regular meeting, the Board of Directors of the Metro Vancouver Regional District adopted the following resolution:

*That the MVRD Board refer the draft of Metro 2050 attached to the report titled "Draft Metro 2050: Referral for Comment", dated May 25, 2021 for comment including to the following:*

- i. *signatories to the regional growth strategy including: Mayors and Councils of Metro Vancouver member jurisdictions; the TransLink Board; the Squamish-Lillooet Regional District Board; the Fraser Valley Regional District Board; and*
- ii. *other members of the Metro 2050 Intergovernmental Advisory Committee including: in region First Nations; the Province of BC; the Agricultural Land Commission; Vancouver Coastal Health; Fraser Health; BC Housing; BC Hydro; University Endowment Lands;*

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*Bowen Island; City of Abbotsford; City of Chilliwack; District of Mission; Integrated Partnership for Regional Emergency Management; Simon Fraser University; Kwantlen Polytechnic University; University of British Columbia; Vancouver Fraser Port Authority; Transport Canada; Canada Mortgage and Housing Corporation; and Vancouver International Airport Authority.*

I am pleased to provide you with a copy of the draft *Metro 2050*. Metro Vancouver is requesting to meet with your council or board at a meeting in September, October, or November 2021 to provide a presentation on the draft of *Metro 2050*, and will work with your staff to find an appropriate date. This presentation will provide an opportunity to discuss ideas or any areas of concern, provide feedback on the draft, and answer any questions. Concurrent with this meeting, staff are offering to co-host a public information session with your staff.

Your organization is invited to provide written comments on the draft *Metro 2050* by Council or Board resolution. Please submit any written comments to Metro Vancouver's Corporate Officer by email at [Chris.Plagnol@metrovanancouver.org](mailto:Chris.Plagnol@metrovanancouver.org). The deadline for submitting written comments on *Metro 2050* is November 26, 2021. Following the comment period, comments received will be conveyed to the Metro Vancouver Board and considered in a revised draft of *Metro 2050*.

While it can be accessed online at [www.metrovanancouver.org/metro2050](http://www.metrovanancouver.org/metro2050), we have enclosed a hard copy of the draft *Metro 2050*. In addition, an executive summary and a copy of a staff report summarizing *Metro 2050* and the engagement process are also enclosed. If you wish to receive additional copies, or if you have any questions with respect to *Metro 2050*, please contact Sean Galloway, Director of Regional Planning and Electoral Area Services by phone at 604-451-6616 or by email at [Sean.Galloway@metrovanancouver.org](mailto:Sean.Galloway@metrovanancouver.org).

I would like to acknowledge your organization's work to date on this important strategy. Thank you for your time and contributions. Through our continued collaboration we will ensure that the regional growth strategy continues to expand on our history of excellent regional building, and supports a resilient, prosperous and exciting place to be.

Yours sincerely,



Sav Dhaliwal  
Chair, Metro Vancouver Board

SD/HM/js

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cc: Guillermo Ferrero, Chief Administrative Officer, City of White Rock  
Carl Isaak, Director of Planning and Development, City of White Rock  
Jerry W. Dobrovolsky, Commissioner/Chief Administrative Officer, Metro Vancouver  
Heather McNell, General Manager, Regional Planning and Housing Services, Metro Vancouver

Encl: 1. DRAFT Metro 2050 (Doc #46401631)  
2. DRAFT Metro 2050 Executive Summary (Doc #46577592)  
3. Report dated May 25, 2021, titled, "Draft Metro 2050 for Comment Referral and Next Steps"  
(Doc #45545229)

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To: Regional Planning Committee

From: Sean Galloway, Director, Regional Planning and Electoral Area Services and  
Erin Rennie, Senior Planner, Regional Planning and Housing Services

Date: May 25, 2021 Meeting Date: June 9, 2021

Subject: Draft *Metro 2050*: Referral for Comment

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**RECOMMENDATION**

That the MVRD Board refer the draft of *Metro 2050* attached to the report titled "Draft *Metro 2050*: Referral for Comment", dated May 25, 2021 for comment including to the following:

- i. signatories to the regional growth strategy including: Mayors and Councils of Metro Vancouver member jurisdictions; the TransLink Board; the Squamish-Lillooet Regional District Board; the Fraser Valley Regional District Board; and
- ii. other members of the *Metro 2050* Intergovernmental Advisory Committee including: In region First Nations; the Province of BC; the Agricultural Land Commission; Vancouver Coastal Health; Fraser Health; BC Housing; BC Hydro; University Endowment Lands; Bowen Island; City of Abbotsford; City of Chilliwack; District of Mission; Integrated Partnership for Regional Emergency Management; Simon Fraser University; Kwantlen Polytechnic University; University of British Columbia; Vancouver Fraser Port Authority; Transport Canada; Canada Mortgage and Housing Corporation; and Vancouver International Airport Authority.

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**EXECUTIVE SUMMARY**

A draft of *Metro 2050*, the update to the current regional growth strategy, is being presented to the Regional Planning Committee and MVRD Board for consideration and referral for comment. *Metro 2050* contains: updates to the regional vision; growth projections to the year 2050; updated descriptions of the main regional policy tools (such as the Urban Containment Boundary); updates to the five goals and implementation section with supporting strategies and policy actions; updates to the performance monitoring indicators; a new glossary of terms; and updated maps.

The new and amended policy actions have been reviewed by the *Metro 2050* Intergovernmental Advisory Committee and Regional Planning Committee, each providing feedback. This feedback was considered and, in addition to feedback from other stakeholders, helped to improve the policies contained in this draft version of *Metro 2050*. The Board's referral will initiate a five-month comment period between July and the end of November. During this time, Metro Vancouver will provide opportunities for engagement and comment, including formal presentations to affected local government councils or boards and public information meetings.

**PURPOSE**

To provide the Regional Planning Committee and MVRD Board with the draft of *Metro 2050* (Attachment 1) and a recommendation to refer the draft of *Metro 2050* out for comment.

## **BACKGROUND**

On April 26, 2019, the MVRD Board passed a resolution to initiate a comprehensive update to *Metro Vancouver 2040: Shaping our Future (Metro 2040)*, the regional growth strategy (Reference 1). Over the intervening 24 months, staff have implemented a robust Engagement Plan (Reference 2 and 3) including 11 themed Policy Reviews to identify opportunities to enhance policies in the regional growth strategy and address identified policy gaps (Reference 4).

Between January and May of 2021 staff worked closely with member jurisdiction staff, First Nations and other regional stakeholders through the *Metro 2050* Intergovernmental Advisory Committee to develop the content of *Metro 2050*. Drafts of each of the goal areas were presented to the Regional Planning Committee and the Board between March and May 2021 (References 5, 6, and 7). The draft *Metro 2050* is now being provided to the Regional Planning Committee and MVRD Board with a recommendation to commence a comment period to provide an opportunity for member jurisdictions, First Nations, other regional stakeholders, and the public to provide feedback on the draft of *Metro 2050*.

## **METRO 2050 DEVELOPMENT PROCESS**

Between April 2019 and December 2020, staff engaged member jurisdiction staff and other regional stakeholders on 11 themed Policy Reviews to explore the existing *Metro 2040* policies and identify opportunities for improvement. In addition, during this period Metro Vancouver staff engaged with First Nations through one-on-one meetings, and with the general public through a series of *Metro 2040* Public Dialogue sessions, an online comment form, and a public webinar. The engagement and analysis that took place during this period resulted in Policy Review Recommendations that were endorsed or received by the MVRD Board between September 2020 and January 2021 as the basis for policy and content development.

Beginning in January 2021, staff met monthly with the *Metro 2050* Intergovernmental Advisory Committee (IAC) to present draft *Metro 2050* policy content on a goal by goal basis for consideration, dialogue, and feedback. IAC members provided feedback on the content through Virtual Open Houses and IAC Comment Forms. Approximately 100 Goal-Based Comment Forms were submitted by IAC members on the draft content. This content was also presented to the Regional Planning Committee and MVRD Board in March, April, and May of this year for questions and comments. Comments received during this period were considered and improved the policy content in the attached draft *Metro 2050*.

## **IMPORTANT THEMES AND NEW CONTENT IN METRO 2050**

### **Climate Action through Reduction of Greenhouse Gas Emissions**

Actions to reduce greenhouse gas (GHG) emissions have been integrated across the five goal areas. Goal 1 includes supportive policies to limit development outside the Urban Containment Boundary and outside Urban Centres and Major Transit Growth Corridors. Goal 3 includes new GHG monitoring actions for Metro Vancouver and for member jurisdictions to demonstrate how they will contribute to the regional target of carbon neutrality by 2050. Goal 5 emphasizes the use of Transportation Demand Management to reduce driving, encourages the acceleration of active transportation buildout, and supports the expansion of the transit system aligned with planned growth.



### **Bolstering Climate Change and Natural Hazard Resiliency**

In recognition of the multiple natural hazards and climate change impacts the region is exposed to, *Metro 2050* contains a greater emphasis on adaptation actions such as encouraging the adoption of local flood hazard policies, discouraging new development in areas with known and unmitigated hazards, and an action for Metro Vancouver to lead the preparation of a multi-hazard risk assessment and map.

### **Promoting and Supporting Affordable Housing**

Because of the ongoing housing affordability crisis in the Metro Vancouver region, *Metro 2050* contains a Goal and three new strategies dedicated solely to housing policies. These policy actions in particular emphasize: the need to expand the supply of transit-oriented, affordable rental housing; the expansion of housing supply to meet a variety of needs; protecting renters; and providing options for people experiencing or at risk of homelessness and people with very low incomes. There are also multiple new advocacy actions calling on senior levels of government to fund and legislate new measures enabling local governments to take stronger action on housing.

### **Protecting and Connecting Nature**

Goal 3 contains two new regional targets for all members to work toward while respecting the context of their local community. First, a target to protect 50% of the region's land base for nature (40% is protected now), and second, to expand the region's tree canopy cover within the Urban Containment Boundary from 32% to 40%.

### **New Policy Actions Related to Indigenous Relations – Towards Reconciliation**

Building on Metro Vancouver's ongoing work to improve relationships with local First Nations and to advance Reconciliation, *Metro 2050* contains an Acknowledgement of Indigenous Territory, map layers showing Indigenous reserve and treaty lands, and new policies supporting better coordination, collaboration, data and information sharing, and supportive planning research with in-region First Nations.

### **Major Transit Growth Corridors – Supporting Coordinated Transit-Oriented Development**

To make transit-oriented development more coordinated across the region and easier for member jurisdictions, *Metro 2050* includes a new Major Transit Growth Corridor map. These corridors will replace the Frequent Transit Network as the organizing framework for transit oriented growth in the region, working together and in support of Urban Centres and TransLink's Major Transit Network. Going forward, the intent is that new Frequent Transit Development Areas, identified by member jurisdictions, will be located within the Major Transit Growth Corridors. This supports member jurisdictions in determining where, how, and when growth and development density are distributed, while supporting the regional need for greater coordination of growth and services, including transit, along the region's key corridors, and while supporting medium density forms and improved transit-oriented housing choices. In addition, this approach supports the further integration between *Metro 2050* and *Transport 2050*.

### **Integrating Social Equity**

Consideration of social equity outcomes has been a part of the regional growth strategy, but is now unambiguously noted as an objective of the strategy and included in the *Metro 2050*'s Challenges and Opportunities section, definition in the Glossary, introductory reflections in each of the goal

Introductions explaining the linkage between the policy area and social equity, and consideration throughout the development of new and updated content. There are policy actions that support greater social equity in the region particularly related to housing affordability, tenant protection, the expansion of green infrastructure, the provision of child care, climate change resiliency, and the development of complete communities that will contribute to continuing to build a region that is more fair and equitable for all.

#### **OVERVIEW OF THE DRAFT METRO 2050 CONTENT**

*Metro 2050* is intended to build on the successes of *Metro 2040*. It reinforces and enhances existing policy directions, extends the timeframe out to the year 2050, fills identified policy gaps, and responds to new and emerging policy issues. The new and updated policy language implements the recommendations of the *Metro 2040* Policy Reviews.

#### **Sections A and B: Introduction to Metro Vancouver and the Region**

*Metro 2050* begins with an Introduction to Metro Vancouver, including an Acknowledgement of Indigenous Territory. A short description of Metro Vancouver's organizational structure and corporate mission is followed by the region's corporate commitment to "Building a Resilient Region". As in *Metro 2040*, *Metro 2050* includes a description of the Scope and Linkages to Other Plans, Context, and overview of Challenges and Opportunities.

#### **Section C: Introduction to the Regional Growth Strategy**

Section C provides an Introduction that includes the Vision, Guiding Regional Planning Principles, and a Responding to the Challenges section which is an overview of the five *Metro 2050* goals.

#### **Section D: Urban Containment Boundary, Regional Land Use Designations, and Overlays**

Section D includes the descriptions of the core policy "tools" in the regional growth strategy including: the Urban Containment Boundary, the six regional land use designations, the Major Transit Growth Corridors, and the four structuring overlays (i.e. Urban Centres, Frequent Transit Development Areas, Trade-Oriented Lands, and Natural Resource Areas). This section is an important section of the regional growth strategy as it helps to inform the implementation of many of the policy actions and the review and acceptance of future Regional Context Statements.

#### **Regional Growth Projections**

The next section presents the Regional Growth Projections; includes a description of the approach Metro Vancouver takes to preparing the long-term population, dwelling unit and employment growth projections; and highlights some of the important trends that are anticipated in this region over the next 30 years. Whereas *Metro 2040* included municipal level projections as an appendix, *Metro 2050* introduces the Regional Growth Projections in the front of the document, as the anticipated growth is the principal reason for planning together as a region over the long term. Also new to this section is the "sub-regional" approach to growth projections, where the region has been divided into six sub-regions and the 30 year projections for growth are presented at the sub-regional level. This sub-regional approach has the advantage of being less sensitive to the short-term oscillations and corrections that tend to happen within individual member jurisdictions, and changes in the housing market and economy. A principal benefit will be that the data behind the projections will be more accurate and *Metro 2050* will not need to be frequently amended to keep the projections current. Going forward, individual member jurisdiction projections will still be prepared as a service to member jurisdictions, and will be reported out annually, outside of the regional growth strategy.

Complementing the growth projections are the Urban Centre and Frequent Transit Development Area Growth Targets (Table 2). These targets are unchanged from *Metro 2040*; these targets will be updated to extend them out to the year 2050 at a later date, following an engagement process involving all member jurisdictions.

#### **Section E: Goals, Strategies and Actions**

Just as with *Metro 2040* and Metro Vancouver's other departmental management plans, the policy actions in *Metro 2050* are organized into goals that are supported by strategies. Under each strategy there are policy actions for the regional growth strategy's signatories; i.e. Metro Vancouver, member jurisdictions, and TransLink. Some of Metro Vancouver's policy actions are now "advocacy actions", which include requesting actions of other levels of government or other government agencies that are not signatories to *Metro 2050*.

It is noted that a primary difference in the goal structure of *Metro 2050* is that Goal 4 has become "Provide Diverse and Affordable Housing Choices" and now includes three strategies about housing. The content of *Metro 2040* Strategy 4.2 "Develop healthy and complete communities with access to a range of services and amenities" has been moved to Goal 1 as a new Strategy 1.3 entitled "Develop resilient, healthy, connected, and complete communities with a range of services and amenities".

Many policy actions in *Metro 2050* are identical or very similar to those that the MVRD Board confirmed are working well in *Metro 2040*. The new or revised policy actions are based on learnings and research over 10 years of implementation, on input from member jurisdictions, and on the endorsed policy recommendations coming out of the *Metro 2040* Policy Review process (Reference 4).

#### **Section F: Implementation**

The Implementation section describes the procedures for implementing and amending the regional growth strategy. It includes details about what Regional Context Statements will contain, and information about flexibility, Special Study Areas, and how Metro Vancouver will work with other government agencies. The same three amendment types, and the procedures for each, continue to be described, with the requirement for a regional public hearing being removed from the Type 2 amendment process being the only change (per previous MVRD Board direction).

#### **Section G: Performance Monitoring**

The Performance Monitoring section outlines the performance indicators that will be monitored to help evaluate progress towards the goals, strategies, and targets set out in *Metro 2050*. There are now 29 indicators listed in *Metro 2050*, up from the 23 that were listed in *Metro 2040*. Most performance measures are the same as those in *Metro 2040*, while some have been refined or replaced based on continued improvements in available data. As with *Metro 2040*, the performance monitoring program with all the details about how the monitoring will be done will be in an Implementation Guideline prepared after the adoption of *Metro 2050*. Performance on the indicators will continue to be reported out annually to the MVRD Board through a staff report and on an ongoing basis through an online dashboard on the Metro Vancouver website.

#### **Section H: Glossary of Terms**

New to *Metro 2050* is a glossary of terms. The terms have been included as they are considered specific to *Metro 2050*, and necessary to correctly interpret the meaning of and implement certain



policy actions. If not included in the Glossary, Implementation Section, or defined by other legislation, the common understanding of a term should be assumed.

### **Section I: Maps**

For ease of use, all the maps have been combined into one section at the back of the regional growth strategy. These maps are small scale depictions of the official maps which are to be housed on the Metro Vancouver website. The same parcel-based map data from *Metro 2040* has been used to create the *Metro 2050* maps meaning no changes have been made to the location of any of the land use designations, the Urban Containment Boundary, the Urban Centres and Frequent Transit Development Areas, or the Special Study Areas. The style, colours, line weights, and contextual information of the maps has been updated to support a better user experience and make the maps easier to read and more useful.

Map 4 has been updated to include the exact boundaries of the Urban Centres and Frequent Transit Development Areas; no changes have been made to the location or boundaries. Map 5 “Major Transit Growth Corridors” and Map 11 “Sensitive Ecosystem Inventory” are new maps being introduced in *Metro 2050*.

The maps also now include Indigenous reserve and treaty lands and the names of each First Nation with lands in the region, with no regional land use designation being applied. It is noted that the way in which Indigenous lands are depicted on the *Metro 2050* maps is still to be confirmed, as it is a topic for the ongoing discussions with in-region First Nations.

### **NEXT STEPS**

Metro Vancouver staff are recommending that the MVRD Board refer the draft *Metro 2050* for comment. Subject to the Board’s direction, the comment period will be between July and the end of November 2021. Written notification of the referral will be sent to member jurisdictions, the Fraser Valley and Squamish Lillooet Regional Districts, TransLink, and other Metro 2050 IAC members including in region First Nations, inviting comments on the draft. The comment period is intended to end on November 26, 2021 so that the regional growth strategy bylaw can be finalized for initial consideration by the MVRD Board in January 2022 in accordance with the Board approved timeline. The comment period will also provide an opportunity to assess general support for the overall direction articulated in *Metro 2050*, and, if necessary, to consider amending the timeline to allow for additional engagement. Extending the *Metro 2050* timeline would create a project risk and the adoption phase would need to take place after the 2022 local government election.

### **Metro 2050 IAC Policy Working Groups**

During the Summer and early Fall of 2021, Metro Vancouver staff will be convening a series of optional “working group” sessions for *Metro 2050* Intergovernmental Advisory Committee members focused on specific topic areas of *Metro 2050*. The objective of the sessions will be to discuss, in depth, the particular “big move” topic areas and any concerns, ideas, or comments associated with each to support the preparation of the formal comments. The topics may include but not limited to: Major Transit Growth Corridors; affordable housing targets; updated Urban Centre framework, permitting residential within employment areas near rapid transit stations; and the Sensitive Ecosystem Inventory. In addition, one of the working groups will focus on supporting the engagement of First Nations.

### **Council Presentations and Comments**

Metro Vancouver staff are scheduling *Metro 2050* presentations to all member jurisdiction councils, and the Boards of the Fraser Valley and Squamish-Lillooet Regional Districts and TransLink during September, October, and November of 2021 to engage directly with the signatories of the regional growth strategy. Member jurisdictions are requested to work with Metro Vancouver staff to schedule these presentations as soon as possible to avoid conflicts.

### **Public Engagement**

Although the general public is not the primary engagement audience during this phase of *Metro 2050* development, the public will be invited to review and provide comment on the draft as well. The draft will be available on the *Metro 2050* webpage of the Metro Vancouver website, and members of the public will have the option to submit comments by email or through a simple online comment form. Videos providing an overview of *Metro 2050* will be released and promoted over social media, and staff are also preparing and will host a public webinar in the Fall of 2021. Member jurisdictions have the option of co-hosting a joint public information meeting in conjunction with the council presentations in the fall of 2021, providing additional opportunities for locally focused public engagement on the draft of *Metro 2050*.

### **Adopting *Metro 2050***

The formal acceptance and adoption period is scheduled to begin in January of 2022 when a regional growth strategy bylaw will be considered for first and second reading by the Regional Planning Committee and MVRD Board, and a regional public hearing held and third reading considered in February of 2022. The period between March and May of 2022 will be the opportunity for member jurisdiction councils, and the Boards of the Fraser Valley and Squamish-Lillooet Regional Districts and TransLink, to consider acceptance of *Metro 2050* by resolution. In June of 2022, at the end of the acceptance period, the *Metro 2050* bylaw will be presented to the MVRD Board for consideration of adoption.

### **Regional Context Statements**

Current Regional Context Statements will continue to be in effect after the adoption of *Metro 2050* until a new Regional Context Statement is prepared, submitted and accepted by the MVRD Board. Following the adoption of *Metro 2050*, starting in June of 2022 member jurisdictions will have two years (to July 2024) to submit a new Regional Context Statement that demonstrates how their respective Official Community Plan (or equivalent) is generally consistent, or will work towards consistency with *Metro 2050* over time.

### **ALTERNATIVES**

1. That the MVRD Board refer the draft of *Metro 2050* attached to the report titled "Draft *Metro 2050*: Referral for Comment", dated May 25, 2021 for comment including to the following:
  - i. signatories to the regional growth strategy including: Mayors and Councils of Metro Vancouver member jurisdictions; the TransLink Board; the Squamish-Lillooet Regional District Board; the Fraser Valley Regional District Board; and
  - ii. other members of the *Metro 2050* Intergovernmental Advisory Committee including: In region First Nations; the Province of BC; the Agricultural Land Commission; Vancouver Coastal Health; Fraser Health; BC Housing; BC Hydro; University Endowment Lands; Bowen Island; City of Abbotsford; City of Chilliwack; District of Mission; Integrated Partnership for Regional Emergency Management; Simon Fraser University; Kwantlen Polytechnic

University; University of British Columbia; Vancouver Fraser Port Authority; Transport Canada; Canada Mortgage and Housing Corporation; and Vancouver International Airport Authority.

2. That the MVRD Board receive for information the report dated May 25, 2021, titled, "Draft Metro 2050: Referral for Comment" and provide alternative direction to staff.

#### **FINANCIAL IMPLICATIONS**

If the Board chooses Alternative 1, the draft of *Metro 2050* will be referred out for comment and Metro Vancouver staff will carry out the engagement activities described in the report. There are no significant costs associated with these activities, and all engagement costs will be carried out as part of the Board-approved Regional Planning budget for 2021. The 2022 Phase 3 Adoption period will necessitate a number of expenses associated with a Regional Public Hearing which are estimated to total approximately \$45,000. If the Board chooses Alternative 2, the draft of Metro 2050 will not be referred out for comment and this will make it unlikely that Metro 2050 will be adopted before the 2022 local government election period.

#### **CONCLUSION**

This report presents the draft of *Metro 2050*, the update to the regional growth strategy, to the MVRD Board for referral for comment. The draft was informed by the extensive input from member jurisdictions, the members of the *Metro 2050* Intergovernmental Advisory Committee, and other regional stakeholders. The Board's referral will initiate a five-month comment period on the draft regional growth strategy. This draft of *Metro 2050* includes goals, strategies, and policy actions that will help the region accommodate the growth that is anticipated to come to Metro Vancouver over the next 30 years in a way that promotes resiliency, sustainability, prosperity, livability, and equity for all.

#### **Attachments (45986709)**

1. Draft *Metro 2050*, the regional growth strategy, for comment (May 2021)
2. Summary of Proposed Changes Made to *Metro 2050* Policy Actions by Goal Area

#### **References**

1. [Towards Metro 2050: Updating Metro Vancouver 2040: Shaping our Future](#) (April 2019)
2. [Metro 2050 Engagement Plan](#) (September 2019)
3. [Metro 2050 Phase 1 Engagement Report](#) (March 2021)
4. [Metro 2050 Q1 2021 Status Update](#) (April 2021)
5. [Metro 2050 Draft Policy Language - Goals 1 and 2](#) (March 2021)
6. [Metro 2050 Draft Policy Language – Goal 3: Protect the Environment and Respond to Climate Change Impacts and the Implementation Section](#) (April 2019)
7. [Metro 2050 Draft Policy Language: Goal 4 – Provide Diverse and Affordable Housing Choices and Goal 5 – Support Sustainable Transportation Choices](#) (May 2021)

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# Metro 2050

Regional Growth Strategy



SERVICES AND SOLUTIONS FOR THE METRO VANCOUVER REGION

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## **SUMMARY OF PROPOSED CHANGES MADE TO *METRO 2050* POLICY ACTIONS BY GOAL AREA**

These proposed changes to *Metro 2050* content stem from input and feedback from members of the *Metro 2050* Intergovernmental Advisory Committee (i.e. member jurisdiction staff as well as representation from federal and provincial governments and agencies, First Nations, post-secondary institutions and other regional stakeholders) as well as from the Regional Planning Committee and MVRD Board between January and May 2021.

### **Goal Preambles and Social Equity**

- A short passage has been added to each of the preambles explaining the linkage between the policy area and social equity. This has been provided to begin introducing the concept of social equity as it relates to each of the *Metro 2050* topic areas with a view to enhancing the policies and policy actions from the perspective of social equity over time.

### **Goal 1**

- Action 1.1.6 was added as an action for Metro Vancouver to: “work with First Nations to incorporate development plans and population, employment, and housing projections into the regional growth strategy to support potential infrastructure and utilities investments”.
- Action 1.1.9 d) was added at the request of an IAC submission, requiring member jurisdictions to, “integrate land use planning policies with local and regional economic development strategies, particularly in the vicinity of the port and airports, to minimize potential exposure of residents to environmental noise and other harmful impacts”.
- At the request of an IAC submission, Action 1.2.7 was revised to remove the words, “acquire and develop”, and now states that Metro Vancouver will, “work with TransLink, the Province, First Nations, and member jurisdictions to expand the supply of secure and affordable market and non-market rental housing within Major Transit Growth Corridors”.
- Action 1.2.12 was shortened and now reads: “develop an Implementation Guideline, in collaboration with member jurisdictions and TransLink, to be used as a resource to support transit-oriented planning throughout the region”.
- Action 1.2.13 was added to ensure that the Urban Centre and Frequent Transit Development Area growth targets are integrated as policy actions and to complement Table 2.
- Action 1.2.14 was added as an action for Metro Vancouver to: “monitor the region’s total household and employment growth that occurs in Major Transit Growth Corridors”.
- Action 1.2.15 was added as an action for Metro Vancouver to: “work with First Nations and other appropriate agencies to ensure that new development and infrastructure investment is directed to areas that are transit oriented and resilient to climate change impacts and natural hazards”.
- Specific mention of YVR Airport Authority was removed from Action 1.2.22 at the request of an IAC submission in recognition that there are multiple airports in the region.
- Action 1.2.24 b) ix) was added at the request of an IAC submission, requiring Regional

Context Statements to include policies for Urban Centres and Frequent Transit Development Areas that "support the provision of community services and spaces for non-profit organizations".

- Action 1.2.24 c) iv) was added, requiring Regional Context Statements to include policies for General Urban lands that: "encourage neighbourhood-serving commercial uses".
- Action 1.2.24 d) was revised at the request of IAC submissions, to remove, "large format retail," and, "public-serving health authority facilities," from the list of non-residential Major Trip Generating Uses.

#### **Goal 2**

- Action 2.2.9 d) vi) was revised to remove the word "rail" from the provision allowing limited residential uses in Employment lands within 200m of rapid transit stations;
- Policy 2.3.4 was revised to allow consideration of re-designating a parcel in the Agricultural Land Reserve with an Agricultural or Rural regional land use designation if the Agricultural Land Commission confirms that the site is not subject to the *ALC Act* without requiring exclusion from the ALR.

#### **Goal 3**

- Action 3.3.4 was added pertaining to Metro Vancouver's role in environmental assessments, specifically to reduce the environmental and health impacts related to regional air quality and greenhouse gas emissions.
- Under Action 3.3.6 a) "energy benchmarking" was added to the list of advocacy actions to the Federal Government and the Province based on feedback from multiple IAC submissions.
- Action 3.3.9 was moved from a Metro Vancouver-led action to a TransLink-led action based on TransLink's legal authority.
- Action 3.4.4. a), an advocacy action to the Federal Government and the Province was changed from: "mandate the adoption of flood hazard bylaws" to: "encourage the adoption of local flood hazard policies and bylaws".
- The Natural Resource Areas Overlay has been identified on Map 9 (Conservation and Recreation Lands).

#### **Goal 4**

- Action 4.1.6 was added as an action for Metro Vancouver to: "Advocate to the Province to provide funding to support member jurisdictions in the development and update of housing strategies or action plans that are aligned with housing needs reports or assessments".
- Action 4.3.2 was added as an action for Metro Vancouver to: "collaborate with member jurisdictions, non-profit housing and homelessness services providers, and the Federal Government and the Province on coordinated actions to address regional homelessness".

#### **Goal 5**

- Under Action 5.1.3 there was IAC support for Option B (general corridor priorities); the new draft emphasizes transit priorities.
- Action 5.1.6 was updated to clarify the scope of the parking strategy.



#### **Implementation**

- The amendment process for re-designating Industrial lands was first presented to IAC as a Type 2 amendment (6.3.3) but in the final drafts was revised to be a Type 3 amendment (6.3.4) based on direction from the MVRD Board.
- Amendments to the Major Transit Growth Corridors was added to the list of Type 3 amendments (6.3.4).

## EXECUTIVE SUMMARY

# DRAFT Metro 2050 The Regional Growth Strategy

### What is a Regional Growth Strategy?

A regional growth strategy is a long-range, strategic land use plan aimed at advancing the region's livability and sustainability by managing anticipated growth. Regional growth strategies align projected long-term growth with transportation and infrastructure planning while protecting agricultural, green spaces, and industrial lands. These strategies are authorized under the BC Local Government Act.

### About Metro Vancouver's Regional Growth Strategy

Metro Vancouver is updating *Metro Vancouver 2040: Shaping our Future (Metro 2040)*, the regional growth strategy. The update is called *Metro 2050*. Since its adoption in 2011, *Metro 2040* has been a strong and effective tool representing the regional federation's collective vision for livability and managing growth anticipated to come to our region over the long term.

Metro Vancouver's regional growth strategy was co-created with member local governments and other regional agencies, and is periodically reviewed and updated. Many of the goals, actions, and tools that are working well in *Metro 2040* will remain unchanged in *Metro 2050*.

The current update extends the strategy to the year 2050, integrates with *Transport 2050*, the update to the regional transportation strategy, and responds to critical issues such as climate change, social equity, resilience, and housing affordability.

### How we got to the draft Metro 2050

Between April 2019 and June 2021, Metro Vancouver engaged closely with member jurisdictions, TransLink, the provincial ministries, First Nations, other regional organizations and agencies, adjacent regional districts, subject matter experts, and the general public. Collaboratively through this process, a number of emerging issues, gaps, and opportunities were identified, and the content of *Metro 2050* was drafted to reflect that engagement.

### Metro 2050 Vision

Metro Vancouver is a region of diverse and complete communities connected by sustainable transportation choices where residents take pride in vibrant neighbourhoods that offer a range of opportunities to live, work, play, and learn, and where natural, agricultural, and employment lands are protected and enhanced.

Shaping long-term growth and development in the region is essential to meeting this vision in a way that protects the natural environment, fosters community well-being, fuels economic prosperity, provides local food security, improves social equity, provides diverse and affordable housing choices, ensures the efficient provision of utilities and transit, reduces greenhouse gasses, and contributes to resiliency to climate change impacts and natural hazards.

# Metro 2050's Five Goals

Metro 2050 contains five regional goals which are supported by corresponding strategies and policy actions for Metro Vancouver, member jurisdictions, and TransLink to carry out.



## Goal 1: Create a Compact Urban Area

Metro 2050 reinforces the established framework of concentrating growth into compact, walkable, complete communities, where development is transit-oriented, and people can access a range of housing choices that are close to jobs, amenities, and services.

### STRATEGIES

- Contain urban development within the Urban Containment Boundary
- Focus growth in Urban Centres and along Transit Corridors
- Develop resilient, healthy, connected and complete communities
- Protect Rural areas



## Goal 2: Support a Sustainable Economy

Metro 2050 protects important job lands and supports the land base, location choices, and transportation integration required to nurture a healthy business climate for both the traditional and emerging economies. Agricultural lands are protected to support local food security.

### STRATEGIES

- Promote land development patterns that support a diverse economy and employment opportunities close to where people live
- Protect the supply, and efficient use of, Industrial lands
- Protect the supply of agricultural lands and strengthen agricultural viability

## REGIONAL PLANNING GUIDING PRINCIPLES

Metro 2050 is guided by the following five well-established regional planning principles:

1. Put growth in the right places (urban centres and transit corridors)
2. Protect important lands (food, ecological and job lands)
3. Develop complete communities
4. Provide mobility, housing, and employment choices
5. Support the efficient provision of infrastructure (utilities and transit)



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### **Goal 3: Protect the Environment and Respond to Climate Change and Natural Hazards**

*Metro 2050* protects the unique and vital natural environment, and takes action to respond to climate change by reducing greenhouse gas emissions and improving regional resilience to climate change and natural hazards.

#### **STRATEGIES**

- Protect and enhance Conservation and Recreation lands
- Protect, enhance, restore and connect ecosystems
- Encourage land use, infrastructure and settlement patterns to reduce energy consumption and greenhouse gas emissions
- Encourage land use, infrastructure and settlement patterns that improve resilience to climate change impacts and natural hazards

### **Goal 4: Provide Diverse and Affordable Housing Choices**

*Metro 2050* draws greater attention to the importance of housing as a key component of growth management, and establishes region-wide objectives for increasing housing supply, diversity, and affordability, particularly in transit-oriented locations.

#### **STRATEGIES**

- Expand the supply and diversity of housing
- Expand, retain, and renew rental housing supply and protect tenants
- Meet the housing needs of lower income households and those experiencing or at risk of homelessness



### **Goal 5: Support Sustainable Transportation Choices**

*Metro 2050* supports transit-oriented urban forms with a range of sustainable transportation choices including expanding opportunities for transit, walking, and cycling. It supports efficient goods movement and job growth in the region's employment areas and urban centres, while reducing greenhouse gas emissions.

#### **STRATEGIES**

- Coordinate land use and transportation to encourage transit, multiple-occupancy vehicles, cycling and walking
- Coordinate land use and transportation to support the efficient movement of vehicles for passengers, goods and services

## Anticipated Growth

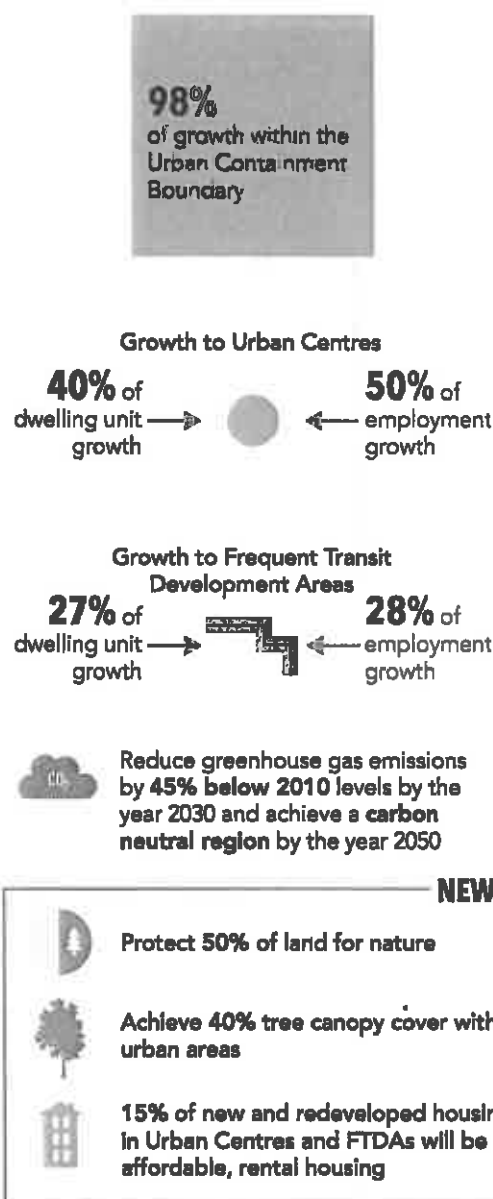
Metro 2050 forecasts indicate that over the next thirty years, Metro Vancouver will receive an additional one million residents for a total population of **3.8 million by the year 2050**. This also means 500,000 additional housing units will be needed and almost 500,000 jobs will be created during that time.

## What's New/Proposed?

Much of the content in Metro 2050 will be the same as Metro 2040, and the 'big moves' reflect engagement and feedback from member jurisdictions, other regional agencies, the Province, First Nations, and the public. You will see:

- Stronger alignment of planned locations for growth with transit investment through a new tool called 'Major Transit Growth Corridors'
- Housing policies to encourage transit-oriented affordable housing, increase stock and protect existing non-market rental units
- Clearer and stronger definition for industrial lands, as well as flexibility for affordable rental residential on Employment lands near rapid transit stations
- Stronger climate action, including collective actions toward GHG emission reduction targets and preparing for climate change impacts
- Aspirational regional targets for the federation to collectively work toward for affordable rental housing near transit, protecting land for nature and increasing urban tree canopy cover
- Improved integration of social equity outcomes
- Greater emphasis on building relationships with First Nations, incorporating future development and planning needs

## Metro 2050 Regional Targets



## OPPORTUNITIES TO PROVIDE FEEDBACK

A draft version of Metro 2050 was released for public comment in June 2021. Metro Vancouver welcomes comments from municipalities, organizations, First Nations, and members of the public by **November 26, 2021**.

Please send your comments to:

Online feedback form: [metrovancover.org/metro2050](https://metrovancover.org/metro2050)

Email: [regionalplanning@metrovancover.org](mailto:regionalplanning@metrovancover.org)

Mail: Metro Vancouver Regional Planning and Housing Services  
4730 Kingsway, Burnaby, B.C. V5H 0C6

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## Metro 2050 Regional Targets

**98%**  
of growth within the  
Urban Containment  
Boundary

### Growth to Urban Centres

**40%** of dwelling unit growth → ● ← **50%** of employment growth

### Growth to Frequent Transit Development Areas

**27%** of dwelling unit growth → [Transit Station Icon] ← **28%** of employment growth



Reduce greenhouse gas emissions by **45% below 2010** levels by the year 2030 and achieve a **carbon neutral region** by the year 2050

### NEW



Protect **50%** of land for nature



Achieve **40%** tree canopy cover within urban areas



**15%** of new and redeveloped housing in Urban Centres and FTDA's will be affordable, rental housing

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**From:** [Chris Magnus](#)  
**To:** [Clerk's Office](#)  
**Cc:** [Debbie Johnstone](#)  
**Subject:** Correspondence for Agenda Package | Email from MP Peter Julian | Seeking Endorsement  
**Date:** July 20, 2021 3:42:13 PM

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**From:** Julian, Peter - M.P. <peter.julian@parl.gc.ca>  
**Sent:** July 20, 2021 11:50 AM  
**To:** Darryl Walker <DWalker@whiterockcity.ca>  
**Subject:** It's time for a made-in-Canada Green New Deal - Nouveau pacte vert

*CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.*

Dear Mayor A. WALKER,

WHITE ROCK

Climate change is here.

The dangerously high temperatures we saw in B.C. recently claimed the lives of more than 700 people, who died during the extreme heatwave. That same week, the B.C. community of Lytton, and people living on surrounding Nlaka'pamux First Nation territory and rural areas, became one of the hottest places on Earth, with a killing temperature of 49.5 C on June 29, 2021. The catastrophic fire that came subsequently burned down this B.C. village.

The climate emergency is the most pressing challenge of our time – Indigenous people and other impacted front-line communities are experiencing the impacts of the climate crisis often far more profoundly than other communities.

As the planet warms, the pathway to net zero by 2050 is narrow but clear. We must raise our ambitions and spend more time working to solve the climate emergency by curbing the drivers of climate change and putting forward proposals for a clear path to resolving the climate crisis. Science and indigenous knowledge provide a complex understanding about how to address the climate crisis and it is critical for developing a climate emergency action framework.

We need to supercharge our climate action ambitions now to reduce emissions, close the socio-economic gaps and ramp up the shift toward a clean energy low-carbon economy. I need your help to make a greater impact for this change on the federal government, as we continue to impress upon them the need for Canada to act with urgency to address the climate crisis and the growing socio-economic inequalities at the same time.

Here are two legislative tools that I've proposed in Parliament to get us to where we need to go in helping us to resolve these intersectional crises with the urgency with which we must act: [Motion M-1 for a Green New Deal](#) and [Motion M-94](#) to stop the Trans Mountain pipeline project.

I am seeking your endorsement of these legislative initiatives.

We know the next 10 years are the most critical to fighting the climate crisis. The world's top scientists are telling us we must dramatically reduce our emissions if we want to avoid the worst consequences of severe climate change. Canada, and other industrialized countries, must plan to drastically scale back fossil fuels and not build any new oil, gas or coal infrastructure.

Recently, an unprecedented decision by the International Energy Agency (IEA) recommended no new fossil fuel infrastructure if we're to avoid catastrophic climate change.

We need to examine what that means now for Canada's climate and energy policies going forward, including plans for the Trans Mountain pipeline expansion project, which contradict the Trudeau government's own climate plans. Canada must immediately stop the construction of the TMX pipeline as outlined in M-94 and instead invest in a Green New Deal.

According to the Intergovernmental Panel on Climate Change (IPCC), building a world that can thrive will require "rapid, far-reaching and unprecedented changes in all aspects of society." The IPCC estimates that for the global economy to move onto a viable climate stabilization path, global emissions of carbon dioxide (CO<sub>2</sub>) will have to fall by 45 percent as of 2030 and be at zero emissions by 2050.

M-1 would promote a reorientation of our economy to consider the needs of the climate emergency we are facing. The investments required in the Green New Deal framework would, by necessity, require every level of governments to adopt a range of socio-economic and energy-efficiency policies. The Green New Deal advocates that the issues related to the climate crisis are also social, referring to economic inequalities, lack of job security and the rise of racism and xenophobia. A fair and just made-in-Canada Green New Deal, includes required public investments in key sectors such as clean and renewable energy, energy retrofit buildings, sustainable public transit, sustainable agriculture and water systems, health care, affordable housing, education, childcare and more.

Our ultimate goal is to move quickly and actively address the issues addressed in these motions by growing our national campaign to get M-1 and M-94 adopted in Canada's Parliament. This would lead to the production of a number of Bills to enact those measures and as a result real transformational change where no one is left behind, as we turn our focus away from fossil fuels and on investing in clean renewable energy and a more just economy to avert climate catastrophe, where no one is left behind.

It is still achievable if governments act now and fast as extreme weather events become



increasingly common. We are in a climate emergency. Canada's climate is warming twice as fast as the global average. The Arctic is currently warming two to three times faster than the rest of the globe. It's clear there's no time to waste. We are on perilous ground and have a duty to act to address climate change.

Thank you for your careful consideration of this matter. I urge you to join the call of the many who have endorsed these important legislative initiatives. Please let me know if you have questions at all. I hope to receive your endorsement.

I look forward to hearing from you soon.

Stay healthy and safe in these challenging times.

Sincerely,

Peter Julian, MP (New Westminster-Burnaby)

NDP House Leader

NDP Finance Critic

New Democratic Party | Nouveau Parti démocratique

I acknowledge that I work on the unceded traditional territory of the Algonquin, Haudenosaunee and Anishinabek peoples.

Je reconnait que je travaille sur le territoire non-cédé des nations Algonquine, Haudenosaunee et Anishinabek.

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 **Help save paper - do you need to print this email?**

 **Économisons le papier – est-il vraiment nécessaire d'imprimer ce courriel?**

*"My friends, love is better than anger. Hope is better than fear.*

*Optimism is better than despair. So let us be loving, hopeful and optimistic. And we'll change the world."*

*-Jack Layton, 1950-2011*

*« Mes amis, l'amour est cent fois meilleur que la haine. L'espoir est meilleur que la peur.*

*L'optimisme est meilleur que le désespoir. Alors aimons, gardons espoir et restons optimistes. Et nous changerons le monde. »*

*-Jack Layton, 1950-2011*

This email message and any attachment may contain privileged or confidential information and is intended only for the named recipient(s) or group indicated. If you have received this message in error, or are not the named recipient(s), please notify the sender and delete this email message. Thank you for your cooperation.

## Temporary Lane Closure on Marine Drive: Share your Thoughts

The City of White Rock temporarily closed one lane of traffic on Marine Drive starting June 7, 2021, to extend patio space for restaurants during the COVID-19 pandemic.

City Council made the decision to reopen the closed lane as early as August 7, 2021, after the Province moved into Step 3 of BC's Restart plan, which allows restaurants to open at 100-per-cent capacity.

For more information about the temporary lane closure, please visit [whiterockcity.ca/marinedrlaneclosure](http://whiterockcity.ca/marinedrlaneclosure).

White Rock City Council would like to hear about your experience with the temporary lane closure. Your input will help with future planning regarding potential temporary lane closures on Marine Drive.

The survey may take from 10 to 20 minutes.

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### Which of these best describes you?

- ☐ Non-resident but a visitor to White Rock
- ☐ White Rock resident
- ☐ Business owner/operator in White Rock
- ☐ Employee in White Rock
- ☐ Student in White Rock
- ☐ Other \_\_\_\_\_

### Do you live on one of the following streets? Please check the appropriate box.

- ☐ Victoria Avenue
- ☐ Marine Drive
- ☐ Marine Lane
- ☐ Columbia Avenue
- ☐ Stayte Road
- ☐ Vidal Street
- ☐ None of the above
- ☐ Other \_\_\_\_\_

### Do you work or live on Marine Drive in White Rock? Check all that apply.

- ☐ Work
- ☐ Live
- ☐ None of the above

**How often do you typically go to Marine Drive from June to August?**

- ☐ Never
- ☐ Once a summer
- ☐ Once a month
- ☐ Once a week
- ☐ Two or more times a week
- ☐ Not sure

**Did you visit the White Rock Waterfront, between June 7 to August 11, 2021, during the temporary lane closure?**

- ☐ Yes
- ☐ No
- ☐ Not sure

**How frequently did you visit Marine Drive during the temporary lane closure?**

- ☐ More frequently than usual
- ☐ The same as usual
- ☐ Less frequently than usual
- ☐ Not sure

**If you visited Marine Drive, did you observe the barricades blocking one lane of traffic on Marine Drive?**

- ☐ Yes
- ☐ No
- ☐ Not sure

**How comfortable or uncomfortable were you with the barricades present on Marine Drive?**

- ☐ Very comfortable
- ☐ Comfortable
- ☐ Neutral
- ☐ Uncomfortable
- ☐ Very uncomfortable
- ☐ Not sure

**Which of the following did you like about the temporary lane closure? Check all that apply.**

- ☐ Wider walking area on north side of Marine Drive
- ☐ More space for cycling
- ☐ More restaurant tables outside
- ☐ Slower vehicle traffic



- ☐ Increased use of West Beach Parkade
- ☐ None of the above
- ☐ Other (please specify)

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**Which of the following did you dislike about the temporary lane closure? Check all that apply.**

- ☐ Inconvenient when driving on or near Marine Drive
- ☐ Not enough participation by local businesses
- ☐ Unattractive barricades
- ☐ Inability to drive westbound
- ☐ Increased vehicle traffic on one or more of the nearby streets
- ☐ None of the above
- ☐ Other (please specify)

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**When making purchases while visiting Marine Drive, which of the following statements is most true for you?**

- ☐ I did not change how I shopped, ate or used services on Marine Drive during the temporary lane closure.
- ☐ I shopped, ate or used services ***less frequently*** on Marine Drive during the temporary lane closure.
- ☐ I shopped, ate or used services ***more frequently*** on Marine Drive during the temporary lane closure.
- ☐ I did **not** shop, eat or use services on Marine Drive during the temporary lane closure.
- ☐ Not sure
- ☐ Other (please specify)

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**Overall, how much do you agree or disagree with the decision to temporarily close one lane of traffic on Marine Drive from June to August 2021.**

- ☐ Strongly agree
- ☐ Agree
- ☐ Neutral
- ☐ Disagree
- ☐ Strongly Disagree
- ☐ Not sure

**Would you recommend that Council consider a lane reduction on Marine Drive in the future?**

- ☐ Yes
- ☐ No
- ☐ Not sure
- ☐ Other (please specify)

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**How did you hear about the Marine Drive temporary lane closure? Check all that apply.**

- ☐ Letter from the City of White Rock
- ☐ Television coverage
- ☐ Radio coverage
- ☐ Local newspaper article
- ☐ Social media posts
- ☐ City's website
- ☐ Peace Arch News (online)
- ☐ Peace Arch News (newspaper)
- ☐ Facebook
- ☐ Twitter
- ☐ Instagram
- ☐ Friend or neighbour
- ☐ Didn't hear about it
- ☐ Other (please specify)

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**Please provide your postal code:** \_\_\_\_\_

Thank you for your time. Results from this survey will be shared on this website.